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Transcript Exhibit(

Docket #(s): WS-02987A-12-0136

Exhibit #: A1, A2, A3, A4, A5, A6, A7, S1, S2
S3, S4

Arizona Corporation Commission

DOCKETED

MAY 08 2013

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**AZ CORP COMMISSION
DOCKET CONTROL**

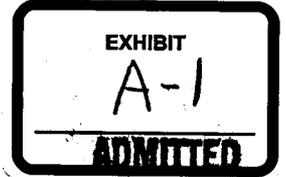
2013 MAY -8 P 2:44

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**NEW APPLICATION
JOHNSON UTILITIES, L.**

5230 East Shea Boulevard • Scottsdale, Arizona 85
PH: (480) 998-3300; FAX: (480) 483-7908

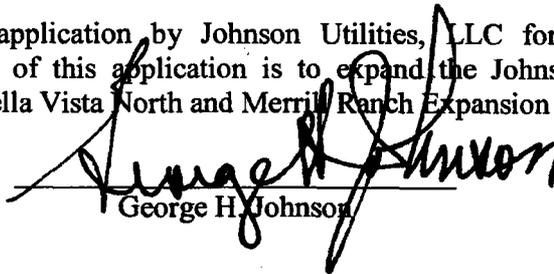
ORIGINAL



6 April 2012

Docket Control Center
Arizona Corporation Commission WS-02987A-12-0136
1200 W. Washington St.
Phoenix, Arizona

Attached is an application by Johnson Utilities, LLC for a water CC&N Expansion. The purpose of this application is to expand the Johnson Utilities, LLC service area to include Bella Vista North and Merrill Ranch Expansion #1.


George H. Johnson

Arizona Corporation Commission
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AZ CORP COMMISSION
DOCKET CONTROL

2012 APR - 6 P 4: 43

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- K. List the legal name and mailing address of each other utility in which the applicant has an ownership interest:

N/A

- L. Provide a compliance status report from the Arizona Department of Environmental Quality (“ADEQ”), dated no more than 30 days of the CC&N extension application, for each water and wastewater systems as identified by a separate ADEQ Public Water & Wastewater System Identification number.

(See Attachment #2 – Sewer and Attachment #3 – Water)

Attach a legal description of the requested service area, expressed in terms of **CADASTRAL** (quarter section description) or **Metes and Bounds** survey. References to parcels and dockets will not be accepted.

(See Attachment #4 – Bella Vista North and Attachment #5 – Merrill Ranch)

Attach a detailed map using the form provided as Attachment "B". Shade and outline the area requested. Also, indicate any other utility within the general area using different colors.

(See Attachment #4 – Bella Vista North and Attachment #5 – Merrill Ranch)

- M. List the name of each county in which the requested extension area is located and a description of the area’s location in relation to the closest municipality, which shall be named:

The entire extension is within Pinal County.

The Bella Vista North Expansion is 3.7 miles from the Town of Queen Creek and .7 miles from the Town of Florence.

The Merrill Ranch Expansion #1 is within the limits of the Town of Florence..

- N. Attach a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water system and the principal components of each water system (e.g., source, storage, transmission lines, distribution lines, etc.) to allow verification of the estimated costs provided under R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.

(See Attachment #6)

- O. Provide the estimated total construction cost of the proposed offsite and onsite facilities, including documentation to support the estimates, and an explanation of how the construction will be financed, such as through debt, equity, advances in aid of construction, contributions in aid of construction, or a combination thereof.

(See Attachment #7)

- P. Explain the method of financing utility facilities. Refer to the instructions, item no. 7. (Use additional sheets if necessary):

The construction of the additional utility facilities needed to serve the area covered by this Application will be financed primarily by advances in aid of construction and hook-up fees in accordance with Commission regulations and Johnson Utilities applicable tariffs, as well as pursuant to the terms of any main extension agreements between Johnson Utilities, and property owners. A copy of all fully executed main extension agreements for water facilities between parties shall be filed with the Commission in support of this Application when completed.

Attach financial information in a format similar to Attachment "C". Include current assets and liabilities, an income statement, estimated revenue and expenses and the estimated value of the applicant's utility plant in service for the first five years following approval of the application.

(See Attachment #8)

Estimated value of plant in service after 5 years = \$1,319,140.00

- S. Provide a detailed description of the proposed construction timeline for facilities with estimated starting and completion dates and, if construction is to be phased, a description of each separate phase of construction.

(See Attachment #9)

- T. Provide a copy of any requests for service from persons who own land within the proposed extension area, which shall identify the applicant by name.

(See Attachment #10 from Southwest Value Partners; Bella Sierra, LLC; and BVF Opportunity, LLC & BVF Land, LLC. This application will be supplemented at a later date with a Request for Service from Pantano Development.)

- U. Provide maps of the proposed extension area identifying:

1. The boundaries of the area, with the total acreage noted; *(See Attachment #11)*
2. The land ownership boundaries within the area, with the acreage of each separately owned parcel within the area noted; *(See Attachment #11)*
3. The owner of each parcel within the area; *(See Attachment #11)*

4. Any municipality corporate limits that overlap with or are within five miles of the area; *(See Attachment #12)*
 5. The service area of any public service corporation, municipality, or district currently providing water or wastewater service within one mile of the area, with identification of the entity providing service and each type of service being provided; *(See Attachments #4 and #5)*
 6. The location within the area of any known water service connections that are already being provided service by the applicant; *None*
 7. The location of all proposed developments within the area; *(BVF Master Plan and Merrill Ranch Master Plan)*
 8. The proposed location of each water system and the principal components described in R14-2-402 subsection (B) (5) (n); *(BVF will be part of the 11-128 water system; MR will be part of the 11-136 water system)*
 9. The location of all parcels for which a copy of a request for service has been submitted. *(See Attachments #4, and #5) All parcels have requests for service. Pantano Development, LLC has requested service, which will be filed separately in the docket.*
- V. Provide a copy of each notice to be sent, as required, to a municipal manager or administrator.

A letter from the Town of Florence requesting Johnson Utilities' service to Merrill Ranch's portion of the application will be filed separately in the docket.

- W. A copy of each notice sent, as required, to a landowner not requesting service. *N/A*
- X. For each landowner not requesting service, provide either the written response received from the landowner or, if no written response was received, a description of the actions by the applicant to obtain a written response.

All owners have requested service; however, Johnson Utilities is waiting for a request in writing from Pantano Development.

- Y. Attach proposed Tariffs using either the water or sewer format of Attachment "D", unless the Utilities Division, prior to the filing of this application, approves another form.

(See Attachment #13)

Attach the following permits (if any of these permits have not yet been obtained, please provide the status of their application):

1. The franchise from either the City or County for the area requested.

(See Attachment #14)

ARIZONA CORPORATION COMMISSION

**APPLICATION FOR AN
EXTENSION
CERTIFICATE OF CONVENIENCE AND NECESSITY**

WATER AND/OR SEWER

- A. The legal name, mailing address and telephone number of the Applicant (Company) is:

**JOHNSON UTILITIES, LLC
5230 E SHEA BLVD, SUITE 200
SCOTTSDALE AZ 85254
(480) 998-3300**

- B. If the applicant operates under a "d.b.a." or under a name other than the Applicant (Company) name listed above, specify:

N/A

- C. List the full name, mailing address and telephone number of the management contact:

**GEORGE H. JOHNSON
(See "A")**

- D. List the full name, mailing address and telephone number of the attorney for the Applicant:

**JEFFREY W CROCKETT
BROWNSTEIN HYAT FARBER SCHREK
1 E WASHINGTON, SUITE 2400
PHOENIX AZ 85004
(602) 382-4062**

- E. List the full name, mailing address and telephone number of the operator certified by the Arizona Department of Environmental Quality who is or will be working for the Applicant:

**GREGORY BROWN
(See "A")**

F. List the full name, mailing address and telephone number of the on-site manager of the utility:

KENNY WATKINS, GENERAL MANAGER
(See "A")

G. The Applicant is a:

<input type="checkbox"/> Corporation: <input type="checkbox"/> "C", <input type="checkbox"/> "S", <input type="checkbox"/> Non-Profit <input type="checkbox"/> Arizona, <input type="checkbox"/> Foreign	<input type="checkbox"/> Partnership <input type="checkbox"/> Limited, <input type="checkbox"/> General <input type="checkbox"/> Arizona, <input type="checkbox"/> Foreign
<input type="checkbox"/> Sole Proprietorship	<input checked="" type="checkbox"/> Limited Liability Company (LLC)
<input type="checkbox"/> Other (Specify)	

H. If Applicant is a corporation:

1. List full names, titles and mailing addresses of all Officers and Directors:

Officers

N/A

Directors

N/A

2. Attach a copy of the corporation's "Certificate of Good Standing" issued by the Corporation's Division of the Arizona Corporation Commission. *N/A*

3. Attach a certified copy of the Articles of Incorporation. *N/A*

4. Attach a certified copy of the corporation's By-Laws. *N/A*

5. If a for-profit corporation, indicate the number of shares of stock authorized for issue:
N/A

6. If stock has been issued, indicate the number of shares issued and date of issue: *N/A*

I. If the Applicant is a partnership:

1. List the full name and mailing address of the general partners: *N/A*

2. List the full name, address and telephone number of the managing partners: *N/A*

3. Attach a copy of the Partnership's Articles of Partnership. *N/A*

• If the Applicant is a foreign limited partnership, provide a copy of the Partnership's "Certificate of Registration" filed with the Arizona Secretary of State. *N/A*

J. If the Applicant is a Limited Liability Company:

1. List the full name and mailing address of all the Applicant's managers or, if management is reserved to the members, the Applicant's members:

GEORGE H JOHNSON
(See "A")

2. Attach a copy of the Articles of Organization.

(See Attachment #1)

K. List the legal name and mailing address of each other utility in which the applicant has an ownership interest: *N/A*

L. Provide a compliance status report from the Arizona Department of Environmental Quality ("ADEQ"), dated no more than 30 days of the CC&N extension application, for each water and wastewater systems as identified by a separate ADEQ Public Water & Wastewater System Identification number.

(See Attachment #2 – Sewer and Attachment #3 – Water)

Attach a legal description of the requested service area, expressed in terms of **CADASTRAL** (quarter section description) or **Metes and Bounds** survey. References to parcels and docket numbers will not be accepted.

(See Attachment #4 – Bella Vista North and Attachment #5 – Merrill Ranch)

Attach a detailed map using the form provided as Attachment "B". Shade and outline the area requested. Also, indicate any other utility within the general area using different colors.

(See Attachment #4 – Bella Vista North and Attachment #5 – Merrill Ranch)

- M. List the name of each county in which the requested extension area is located and a description of the area's location in relation to the closest municipality, which shall be named:

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The Bella Vista North Expansion is 3.7 miles from the Town of Queen Creek and 0.7 miles from the Town of Florence.

The Merrill Ranch Expansion #1 is within the limits of the Town of Florence..

- N. Attach a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water system and the principal components of each water system (e.g., source, storage, transmission lines, distribution lines, etc.) to allow verification of the estimated costs provided under R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.

(See Attachment #6)

- O. Provide the estimated total construction cost of the proposed offsite and onsite facilities, including documentation to support the estimates, and an explanation of how the construction will be financed, such as through debt, equity, advances in aid of construction, contributions in aid of construction, or a combination thereof.

(See Attachment #7)

- P. Explain the method of financing utility facilities. Refer to the instructions, item no. 7. (Use additional sheets if necessary):

The construction of the additional utility facilities needed to serve the area covered by this Application will be financed primarily by advances in aid of construction and hook-up fees in accordance with Commission regulations and Johnson Utilities applicable tariffs, as well as pursuant to the terms of any main extension agreements between Johnson Utilities, and property owners. A copy of all fully executed main extension agreements for water facilities between parties shall be filed with the Commission in support of this Application when completed.

Attach financial information in a format similar to Attachment "C". Include current assets and liabilities, an income statement, estimated revenue and expenses and the

estimated value of the applicant's utility plant in service for the first five years following approval of the application.

(See Attachment #8)

Estimated value of plant in service after 5 years = \$1,319,140.00

- S. Provide a detailed description of the proposed construction timeline for facilities with estimated starting and completion dates and, if construction is to be phased, a description of each separate phase of construction.

(See Attachment #9)

- T. Provide a copy of any requests for service from persons who own land within the proposed extension area, which shall identify the applicant by name.

(See Attachment #10 from Southwest Value Partners; Bella Sierra, LLC; and BVF Opportunity, LLC & BVF Land, LLC. This application will be supplemented at a later date with a Request for Service from Pantano Development.)

- U. Provide maps of the proposed extension area identifying:

1. The boundaries of the area, with the total acreage noted; *(See Attachment #11)*
2. The land ownership boundaries within the area, with the acreage of each separately owned parcel within the area noted; *(See Attachment #11)*
3. The owner of each parcel within the area; *(See Attachment #11)*
4. Any municipality corporate limits that overlap with or are within five miles of the area; *(See Attachment #12)*
5. The service area of any public service corporation, municipality, or district currently providing water or wastewater service within one mile of the area, with identification of the entity providing service and each type of service being provided; *(See Attachments #4 and #5)*
6. The location within the area of any known water service connections that are already being provided service by the applicant; *None*
7. The location of all proposed developments within the area; *(BVF Master Plan and Merrill Ranch Master Plan)*
8. The proposed location of each water system and the principal components described in R14-2-402 subsection (B) (5) (n); *(BVF will be part of the 11-128 water system; MR will be part of the 11-136 water system)*
9. The location of all parcels for which a copy of a request for service has been submitted. *(See Attachments #4, and #5) All parcels have requests for service. Pantano Development, LLC has requested service, which will be filed separately in the docket.*

- V. Provide a copy of each notice to be sent, as required, to a municipal manager or administrator.

A letter from the Town of Florence requesting Johnson Utilities' service to Merrill Ranch's portion of the application will be filed separately in the docket.

- W. A copy of each notice sent, as required, to a landowner not requesting service. *N/A*

- X. For each landowner not requesting service, provide either the written response received from the landowner or, if no written response was received, a description of the actions by the applicant to obtain a written response.

All owners have requested service; however, Johnson Utilities is waiting for a request in writing from Pantano Development.

- Y. Attach proposed Tariffs using either the water or sewer format of Attachment "D", unless the Utilities Division, prior to the filing of this application, approves another form.

(See Attachment #13)

Attach the following permits (if any of these permits have not yet been obtained, please provide the status of their application):

1. The franchise from either the City or County for the area requested.

(See Attachment #14)

2. The Arizona Department of Environmental Quality (or its designee's) approval to construct facilities.

Johnson Utilities requests that the filing of the approval to construct be submitted as a compliance item in this docket within two years of the approval of the CC&N.

3. (SEWER ONLY) Copy of the Aquifer Protection Permit issued by ADEQ. *N/A*

Merrill Ranch will be served by the Anthem WRP. The plant's APP is already on file with the Commission.

4. The Arizona State Land Department approval. (If you are including any State land in your requested area this approval is needed.) *N/A*
5. Any U.S. Forest Service approval. (If you are including any U.S. Forest Service land in your requested area this approval is needed.) *N/A*

6. **(WATER ONLY)** If the area requested is within an Active Management Area, attach a copy of the utility's Designation of an Assured Water Supply, or the developer's Certificate of Assured Water Supply issued by the Arizona Department of Water Resources, whichever applies.
- a. If the area requested is outside an Active Management Area, attach the developer's Adequacy Statement issued by the Arizona Department of Water Resources, if applied for by the developer.
 - b. If the area requested is outside an Active Management Area and the developer does not obtain an Adequacy Statement, provide sufficient detail to prove that adequate water exists to provide water to the area requested.

(See Attachment #15)

7. Provide a copy of your estimated property taxes. This may be obtained by contacting the Arizona Department of Revenue, Division of Property Valuation and Equalization. You must provide them with a five (5) year projection of the original cost of the plant, depreciation expense, the location of the property and the school district.

(See Attachment #16)

- Z. Indicate the estimated number of customers, by class, to be served in each of the first five years of operation. Include documentation to support the estimates.

(See Attachment #17)

Residential:

First Year _____ Second Year _____ Third Year _____ Fourth Year _____ Fifth Year _____

Commercial:

First Year _____ Second Year _____ Third Year _____ Fourth Year _____ Fifth Year _____

Industrial:

First Year _____ Second Year _____ Third Year _____ Fourth Year _____ Fifth Year _____

Irrigation:

First Year _____ Second Year _____ Third Year _____ Fourth Year _____ Fifth Year _____

- AA. Indicate the projected annual water consumption or sewerage treatment, in gallons, for each of the customer classes for each of the first five years of operation:

(See Attachment #17)

Residential:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Industrial:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Commercial:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Irrigation:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

BB. Indicate the total estimated annual operating revenue for each of the first five years of operation:

(See Attachment #18)

Residential:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Industrial:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Commercial:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Irrigation:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

P. Indicate the total estimated annual operating expenses for each of the first five years of operation:

(See Attachment #18)

Residential:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

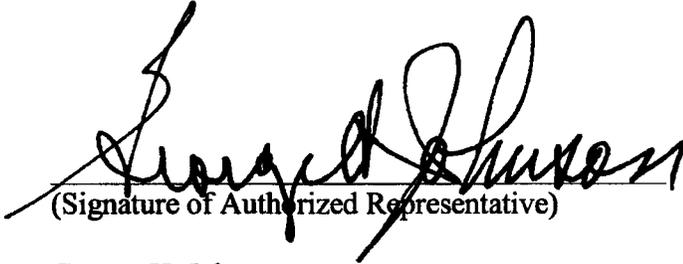
Commercial:
First Year _____
Second Year _____
Third Year _____
Fourth Year _____
Fifth Year _____

Industrial:
 First Year _____
 Second Year _____
 Third Year _____
 Fourth Year _____
 Fifth Year _____

Irrigation:
 First Year _____
 Second Year _____
 Third Year _____
 Fourth Year _____
 Fifth Year _____

- DD. Attach an itemized list of the major components of the water or sewer system (see Attachment C-3). *(See Attachment #8)*
- EE. Indicate the total estimated cost to construct utility facilities: **\$26,382.814.00**
- FF. Provide a description of how water and/or wastewater service is to be provided in the proposed extension area and the name of each water and wastewater service provider for the area, if any. *(No other providers)*
- GG. Provide a letter from each wastewater service provider identified under subsection (B)(5)(aa), confirming the provision of wastewater service for the proposed service area or extension area. *N/A*
- HH. Provide plans for or a description of water conservation measures to be implemented in the proposed service area or extension area, including, at a minimum:
 - i. A description of the information about water conservation or water saving measures that the utility will provide to the public and its customers; *We will use water conservation consistent with our BMP's and ADWR's water conservation measures.*
 - ii. A description of how the applicant will work with each wastewater service provider identified under subsection (B)(5)(aa) to encourage water conservation;
 - iii. A description of the sources of water that will be used to supply parks, recreation areas, golf courses, greenbelts, ornamental lakes, and other aesthetic water features; *We have worked with developers and at present, there are no plans for golf courses, greenbelts, ornamental lakes or other aesthetic water features.*
 - iv. A description of any plans for the use of reclaimed water;
 - v. A description of any plans for the use of recharge facilities; *We will use existing at WRP's*
 - vi. A description of any plans for the use of surface water; *NONE*
 - vii. A description of any other plans or programs to promote water conservation; *NONE*
- II. Provide a backflow prevention tariff that complies with Commission standards, if not already on file. *Already on file*
- JJ. Provide a curtailment tariff that complies with Commission standards, if not already on file. *Already on file*

KK. Provide a copy of a Physical Availability Determination, Analysis of Adequate Water Supply, or Analysis of Assured Water Supply issued by the Arizona Department of Water Resources for the proposed service area or extension area or, if not yet obtained, the status of the application for such approval; *(See Attachment #15)*


(Signature of Authorized Representative)

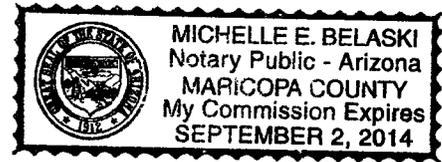
George H. Johnson
(Type or Print Name Here)

Manager
(Title)

SUBSCRIBED AND SWORN to before me this 6th day of April, 2012


NOTARY PUBLIC

My Commission Expires 2 Sept 14



Attachment 1

ARTICLES OF ORGANIZATION
OF
JOHNSON UTILITIES, L.L.C.

RECEIVED
JUN 5 1997

ARIZONA CORP COMMISSION
CORPORATIONS DIVISION

KNOW ALL MEN BY THESE PRESENTS:

The undersigned, for the purpose of forming a limited liability company under and pursuant to the laws of the State of Arizona, does hereby adopt these Articles of Organization:

ARTICLE I.

The name of this limited liability company is Johnson Utilities, L.L.C.

ARTICLE II.

The purpose for which this limited liability company is organized is the transaction of any and all lawful business for which a limited liability company may be organized under the laws of the State of Arizona, as they may be amended from time to time.

ARTICLE III.

The address of the registered office of this limited liability company is 5320 East Shea Boulevard, Scottsdale, Arizona 85254.

ARTICLE IV.

The name and business address of the agent for service of process of this limited liability company is Richard L. Sallquist, Esq., 2525 E. Arizona Biltmore Circle, Suite 117, Phoenix, Arizona 85016.

ARTICLE V.

There are or will be two (2) or more members at the time this limited liability company is formed.

ARTICLE VI.

The management of this limited liability company is reserved to its members, whose names and business addresses are:

George H. Johnson
5320 Est Shea Blvd.
Scottsdale, Arizona 85254

Jana S. Johnson
5320 East Shea Blvd.
Scottsdale, Arizona 85018

ARTICLE VII.

A member, manager, employee, officer or agent of this limited liability company is not liable, solely by reason of being a member, manager, employee, officer or agent, for the debts, obligations and liabilities of this limited liability company whether arising in contract or tort, under a judgment, decree or order of a court or otherwise. If Arizona law is subsequently amended to authorize further elimination or limitation of liability of members, managers, employees, officers or agents of limited liability companies, then the liability of a member, manager, employee, officer or agent of this limited liability company, in addition to the limitation on personal liability provided herein, shall be limited to the fullest extent permitted by Arizona law.

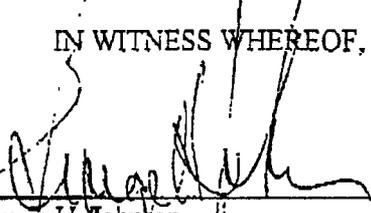
ARTICLE VIII.

This limited liability company shall indemnify, to the fullest extent allowed by applicable law, any member, manager, employee, officer or agent of this limited liability company.

ARTICLE IX.

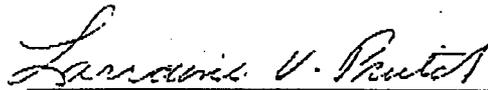
The latest date this limited liability company can dissolve is May 31, 2022.

IN WITNESS WHEREOF, the undersigned has set his hand this 29th day of May, 1997.

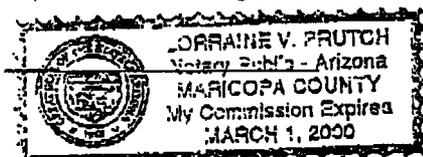

George H. Johnson

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this 29 day of May, 1997, by George H. Johnson.


Notary Public

My Commission Expires:



DEC 30 1997

DATE APPR 12-30-97
TERM _____
BY M.B. [Signature]
1-0809733-4

AMENDED AND RESTATED
ARTICLES OF ORGANIZATION OF
JOHNSON UTILITIES, L.L.C.

Pursuant to the provisions of Ariz. Rev. Stat. Ann. § 29-633, the undersigned limited liability company hereby amends and restates its Articles of Organization, which were filed on June 5, 1997.

ARTICLE I
Name

The name of the Company is Johnson Utilities, L.L.C.

ARTICLE II
Registered Office

The address of the registered office of this limited liability company is 5320 East Shea Boulevard, Scottsdale, Arizona 85254.

ARTICLE III
Registered Agent

The name and business address of the agent for service of process of this limited liability company is Delator Corporation, 7201 East Camelback Road, Suite 330, Scottsdale, Arizona 85251.

ARTICLE IV
Management

Management of this limited liability company is vested in a manager or managers. The name and address of the initial manager is George H. Johnson, 5320 East Shea Boulevard, Scottsdale, Arizona 85254.

ARTICLE V
Membership

The Member owning a one hundred percent (100%) interest in the Company is:

The George H. Johnson Revocable Trust
dated July 9, 1987
George H. Johnson and Jana S. Johnson, Trustees
5320 East Shea Boulevard
Scottsdale, Arizona 85254.

DEC-06-2002 FRI 08:25 AM

12:42 FROM: MAI AVE CELMINS VERBURG

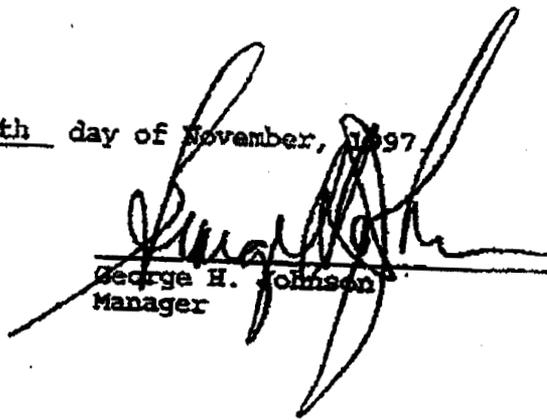
FAX NO.

ID: 80293

88

P. 05
PAGE 3/3

DATED this 12th day of November, 1997



George H. Johnson
Manager

Attachment 2



Janice K. Brewer
Governor

ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY

1110 West Washington Street • Phoenix, Arizona 85007
(602) 771-2300 • www.azdeq.gov



Henry R. Darwin
Director

March 28, 2012

Arizona Corporation Commission
Mr. Marlin Scott, Utilities Engineer
1200 W. Washington
Phoenix, Arizona 85007

RE: Compliance Status for Santan Water Reclamation Plant, Inventory Number 105325, Place ID 18584, Permit number 43235.

Dear Mr. Scott,

Your request for evaluation of compliance status for the above facility is completed. Our records indicate that the above facility was issued Aquifer Protection Permit (APP) Number 43235 on 10/24/2007.

Review of the Self-Monitoring Report Forms submitted under the requirements of the APP for the year 2011 indicates that Johnson Utilities, LLC self-reported the following monitoring/reporting violations during the year.

1. Aquifer Quality Level Exceedance for nitrate-nitrite as N on January 10, July 8, and August 12, 2011. Monitoring point 114124. Monitoring SMP PT #2.
2. Aquifer Quality Level Exceedance for total nitrogen on January 11, July 29, and August 12, 2011. Monitoring point 114124. Monitoring SMP PT #2.

ADEQ is not aware of any other on-going environmental regulatory issues concerning maintenance and operation of the facility. It should be understood that the compliance status of a facility may change at any time. This compliance review is based on the most current information available. If you have any questions regarding this matter, please contact me at (602) 771-2209.

Sincerely,

Mindi Cross, Manager
Water Quality Compliance Section
Arizona Department of Environmental Quality

CC: Greg Brown
Facility file

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

Printed on recycled paper



Janice K. Brewer
Governor

ARIZONA DEPARTMENT
OF
ENVIRONMENTAL QUALITY

1110 West Washington Street • Phoenix, Arizona 85007
(602) 771-2300 • www.azdeq.gov



Henry R. Darwin
Director

March 28, 2012

Arizona Corporation Commission
Mr. Marlin Scott, Utilities Engineer
1200 W. Washington
Phoenix, Arizona 85007

RE: Compliance Status for Anthem Wastewater Reclamation Plant, Inventory Number 105646, Place ID 91546, Permit Number 45436.

Dear Mr. Scott,

Your request for evaluation of compliance status for the above facility is completed. Our records indicate that the above facility was issued Aquifer Protection Permit (APP) Number 45436 on 04/03/2008.

Review of the APP reporting requirements and monitoring results that have been submitted indicate the facility is in compliance based on the current information that is available to ADEQ.

It should be understood that the compliance status of a facility may change at any time. This compliance review is based on the most current information available.

Sincerely,

Mindi Cross, Manager
Water Quality Compliance Section
Arizona Department of Environmental Quality

cc: Greg Brown
Facility file

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

Printed on recycled paper



Janice K. Brewer
Governor

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Henry R. Darwin
Director

March 28, 2012

Arizona Corporation Commission
Mr. Marlin Scott, Utilities Engineer
1200 W. Washington
Phoenix, Arizona 85007

RE: Compliance Status for Precision WWTP, Inventory number 105004. Place ID Number 138145 and Permit Number 23124.

Dear Mr. Scott,

Your request for evaluation of compliance status for the above facility is completed. Our records indicate that the above facility was issued Aquifer Protection Permit (APP) Number 23124 on 04/08/2004.

Review of the APP reporting requirements and monitoring results that have been submitted indicate the facility is in compliance based on the current information that is available to ADEQ.

It should be understood that the compliance status of a facility may change at any time. This compliance review is based on the most current information available.

Sincerely,

Mindi Cross, Manager
Water Quality Compliance Section
Arizona Department of Environmental Quality

cc: Greg Brown
Facility file

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Henry R. Darwin
Director

March 28, 2012

Arizona Corporation Commission
Mr. Marlin Scott, Utilities Engineer
1200 W. Washington
Phoenix, Arizona 85007

RE: Compliance Status Pecan Water Reclamation Plant, Inventory Number 105324,
Place ID 18583, Permit Number 37771.

Dear Mr. Scott,

Your request for evaluation of compliance status for the above facility is completed. Our records indicate that above facility was issued Aquifer Protection Permit (APP) Number 37771 on 02/04/2008.

Review of the Self-Monitoring Report Forms submitted under the requirements of the APP for the year 2011 indicates that there were no monitoring or reporting violations during the year. However, there are three open Notices of Violation (NOV)s associated with the Pecan Water Reclamation Plant. Detailed descriptions of these NOV's are provided in the Arizona Department of Environmental Quality's (ADEQ)'s compliance status letter for the Pecan Water Reclamation Plant to the Arizona Corporation Commission, dated July 12, 2011. A copy of the letter is attached for your convenience.

ADEQ confirms Johnson Utilities, LLC has met the "Compliance Conditions" of NOV's with Case IDs 92021, 97512, and 120285. ADEQ is in discussions with Johnson Utilities, LLC to resolve the company's liabilities for the violations cited in the NOV, and will maintain the open status of the NOV's until a resolution is reached. ADEQ is not aware of any other on-going environmental regulatory issues concerning maintenance and operation of the facility. It should be understood that the compliance status of a facility may change at any time. This compliance review is based on the most current information available.

If you have any questions regarding this matter, please contact me at (602) 771-2209.

Sincerely,

Mindi Cross, Manager
Water Quality Compliance Section
Arizona Department of Environmental Quality

cc: Greg Brown
Facility file

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400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

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Henry R. Darwin
Director

March 28, 2012

Arizona Corporation Commission
Mr. Marlin Scott, Utilities Engineer
1200 W. Washington
Phoenix, Arizona 85007

RE: Compliance Status for Section 11 WWTP, Inventory number 103081,
Place ID 142, Permit Number 35634.

Dear Mr. Scott,

Your request for evaluation of compliance status for the above facility is completed. Our records indicate that the above facility was issued Aquifer Protection Permit (APP) Number 35634 on 04/10/2006.

Review of the Self-Monitoring Report Forms submitted under the requirements of the APP for the year 2011 indicate that there were no monitoring or reporting violations during the year. However, there are two open Notices of Violation (NOV)s associated with the Section 11 WWTP. Detailed descriptions of these NOV's are provided in the Arizona Department of Environmental Quality's (ADEQ)'s compliance status letter for the Pecan Water Reclamation Plant to the Arizona Corporation Commission, dated July 12, 2011. A copy of the letter is attached for your convenience.

ADEQ confirms that Johnson Utilities, LLC has not met the "Compliance Conditions" for Case ID Nos. 102722 and 103357. ADEQ is in discussions with Johnson Utilities, LLC to resolve the company's liabilities for the violations cited in the NOV's, and will maintain the open status of the NOV's until a resolution is reached. ADEQ is not aware of any other on-going environmental regulatory issues concerning maintenance and operation of the facility. It should be understood that the compliance status of a facility may change at any time. This compliance review is based on the most current information available.

If you have any questions regarding this matter, please contact me at (602) 771-2209.

Sincerely,

Mindi Cross, Manager
Water Quality Compliance Section
Arizona Department of Environmental Quality

cc: Greg Brown
Facility file

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

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Attachment 3

Arizona Department of Environmental Quality
Drinking Water Monitoring and Protection Unit
 Mail Code 5415B-2
 1110 West Washington Street
 Phoenix, AZ 85007

Drinking Water Compliance Status Report

System Name	System Type	Is system consecutive?
ANTHEM AT MERRILL RANCH	<input checked="" type="checkbox"/> Community	<input type="checkbox"/> Yes, to PWS #
System ID #	<input type="checkbox"/> Non-transient Non-community	<input checked="" type="checkbox"/> No
11136	<input type="checkbox"/> Transient Non-community	

Overall compliance status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Monitoring and Reporting status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Comments: Increased monitoring for nitrate at EPDS002 began the second quarter of 2011 following a trigger in the first quarter of 2011..		

Operation and Maintenance status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Date of last Sanitary Survey	9-28-10	Inspector
		Karen Berry, PHX.
Major unresolved/ongoing operation and maintenance deficiencies:		
<input type="checkbox"/> unable to maintain 20psi	<input type="checkbox"/> inadequate storage	
<input type="checkbox"/> cross connection/backflow problems	<input type="checkbox"/> surface water treatment rule	
<input type="checkbox"/> treatment deficiencies	<input type="checkbox"/> ATC/AOC	
<input type="checkbox"/> certified operator	<input type="checkbox"/> other =	
Comments: None		

Is an ADEQ administrative order in effect?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Comments: None		

System Information	
Population Served	5008
Service Connections	1788
Number of Entry Points to the Distribution System	2
Number of Sources	4
Initial Monitoring Year	2008
Monitoring Assistance Program (MAP) System	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Evaluation completed by	Donna Calderon, Manager 		
	Drinking Water Monitoring and Protection Unit		
Phone	602-771-4841	Date	February 3, 2012
<input checked="" type="checkbox"/>	Based upon data submitted by the water system, ADEQ has determined that this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and PWS is in compliance.		
<input type="checkbox"/>	Based upon the monitoring and reporting deficiencies noted above, ADEQ cannot determine if this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and/or PWS is not in compliance.		
<input type="checkbox"/>	Based upon the operation and maintenance deficiencies noted above, ADEQ cannot determine if this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and/or PWS is not in compliance.		

This compliance status report does not guarantee the water quality for this system in the future, and does not reflect the status of any other water system owned by this utility company.

Arizona Department of Environmental Quality
Drinking Water Monitoring and Protection Unit
 Mail Code 5415B-2
 1110 West Washington Street
 Phoenix, AZ 85007

Drinking Water Compliance Status Report

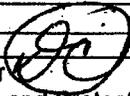
System Name	System Type	Is system consecutive?
JOHNSON UTILITIES	<input checked="" type="checkbox"/> Community	<input type="checkbox"/> Yes, to PWS #
System ID #	<input type="checkbox"/> Non-transient Non-community	<input checked="" type="checkbox"/> No
11128	<input type="checkbox"/> Transient Non-community	

Overall compliance status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Monitoring and Reporting status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Comments: None		

Operation and Maintenance status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Date of last Sanitary Survey	9-28-10	Inspector Karen Berry, PHX
Major unresolved/ongoing operation and maintenance deficiencies:		
<input type="checkbox"/> unable to maintain 20psi	<input type="checkbox"/> inadequate storage	
<input type="checkbox"/> cross connection/backflow problems	<input type="checkbox"/> surface water treatment rule	
<input type="checkbox"/> treatment deficiencies	<input type="checkbox"/> ATC/AOC	
<input type="checkbox"/> certified operator	<input type="checkbox"/> other =	
Comments: None		

Is an ADEQ administrative order in effect?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Comments: None		

System Information	
Population Served	54242
Service Connections	19372
Number of Entry Points to the Distribution System	10
Number of Sources	14
Initial Monitoring Year	2000
Monitoring Assistance Program (MAP) System	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Evaluation completed by	Donna Calderon, Manager  Drinking Water Monitoring and Protection Unit		
Phone	602-771-4641	Date	February 3, 2012
<input checked="" type="checkbox"/>	Based upon data submitted by the water system, ADEQ has determined that this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and PWS is in compliance.		
<input type="checkbox"/>	Based upon the monitoring and reporting deficiencies noted above, ADEQ cannot determine if this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and/or PWS is not in compliance.		
<input type="checkbox"/>	Based upon the operation and maintenance deficiencies noted above, ADEQ cannot determine if this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and/or PWS is not in compliance.		

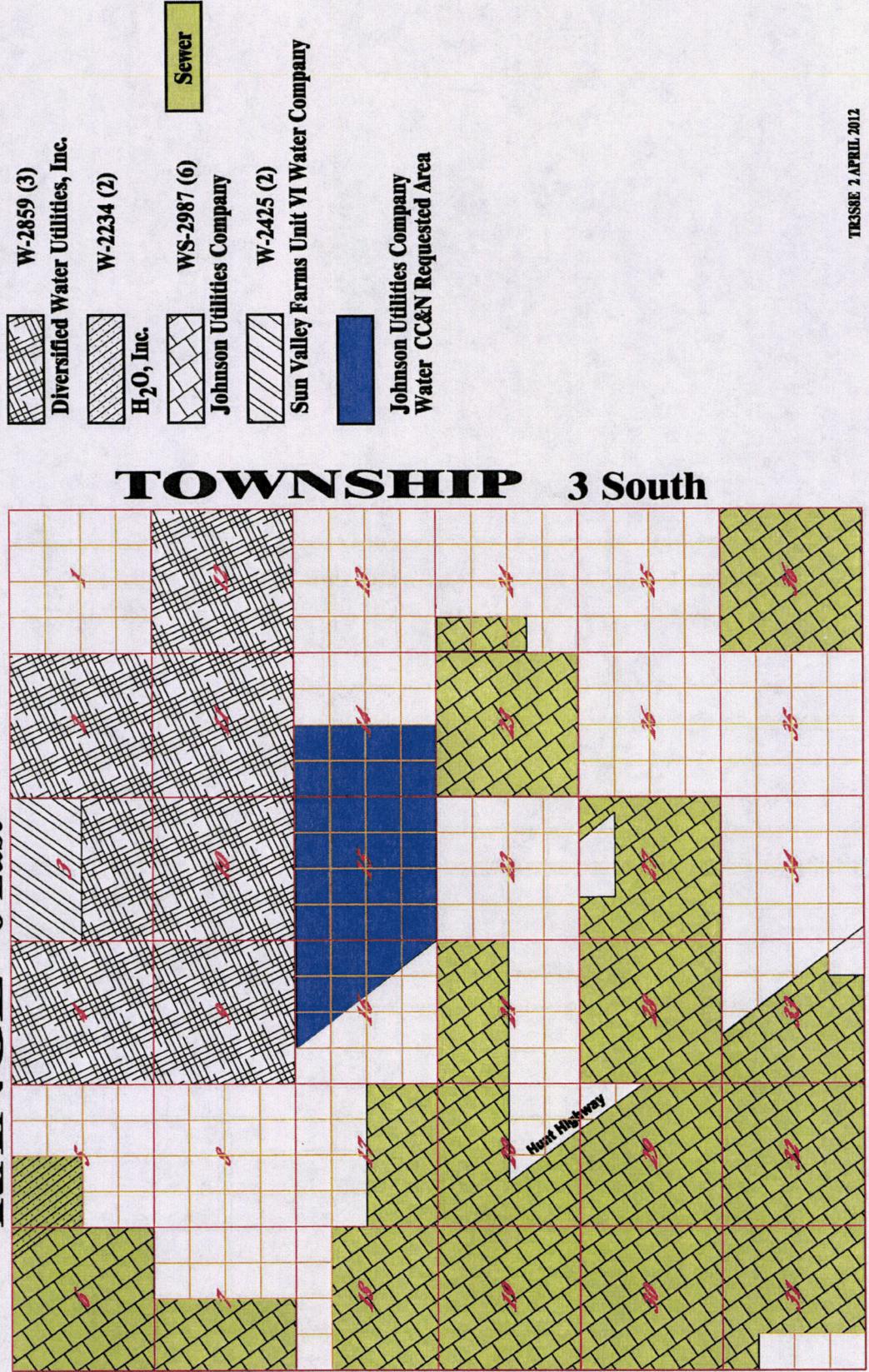
This compliance status report does not guarantee the water quality for this system in the future, and does not reflect the status of any other water system owned by this utility company.

Attachment 4

COUNTY: Pinal

RANGE 8 East

TOWNSHIP 3 South



CC & N Legal Description for T3S, R8E

All of the West Half of Section 14;

All of Section 15;

All of the Eastern portion of Section 16 presently within the Johnson Utilities Co.

Sewer C.C. & N.; all in Township 3 South, Range 8 East, being more particularly described as follows:

Beginning at the Southeast Corner of Section 16;

Thence North $37^{\circ} 07'25''$ West along the Sothern Pacific Railroad Right-of-Way, a distance of 6619.56 feet to a point on the North line of Section 16;

Thence North $89^{\circ}59'17''$ East along the North Line of Section 16, 15, and 14, a distance of 11,915.14 feet to the North Quarter Corner of Section 14;

Thence South $00^{\circ}00'00''$ East, along the North-South Mid-Section Line of Section 14 a distance of 5280.00 feet to the South Quarter Corner of Section 14;

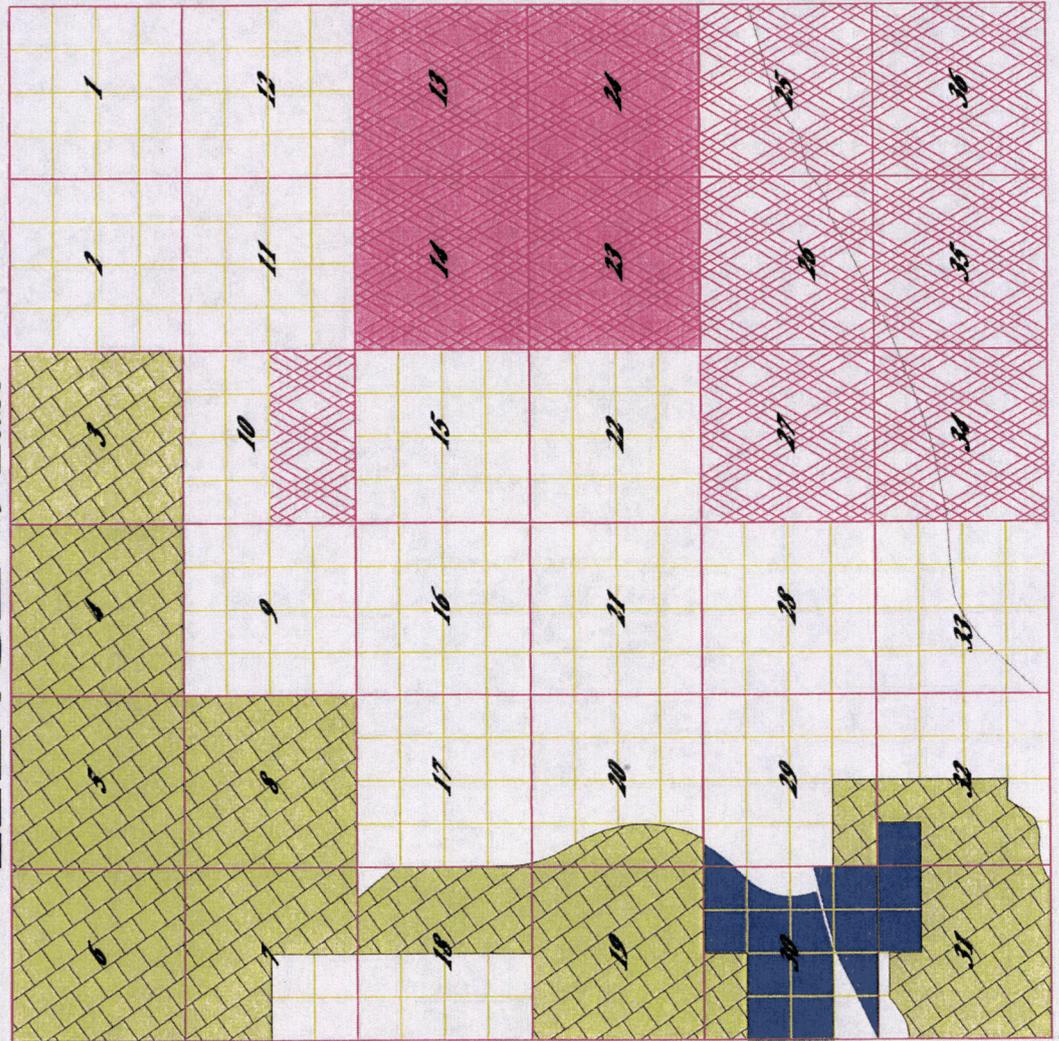
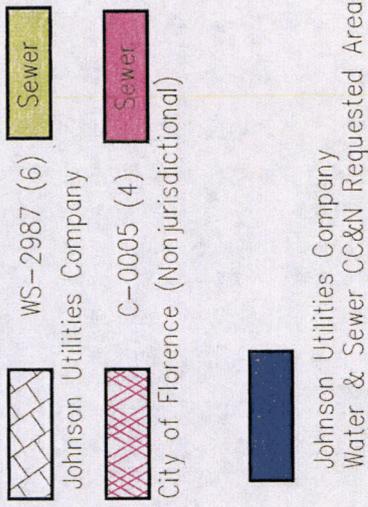
Thence South $89^{\circ}59'47''$ West along the South Section Lines of Sections 14, 15, and 16 a stance of 7920.00 feet the Southeast Corner of Section 16 and the TRUE POINT OF BEGINNING;

Attachment 5

COUNTY: Pinal

RANGE 9 East

TOWNSHIP 4 South





Pulte/Southwest Value Partners
Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29, Section 30, the Northeast Quarter of Section 31 and the Northwest Quarter of Section 32, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the POINT OF BEGINNING from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds;

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds;

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, North 75 Degrees 16 Minutes 42 Seconds East, a distance of 769.90 feet;

Thence, South 00 Degrees 00 Minutes 01 Seconds East, a distance of 1989.42 feet;

Thence, North 89 Degrees 52 Minutes 02 Seconds East, a distance of 1310.57 feet;

Thence, South 00 Degrees 25 Minutes 32 Seconds East, a distance of 1320.60 feet;

Thence, South 89 Degrees 52 Minutes 20 Seconds West, a distance of 1310.49 feet;

Thence, North 89 Degrees 58 Minutes 36 Seconds West, a distance of 2612.18 feet;

Thence, North 00 Degrees 23 Minutes 06 Seconds West, a distance of 1321.04 feet;

Thence, North 89 Degrees 57 Minutes 22 Seconds West, a distance of 2620.60 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 75.00 feet;

Thence, North 64 Degrees 43 Minutes 42 Seconds East, a distance of 2699.25 feet;

Thence, North 74 Degrees 31 Minutes 20 Seconds East, a distance of 344.72 feet;



Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2782.50 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

Containing 607.41 acres, more or less.

Attachment 6

**Engineering Report for
Sections 29, 30, 31 and 32. T4S, R9E**

This area to be added to the Johnson Utilities' CC & N system will consist of both water and sewer facilities.

The water improvements will consist of a water storage facility and at least 3 wells, along with the infrastructure piping to get the water to the different developments within the area. The onsite water systems will deliver the water to the units.

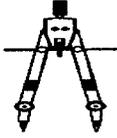
The sewer system required to serve the area will consist of an infrastructure system that will collect the sewage into a lift station and carry the flows through a force main to the Anthem WRP.

**Engineering Report for
Sections 14, 15, &16 T3S, R8E**

This area to be added to the Johnson Utilities' CC & N system is for water facilities only. The sewer facilities were added to the CC&N under a separate application.

The water improvements will consist of a 1 million gallon water storage facility and at least 3 wells, along with the 12" infrastructure piping to connect into Johnson Utilities existing 11-128 water system. The onsite water systems will deliver the water to the residential and commercial units.

Attachment 7



SPECIFIC ENGINEERING, LLC.

5310 E. SHEA BOULEVARD SUITE 2
SCOTTSDALE, ARIZONA 85254
Phone: (480) 596-6335
FAX: (480) 596-6437



PRELIMINARY CONSTRUCTION ESTIMATE

PROJECT : CC & N EXPANSION

DATE: 4/03/2012

CC & N SEWER EXPANSION

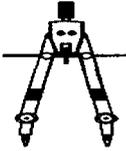
PROJECT NO.

NO. of LOTS: N/A

BY: JOHNSON UTILITY LLC

Description	Unit	Approximate Quantity	Unit Price	TOTAL
SECTION 29, 30, 31, & 32 INFRASTRUCTURE	EA	1	877,880.00	\$877,880.00
SECTION 29,30, 31, & 32 T4S, R9E ONSITE	EA	1	3,026,800.00	\$3,026,800.00
TOTAL				\$3,904,680.00
WATER RECLAMATION PLANT	EA	1	4,049,136.00	\$4,049,136.00
618 acres x 3.5 DU/acre x 187.2 gal/DU x \$10/gal	2,163	404,913.60	4,049,136.00	
618	561	105,000	1,050,000.00	\$10.02
	SUBTOTAL			\$7,953,816.00

Note: Specific Engineering LLC has no control over the costs of labor, materials or equipment or over any contractor's method of determining prices or over competitive bidding or market conditions. Consequently, the estimates of cost contained herein represent Specific Engineering, LLC's opinions of probable cost and are made solely on the basis of experience and qualifications and represent only a best judgement as a design professional familiar with the construction industry. Specific Engineering LLC cannot and does not guarantee that proposals, bids or final construction costs will not vary from opinions of probable cost prepared by Specific Engineering LLC.



SPECIFIC ENGINEERING, LLC.

5310 E. SHEA BOULEVARD SUITE 2
SCOTTSDALE, ARIZONA 85254
Phone: (480) 596-6335
FAX: (480) 596-6437



PRELIMINARY CONSTRUCTION ESTIMATE

PROJECT : CC & N EXPANSION SUMMARY

DATE: 4/02/2012

2012 CC & N WATER EXPANSION

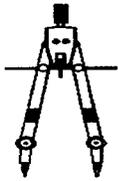
PROJECT NO.

NO. of LOTS: N/A

BY: JOHNSON UTILITY LLC

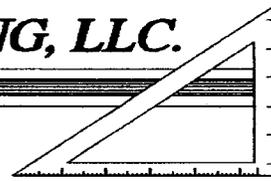
Description	Unit	Approximate Quantity	Unit Price	TOTAL
SEC 14,15,&16T3S,R8E ONSITE INFRASTRUCTURE	EA	1	2,567,640.00	\$2,567,640.00
SECTION14,15, & 16 T3S, R8E WATER WELLS	EA	1	1,360,592.00	\$1,360,592.00
SECTION 14,15, & 16 T3S, R8E WATER PLANT	EA	1	2,077,152.00	\$2,077,152.00
SECTION 14, 15, & 16 T3S,R8E ONSITE	EA	1	5,444,250.00	\$5,444,250.00
SEC 29,30, 31&32T4S,R9E ONSITE INFRASTRUCTURE	EA	1	918,620.00	\$918,620.00
SECTION29,30, 31 & 32 T4S, R9E WATER WELLS	EA	1	1,360,592.00	\$1,360,592.00
SECTION 29,30, 31 & 32 T4S, R9E WATER PLANT	EA	1	2,077,152.00	\$2,077,152.00
SECTION 29, 30, 31& 32 T4S,R9E ONSITE	EA	1	2,623,000.00	\$2,623,000.00
	SUBTOTAL			\$18,428,998.01

Note: Specific Engineering LLC has no control over the costs of labor, materials or equipment or over any contractor's method of determining prices or over competitive bidding or market conditions. Consequently, the estimates of cost contained herein represent Specific Engineering, LLC's opinions of probable cost and are made solely on the basis of experience and qualifications and represent only a best judgement as a design professional familiar with the construction industry. Specific Engineering LLC cannot and does not guarantee that proposals, bids or final construction costs will not vary from opinions of probable cost prepared by Specific Engineering LLC.



SPECIFIC ENGINEERING, LLC.

5310 E. SHEA BOULEVARD SUITE 2
SCOTTSDALE, ARIZONA 85254
Phone: (480) 596-6335
FAX: (480) 596-6437



ENGINEER'S ESTIMATE

PROJECT: SEC14, 15, & 16, T3S, R 8 E WATER WELLS

7/13/2011

This is for 2 wells w/o water plants-1 per setion

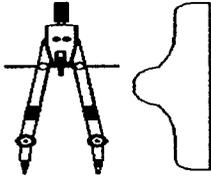
PROJECT NO: _____

NO. of LOTS: _____

BY: Specific Engineering, LLC

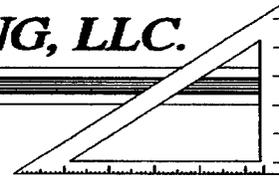
Description	Unit	Approximate Quantity	Unit Price	TOTAL
SITE PREPARATION	SY	556	\$2.88	\$1,604.00
8" DUCTILE IRON PIPE	LF	120	86.00	\$10,320.00
8" GATE VALVE	EA	4	890.00	\$3,560.00
WATER METER	EA	2	4,794.00	\$9,588.00
CONSTRUCT WELL	EA	2	288,456.00	\$576,912.00
INSTALL WELL PUMP	EA	2	325,120.00	\$650,240.00
SCADA-TELEMETRY	LS	2	25,000.00	\$50,000.00
SITE ELECTRICAL	LS	2	20,000.00	\$40,000.00
8' CHAIN LINK FENCE	LF	352	34.00	\$11,968.00
12' CHAIN LINK DOUBLE SWING GATE	EA	4	1,600.00	\$6,400.00
	TOTAL			\$1,360,592.00

Note: Specific Engineering LLC has no control over the costs of labor, materials or equipment or over any contractor's method of determining prices or over competitive bidding or market conditions. Consequently, the estimates of cost contained herein represent Specific Engineering, LLC's opinions of probable cost and are made solely on the basis of experience and qualifications and represent only a best judgement as a design professional familiar with the construction industry. Specific Engineering, LLC cannot and does not guarantee that proposals, bids or final construction costs will not vary from opinions of probable cost prepared by Specific Engineering, LLC.



SPECIFIC ENGINEERING, LLC.

5310 E. SHEA BOULEVARD SUITE 2
 SCOTTSDALE, ARIZONA 85254
 Phone: (480) 596-6335
 FAX: (480) 596-6437



ENGINEER'S ESTIMATE

PROJECT: Sec 14, 15, & 16, T3S, R8E Water Plants

DATE: 07/13/2011

WATER PLANTS

PROJECT NO: _____

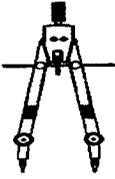
NO. of LOTS: _____

BY: Specific Engineering, LLC

This estimate includes an onsite well.

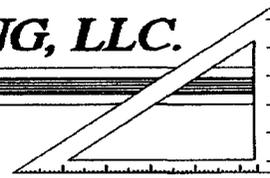
Description	Unit	Approximate Quantity	Unit Price	TOTAL
SITE PREPARATION	SY	150,800	\$2.88	\$434,304.00
1,000,000 GAL. STORAGE TANK	EA	1	689,325.00	\$689,325.00
10,000 GAL. HYDROPNEUMATIC TANK	EA	1	56,985.00	\$56,985.00
75 HP PUMP	EA	3	12,726.00	\$38,178.00
50 HP PUMP	EA	2	8,490.00	\$16,980.00
18 DUCTILE IRON PIPE	LF	230	229.00	\$52,670.00
8" DUCTILE IRON PIPE	LF	85	86.00	\$7,310.00
18" BUTTERFLY VALVE	EA	3	3,200.00	\$9,600.00
8" BUTTERFLY VALVE	EA	1	1,730.00	\$1,730.00
WATER METER	EA	1	4,794.00	\$4,794.00
CONSTRUCT WELL	EA	1	288,456.00	\$288,456.00
INSTALL WELL PUMP	EA	1	325,120.00	\$325,120.00
SCADA-TELEMETRY	LS	1	32,520.00	\$32,520.00
SITE ELECTRICAL	LS	1	49,490.00	\$49,490.00
8' CHAIN LINK FENCE	LF	1,870	34.00	\$63,580.00
24' CHAIN LINK DOUBLE SWING GATE	EA	2	3,055.00	\$6,110.00
	TOTAL			\$2,077,152.00

Note: Specific Engineering LLC has no control over the costs of labor, materials or equipment or over any contractor's method of determining prices or over competitive bidding or market conditions. Consequently, the estimates of cost contained herein represent Specific Engineering, LLC's opinions of probable cost and are made solely on the basis of experience and qualifications and represent only a best judgement as a design professional familiar with the construction industry. Specific Engineering, LLC cannot and does not guarantee that proposals, bids or final construction costs will not vary from opinions of probable cost prepared by Specific Engineering, LLC.



SPECIFIC ENGINEERING, LLC.

5310 E. SHEA BOULEVARD SUITE 2
SCOTTSDALE, ARIZONA 85254
Phone: (480) 596-6335
FAX: (480) 596-6437



ENGINEER'S ESTIMATE

PROJECT: SEC29, 30, 31 & 32, T4S, R 9 E WATER WELLS

4/2/2012

This is for 2 wells w/o water plants

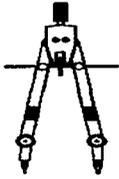
PROJECT NO: _____

NO. of LOTS: _____

BY: Specific Engineering, LLC

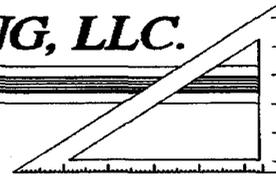
Description	Unit	Approximate Quantity	Unit Price	TOTAL
SITE PREPARATION	SY	556	\$2.88	\$1,604.00
8" DUCTILE IRON PIPE	LF	120	86.00	\$10,320.00
8" GATE VALVE	EA	4	890.00	\$3,560.00
WATER METER	EA	2	4,794.00	\$9,588.00
CONSTRUCT WELL	EA	2	288,456.00	\$576,912.00
INSTALL WELL PUMP	EA	2	325,120.00	\$650,240.00
SCADA-TELEMETRY	LS	2	25,000.00	\$50,000.00
SITE ELECTRICAL	LS	2	20,000.00	\$40,000.00
8' CHAIN LINK FENCE	LF	352	34.00	\$11,968.00
12' CHAIN LINK DOUBLE SWING GATE	EA	4	1,600.00	\$6,400.00
	TOTAL			\$1,360,592.00

Note: Specific Engineering LLC has no control over the costs of labor, materials or equipment or over any contractor's method of determining prices or over competitive bidding or market conditions. Consequently, the estimates of cost contained herein represent Specific Engineering, LLC's opinions of probable cost and are made solely on the basis of experience and qualifications and represent only a best judgement as a design professional familiar with the construction industry. Specific Engineering, LLC cannot and does not guarantee that proposals, bids or final construction costs will not vary from opinions of probable cost prepared by Specific Engineering, LLC.



SPECIFIC ENGINEERING, LLC.

5310 E. SHEA BOULEVARD SUITE 2
SCOTTSDALE, ARIZONA 85254
Phone: (480) 596-6335
FAX: (480) 596-6437



ENGINEER'S ESTIMATE

PROJECT: Sec 29, 30, 31, & 16, T4S, R9E Water Plant

4/2/2012

PROJECT NO: _____

NO. of LOTS: _____

BY: Specific Engineering, LLC

WATER PLANT

This estimate includes an onsite well.

Description	Unit	Approximate Quantity	Unit Price	TOTAL
SITE PREPARATION	SY	150,800	\$2.88	\$434,304.00
1,000,000 GAL. STORAGE TANK	EA	1	689,325.00	\$689,325.00
10,000 GAL. HYDROPNEUMATIC TANK	EA	1	56,985.00	\$56,985.00
75 HP PUMP	EA	3	12,726.00	\$38,178.00
50 HP PUMP	EA	2	8,490.00	\$16,980.00
18 DUCTILE IRON PIPE	LF	230	229.00	\$52,670.00
8" DUCTILE IRON PIPE	LF	85	86.00	\$7,310.00
18" BUTTERFLY VALVE	EA	3	3,200.00	\$9,600.00
8" BUTTERFLY VALVE	EA	1	1,730.00	\$1,730.00
WATER METER	EA	1	4,794.00	\$4,794.00
CONSTRUCT WELL	EA	1	288,456.00	\$288,456.00
INSTALL WELL PUMP	EA	1	325,120.00	\$325,120.00
SCADA-TELEMETRY	LS	1	32,520.00	\$32,520.00
SITE ELECTRICAL	LS	1	49,490.00	\$49,490.00
8' CHAIN LINK FENCE	LF	1,870	34.00	\$63,580.00
24' CHAIN LINK DOUBLE SWING GATE	EA	2	3,055.00	\$6,110.00
	TOTAL			\$2,077,152.00

Note: Specific Engineering LLC has no control over the costs of labor, materials or equipment or over any contractor's method of determining prices or over competitive bidding or market conditions. Consequently, the estimates of cost contained herein represent Specific Engineering, LLC's opinions of probable cost and are made solely on the basis of experience and qualifications and represent only a best judgement as a design professional familiar with the construction industry. Specific Engineering, LLC cannot and does not guarantee that proposals, bids or final construction costs will not vary from opinions of probable cost prepared by Specific Engineering, LLC.

Attachment 8



INDEPENDENT ACCOUNTANTS' COMPILATION REPORT

To the Board of Directors of
Johnson Utilities, L.L.C.
Scottsdale, Arizona

We have compiled the balance sheet of Johnson Utilities, L.L.C. as of December 31, 2011 and 2010, and the related water and sewer comparative statements of income and expense for the years then ended included in the accompanying prescribed form. We have not audited or reviewed the accompanying financial statements and, accordingly, do not express an opinion or provide any assurance about whether the financial statements are in accordance with the form prescribed by the Arizona Corporation Commission.

Management is responsible for the preparation and fair presentation of the financial statements in accordance with requirements prescribed by the Arizona Corporation Commission and for designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the financial statements.

Our responsibility is to conduct the compilation in accordance with Statements on Standards for Accounting and Review Services issued by the American Institute of Certified Public Accountants. The objective of a compilation is to assist management in presenting financial information in the form of financial statements without undertaking to obtain or provide any assurance that there are no material modifications that should be made to the financial statements.

These financial statements are presented in accordance with the requirements of the Arizona Corporation Commission, which differ from accounting principles generally accepted in the United States of America. This report is intended solely for the information and use of the Arizona Corporation Commission and is not intended to be and should not be used by anyone other than this specified party.

All other information contained in the accompanying prescribed form has not been audited, reviewed, or compiled by us and, accordingly, we assume no responsibility for that information.

ULLMANN & COMPANY, P.C.
Certified Public Accountants

March 28, 2012

COMPANY NAME JOHNSON UTILITIES, LLC
--

BALANCE SHEET

Acct. No.	ASSETS	BALANCE AT BEGINNING OF YEAR	BALANCE AT END OF YEAR
	CURRENT AND ACCRUED ASSETS		
131	Cash	\$ 7,923,153	\$ 3,380,711
134	Working Funds		
135	Temporary Cash Investments		
141	Customer Accounts Receivable	1,700,783	2,185,011
146	Notes/Receivables from Associated Companies		
151	Plant Material and Supplies	0	216,521
162	Prepayments	37,702	62,632
174	Miscellaneous Current and Accrued Assets	303,431	243,624
	TOTAL CURRENT AND ACCRUED ASSETS	\$ 9,833,449	\$ 6,088,499
	FIXED ASSETS		
101	Utility Plant in Service	\$ 205,258,404	\$ 225,606,731
103	Property Held for Future Use	3,008,114	3,139,080
105	Construction Work in Progress	7,546,590	5,896,289
108	Accumulated Depreciation - Utility Plant	29,460,919	38,265,860
121	Non-Utility Property	126,068	126,068
122	Accumulated Depreciation - Non Utility	4,687	7,919
	TOTAL FIXED ASSETS	\$ 186,473,570	\$ 196,494,389
	TOTAL ASSETS	\$ 196,307,019	\$ 202,582,888

NOTE: The Assets on this page should be equal to Total Liabilities and Capital on the following page

COMPANY NAME JOHNSON UTILITIES, LLC
--

BALANCE SHEET - (CONTINUED)

Acct. No.	LIABILITIES	BALANCE AT BEGINNING OF YEAR	BALANCE AT END OF YEAR
	CURRENT LIABILITES		
231	Accounts Payable	\$ 7,004,389	\$ 5,807,700
232	Notes Payable (Current Portion)		
234	Notes/Accounts Payable to Associated Companies		
235	Customer Deposits	1,234,709	970,080
236	Accrued Taxes	660,935	969,401
237	Accrued Interest		
241	Miscellaneous Current and Accrued Liabilities		
	TOTAL CURRENT LIABILITIES	\$ 8,900,033	\$ 7,747,181
	LONG-TERM DEBT (Over 12 Months)		
224	Long-Term Notes and Bonds	\$ 600,000	\$ 600,000
	DEFERRED CREDITS		
251	Unamortized Premium on Debt	\$ -	\$ -
252	Advances in Aid of Construction	110,184,940	107,635,690
255	Accumulated Deferred Investment Tax Credits		
271	Contributions in Aid of Construction	85,811,042	86,151,753
272	Less: Amortization of Contributions	13,061,689	16,015,146
281	Accumulated Deferred Income Tax		
	TOTAL DEFERRED CREDITS	\$ 183,534,293	\$ 177,772,297
	TOTAL LIABILITIES	\$ 192,434,326	\$ 186,119,478
	CAPITAL ACCOUNTS		
201	Common Stock Issued	\$ -	\$ -
211	Paid in Capital in Excess of Par Value		
215	Retained Earnings		
218	Proprietary Capital (Sole Props and Partnerships)	3,872,693	16,463,410
	TOTAL CAPITAL	\$ 3,872,693	\$ 16,463,410
	TOTAL LIABILITIES AND CAPITAL	\$ 196,907,019	\$ 202,582,888

COMPANY NAME**JOHNSON UTILITIES, LLC****WATER COMPARATIVE STATEMENT OF INCOME AND EXPENSE**

Acct. No.	OPERATING REVENUES	PRIOR YEAR	CURRENT YEAR
461	Metered Water Revenue	\$ 10,930,031	\$ 9,845,882
460	Unmetered Water Revenue		
474	Other Water Revenues	478,512	410,902
	TOTAL REVENUES	\$ 11,408,543	\$ 10,256,784
	OPERATING EXPENSES		
601	Salaries and Wages	\$ -	\$ -
610	Purchased Water	130,130	105,184
615	Purchased Power	889,658	869,614
618	Chemicals	22,597	17,934
620	Repairs and Maintenance	123,602	(49,018)
621	Office Supplies and Expense	97,665	7,897
630	Outside Services	7,249,219	8,746,754
635	Water Testing	142,914	38,637
641	Rents	69,573	76,352
650	Transportation Expenses	3,983	2,518
657	Insurance - General Liability	48,103	45,759
659	Insurance - Health and Life	3,294	1,664
666	Regulatory Commission Expense - Rate Case	26,985	33,333
675	Miscellaneous Expense	268,807	242,292
403	Depreciation Expense	1,325,321	1,454,029
408	Taxes Other Than Income	899,179	12,222
408.11	Property Taxes	653,020	726,155
409	Income Tax		
	TOTAL OPERATING EXPENSES	\$ 11,954,050	\$ 12,331,326
	OTHER INCOME/EXPENSE		
419	Interest and Dividend Income	\$ 38,590	\$ 31,981
421	Non-Utility Income	232,989	257,315
426	Miscellaneous Non-Utility Expenses	7,965	6,947
427	Interest Expense	47,393	66,609
	TOTAL OTHER INCOME/EXP	\$ 232,151	\$ 215,740
	NET INCOME/(LOSS)	\$ (313,356)	\$ (1,858,802)

See Accountants' Compilation Report

COMPANY NAME

JOHNSON UTILITIES, LLC

SEWER COMPARATIVE STATEMENT OF INCOME AND EXPENSE

	OPERATING REVENUES	PRIOR YEAR	CURRENT YEAR
521	Flat Rate Revenues	\$ 11,381,228	\$ 11,342,331
522	Measured Revenues	384,202	342,910
536	Other Wastewater Revenues	484,405	820,031
	TOTAL REVENUES	\$ 12,249,835	\$ 12,505,272
	OPERATING EXPENSES		
701	Salaries and Wages	\$ -	\$ -
710	Purchased Wastewater Treatment		
711	Sludge Removal Expense	765,547	548,272
715	Purchased Power	788,290	789,934
716	Fuel for Power Production		
718	Chemicals	111,939	193,444
720	Materials and Supplies	94,299	98,708
731	Contractual Services - Professional	6,587,659	8,324,714
735	Contractual Services - Testing	62,458	0
736	Contractual Services - Other	646,924	0
740	Rents	737,961	744,773
750	Transportation Expense	4,143	3,078
755	Insurance Expense	57,117	47,772
765	Regulatory Commission Expense	66,930	33,333
775	Miscellaneous Expense	17,876,737	295,698
403	Depreciation Expense	2,793,713	3,543,352
408	Taxes Other Than Income	3,497	15,063
408.11	Property Taxes	542,456	654,937
409	Income Taxes		
	TOTAL OPERATING EXPENSES	\$ 30,492,656	\$ 15,293,078
	OTHER INCOME/EXPENSE		
419	Interest and Dividend Income	\$ 41,364	\$ 38,959
421	Non-Utility Income	232,989	257,315
426	Miscellaneous Non-Utility Expenses	7,965	6,947
427	Interest Expense	49,590	74,678
	TOTAL OTHER INCOME/EXP	\$ 232,728	\$ 214,649
	NET INCOME/(LOSS)	\$ (18,010,093)	\$ (2,573,157)

Attachment 9

Construction Timelines

Bella Vista Farms Master Planned Development: Central Arizona College plans to start construction of the off-site and on-site lines in July of 2012 and plans to complete construction by July of 2013. Residential subdivisions are not planned to start construction until 2016 and will be phased in 100 to 200 lot subdivisions.

Merrill Ranch Master Planned Development: Engineering on the on-site facilities will start at the approval of the CC&N expansion. Construction is planned to start in early 2014. This project is planned to be phased in 100 to 200 lot subdivisions.

Attachment 10

Southwest Value Partners



April 4, 2012

George H. Johnson
Johnson Utilities, Inc.
5230 E Shea Boulevard
Suite 200
Scottsdale AZ 85254

Dear Mr. Johnson:

SWVP-GTIS MR LLC, an Arizona limited liability company (Southwest Value Partners), hereby requests that Johnson Utilities provide water and sewer service to a portion of the project known as Merrill Ranch. A legal description of the development is attached to this letter. We understand that the property is currently outside of Johnson Utilities' CC&N and we request that you proceed with filing an application with the Arizona Corporation Commission to have our property included in your certificated area.

Should you have any further questions or need anything further for the CC&N application please feel free to contact me.

Sincerely,

Justin Merritt
SWVP-GTIS MR, LLC
7600 E. Doubletree Ranch Road, Ste 130
Scottsdale, AZ 85258
480-766-6763
jmerritt@swvp.com



BAXTER DESIGN GROUP

Pulte/Southwest Value Partners
Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29, Section 30, the Northeast Quarter of Section 31 and the Northwest Quarter of Section 32, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the **POINT OF BEGINNING** from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds;

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds;

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, North 75 Degrees 16 Minutes 42 Seconds East, a distance of 769.90 feet;

Thence, South 00 Degrees 00 Minutes 01 Seconds East, a distance of 1989.42 feet;

Thence, North 89 Degrees 52 Minutes 02 Seconds East, a distance of 1310.57 feet;

Thence, South 00 Degrees 25 Minutes 32 Seconds East, a distance of 1320.60 feet;

Thence, South 89 Degrees 52 Minutes 20 Seconds West, a distance of 1310.49 feet;

Thence, North 89 Degrees 58 Minutes 36 Seconds West, a distance of 2612.18 feet;

Thence, North 00 Degrees 23 Minutes 06 Seconds West, a distance of 1321.04 feet;

Thence, North 89 Degrees 57 Minutes 22 Seconds West, a distance of 2620.60 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 75.00 feet;

Thence, North 64 Degrees 43 Minutes 42 Seconds East, a distance of 2699.25 feet;

Thence, North 74 Degrees 31 Minutes 20 Seconds East, a distance of 344.72 feet;



Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2782.50 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

Containing 607.41 acres, more or less.

BELLA SIERRA, LLC

September 1, 2011

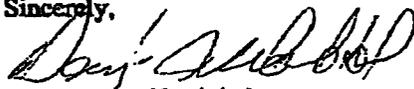
George H. Johnson
Johnson Utilities, Inc.
5230 E Shea Boulevard
Suite 200
Scottsdale AZ 85254

Dear Mr. Johnson:

Bella Sierra, LLC hereby requests that Johnson Utilities provide water and sewer service to Bella Sierra, LLC. A legal description of the development is attached to this letter. We understand that the property is currently outside of Johnson Utilities' CC&N and we request that you proceed with filing an application with the Arizona Corporation Commission to have our property included in your certificated area.

Should you have any further questions or need anything further for the CC&N application please feel free to contact me.

Sincerely,



Daryl A. Wolfswinkel
Member

4159 WEST MILKY WAY
CHANDLER, ARIZONA 85226
480 854-9800 480 854-9801 fax

Exhibit A

PARCEL NO. 1:

The West half of the Northeast quarter of Section 15, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT 1/16th of all oil, gas and other hydrocarbon substances, coal, stone, metals, minerals, fossils and fertilizer of every name and description and EXCEPT all materials which may be essential to production of fissionable material as reserved in Arizona Revised Statutes.

PARCEL NO. 2:

The East half of Section 10, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT all oil, gas and other hydrocarbon substances, helium or other substances of a gaseous nature, coal, metals, minerals, fossils, fertilizer of every name and description and EXCEPT all materials which may be essential to production of fissionable material as reserved in Arizona Revised Statutes.

PARCEL NO. 3:

The West 240 feet of the Northwest quarter of the Northwest quarter of the Northwest quarter of Section 11, Township 3 South, Range 8 East of the Gila and Salt River Base and meridian, Pinal County, Arizona.



HARVARD INVESTMENTS

A HILL COMPANY

April 6, 2012

George H. Johnson
Johnson Utilities, Inc.
5230 E Shea Boulevard
Suite 200
Scottsdale AZ 85254

Dear Mr. Johnson:

BVF Opportunity, LLC & BVF Land, LLC hereby request that Johnson Utilities provide water service to a portion of Bella Vista Farms (the "Property"). A legal description of the Property is attached to this letter as Exhibit A. We understand that the Property is currently outside of Johnson Utilities' CC&N and we request that you proceed with filing an application with the Arizona Corporation Commission to have the Property included in your certificated area.

Should you have any further questions or need anything further for the CC&N application please feel free to contact me.

Sincerely,

Timothy P. Brislin
Vice President
Harvard Investments

EXHIBIT "A"

Legal Descriptions of Parcels Owned by BVF Land, LLC & BVF Opportunity, LLC in the proposed Johnson Utilities Water Service CC&N Expansion Area

PARCEL OWNED BY BVF OPPORTUNITY, LLC (Parcel 5 only)

PARCEL NO. 5:

THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT ANY PORTION LYING WITHIN PROPERTY CONVEYED TO SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT BY SPECIAL WARRANTY DEED RECORDED OCTOBER 19, 2006 AS 2006-146184, OF OFFICIAL RECORDS;

AND EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

AND EXCEPT PORTIONS OF THE WEST HALF OF SECTION 15 AND EAST HALF OF SECTION 16, OF TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A #5 REBAR WITH CAP RLS # 25070 (3" ALUMINUM CAP) LOCATED AT THE SOUTH QUARTER CORNER OF SAID SECTION 15, FROM WHICH A COTTON PICKER SPINDLE (3" ALUMINUM CAP) LOCATED AT THE SOUTHWEST CORNER OF SAID SECTION 15 BEARS SOUTH 89° 33' 39" WEST, 2690.31 FEET (SOUTH 89° 33' 53" WEST 2690.53 FEET MEASURED);

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 89° 33' 39" WEST, 1176.99 (SOUTH 89° 33' 53" WEST 1176.00 FEET MEASURED) FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89° 33' 39" WEST, 1513.32 FEET (SOUTH 89° 33' 53" WEST 1514.53 FEET MEASURED) TO SAID SOUTHWEST CORNER;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, SOUTH 89° 26' 07" WEST, 159.21 FEET (SOUTH 89° 26' 20" WEST 159.14 FEET MEASURED) TO THE NORTHEASTERLY SOUTHERN PACIFIC RAILROAD RIGHT-OF-WAY LINE;

THENCE LEAVING SAID SOUTH LINE, NORTH 39° 00' 38" WEST, 2266.81 FEET (NORTH 39° 00' 38" WEST 2267.00 FEET MEASURED) ALONG SAID RIGHT-OF-WAY LINE;

THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTH 51° 02' 41" EAST, 2390.86 FEET TO A NON TANGENT CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 1500.00 FEET, THE CENTER OF WHICH BEARS NORTH 54° 58' 49" EAST;

THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57° 16' 14", AN ARC LENGTH OF 1499.34 FEET;

THENCE NORTH 87° 42' 36" EAST, 1023.68 FEET TO A #5 REBAR WITH CAP RLS # 25070 LOCATED AT THE CENTER OF SAID SECTION 15;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 02° 17' 29" EAST, 1978.53 FEET (SOUTH 02° 17' 42" EAST, 1978.53 MEASURED);

THENCE LEAVING SAID EAST LINE, SOUTH 89° 33' 39" WEST, 1155.37 FEET (SOUTH 89° 33' 53" WEST, 1155.37 FEET MEASURED);

THENCE SOUTH 00° 26' 21" EAST, 668.47 FEET (SOUTH 00° 31' 43" EAST, 668.89 FEET MEASURED) TO THE POINT OF BEGINNING.

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

PARCEL OWNED BY BVF LAND, LLC (Parcels 4. 6. 7)

PARCEL NO. 4:

ALL OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, LYING NORTHEASTERLY OF THE SOUTHERN PACIFIC RIGHT-OF-WAY;

EXCEPT THE NORTH HALF OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16;

AND EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

AND EXCEPT PORTIONS OF THE WEST HALF OF SECTION 15 AND EAST HALF OF SECTION 16, OF TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A #5 REBAR WITH CAP RLS # 25070 (3" ALUMINUM CAP) LOCATED AT THE SOUTH QUARTER CORNER OF SAID SECTION 15, FROM WHICH A COTTON PICKER SPINDLE (3" ALUMINUM CAP) LOCATED AT THE SOUTHWEST CORNER OF SAID SECTION 15 BEARS SOUTH 89° 33' 39" WEST, 2690.31 FEET (SOUTH 89° 33' 53" WEST 2690.53 FEET MEASURED);

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 89° 33' 39" WEST, 1176.99 (SOUTH 89° 33' 53" WEST 1176.00 FEET MEASURED) FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89° 33' 39" WEST, 1513.32 FEET (SOUTH 89° 33' 53" WEST 1514.53 FEET MEASURED) TO SAID SOUTHWEST CORNER;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, SOUTH 89° 26' 07" WEST, 159.21 FEET (SOUTH 89° 26' 20" WEST 159.14 FEET MEASURED) TO THE NORTHEASTERLY SOUTHERN PACIFIC RAILROAD RIGHT-OF-WAY LINE;

THENCE LEAVING SAID SOUTH LINE, NORTH 39° 00' 38" WEST, 2266.81 FEET (NORTH 39° 00' 38" WEST 2267.00 FEET MEASURED) ALONG SAID RIGHT-OF-WAY LINE;

THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTH 51° 02' 41" EAST, 2390.86 FEET TO A NON TANGENT CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 1500.00 FEET, THE CENTER OF WHICH BEARS NORTH 54° 58' 49" EAST;

THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57° 16' 14", AN ARC LENGTH OF 1499.34 FEET;

THENCE NORTH 87° 42' 36" EAST, 1023.68 FEET TO A #5 REBAR WITH CAP RLS # 25070 LOCATED AT THE CENTER OF SAID SECTION 15;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 02° 17' 29" EAST, 1978.53 FEET (SOUTH 02° 17' 42" EAST, 1978.53 MEASURED);

THENCE LEAVING SAID EAST LINE, SOUTH 89° 33' 39" WEST, 1155.37 FEET (SOUTH 89° 33' 53" WEST, 1155.37 FEET MEASURED);

THENCE SOUTH 00° 26' 21" EAST, 668.47 FEET (SOUTH 00° 31' 43" EAST, 668.89 FEET MEASURED) TO THE POINT OF BEGINNING.

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

PARCEL NO. 6:

THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

AND EXCEPT PORTIONS OF THE WEST HALF OF SECTION 15 AND EAST HALF OF SECTION 16, OF TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A #5 REBAR WITH CAP RLS # 25070 (3" ALUMINUM CAP) LOCATED AT THE SOUTH QUARTER CORNER OF SAID SECTION 15, FROM WHICH A COTTON PICKER SPINDLE (3" ALUMINUM CAP) LOCATED AT THE SOUTHWEST CORNER OF SAID SECTION 15 BEARS SOUTH 89° 33' 39" WEST, 2690.31 FEET (SOUTH 89° 33' 53" WEST 2690.53 FEET MEASURED);

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 89° 33' 39" WEST, 1176.99 (SOUTH 89° 33' 53" WEST 1176.00 FEET MEASURED) FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89° 33' 39" WEST, 1513.32 FEET (SOUTH 89° 33' 53" WEST 1514.53 FEET MEASURED) TO SAID SOUTHWEST CORNER;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, SOUTH 89° 26' 07" WEST, 159.21 FEET (SOUTH 89° 26' 20" WEST 159.14 FEET MEASURED) TO THE NORTHEASTERLY SOUTHERN PACIFIC RAILROAD RIGHT-OF-WAY LINE;

THENCE LEAVING SAID SOUTH LINE, NORTH 39° 00' 38" WEST, 2266.81 FEET (NORTH 39° 00' 38" WEST 2267.00 FEET MEASURED) ALONG SAID RIGHT-OF-WAY LINE;

THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTH 51° 02' 41" EAST, 2390.86 FEET TO A NON TANGENT CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 1500.00 FEET, THE CENTER OF WHICH BEARS NORTH 54° 58' 49" EAST;

THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57° 16' 14", AN ARC LENGTH OF 1499.34 FEET;

THENCE NORTH 87° 42' 36" EAST, 1023.68 FEET TO A #5 REBAR WITH CAP RLS # 25070 LOCATED AT THE CENTER OF SAID SECTION 15;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 02° 17' 29" EAST, 1978.53 FEET (SOUTH 02° 17' 42" EAST, 1978.53 MEASURED);

THENCE LEAVING SAID EAST LINE, SOUTH 89° 33' 39" WEST, 1155.37 FEET (SOUTH 89° 33' 53" WEST, 1155.37 FEET MEASURED);

THENCE SOUTH 00° 26' 21" EAST, 668.47 FEET (SOUTH 00° 31' 43" EAST, 668.89 FEET MEASURED) TO THE POINT OF BEGINNING.

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

PARCEL NO. 7:

THE NORTH HALF OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

AND EXCEPT PORTIONS OF THE WEST HALF OF SECTION 15 AND EAST HALF OF SECTION 16, OF TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A #5 REBAR WITH CAP RLS # 25070 (3" ALUMINUM CAP) LOCATED AT THE SOUTH QUARTER CORNER OF SAID SECTION 15, FROM WHICH A COTTON PICKER SPINDLE (3" ALUMINUM CAP) LOCATED AT THE SOUTHWEST CORNER OF SAID SECTION 15 BEARS SOUTH 89° 33' 39" WEST, 2690.31 FEET (SOUTH 89° 33' 53" WEST 2690.53 FEET MEASURED);

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 89° 33' 39" WEST, 1176.99 (SOUTH 89° 33' 53" WEST 1176.00 FEET MEASURED) FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89° 33' 39" WEST, 1513.32 FEET (SOUTH 89° 33' 53" WEST 1514.53 FEET MEASURED) TO SAID SOUTHWEST CORNER;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, SOUTH 89° 26' 07" WEST, 159.21 FEET (SOUTH 89° 26' 20" WEST 159.14 FEET MEASURED) TO THE NORTHEASTERLY SOUTHERN PACIFIC RAILROAD RIGHT-OF-WAY LINE;

THENCE LEAVING SAID SOUTH LINE, NORTH 39° 00' 38" WEST, 2266.81 FEET (NORTH 39° 00' 38" WEST 2267.00 FEET MEASURED) ALONG SAID RIGHT-OF-WAY LINE;

THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTH 51° 02' 41" EAST, 2390.86 FEET TO A NON TANGENT CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 1500.00 FEET, THE CENTER OF WHICH BEARS NORTH 54° 58' 49" EAST;

THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57° 16' 14", AN ARC LENGTH OF 1499.34 FEET;

THENCE NORTH 87° 42' 36" EAST, 1023.68 FEET TO A #5 REBAR WITH CAP RLS # 25070 LOCATED AT THE CENTER OF SAID SECTION 15;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 02° 17' 29" EAST, 1978.53 FEET (SOUTH 02° 17' 42" EAST, 1978.53 MEASURED);

THENCE LEAVING SAID EAST LINE, SOUTH 89° 33' 39" WEST, 1155.37 FEET (SOUTH 89° 33' 53" WEST, 1155.37 FEET MEASURED);

THENCE SOUTH 00° 26' 21" EAST, 668.47 FEET (SOUTH 00° 31' 43" EAST, 668.89 FEET MEASURED) TO THE POINT OF BEGINNING.

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION;

AND EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

NOTE: Parcel numbers contained in this exhibit are defined in the Record of Survey 2011-092540 on file with the Pinal County, AZ Recorder's Office.

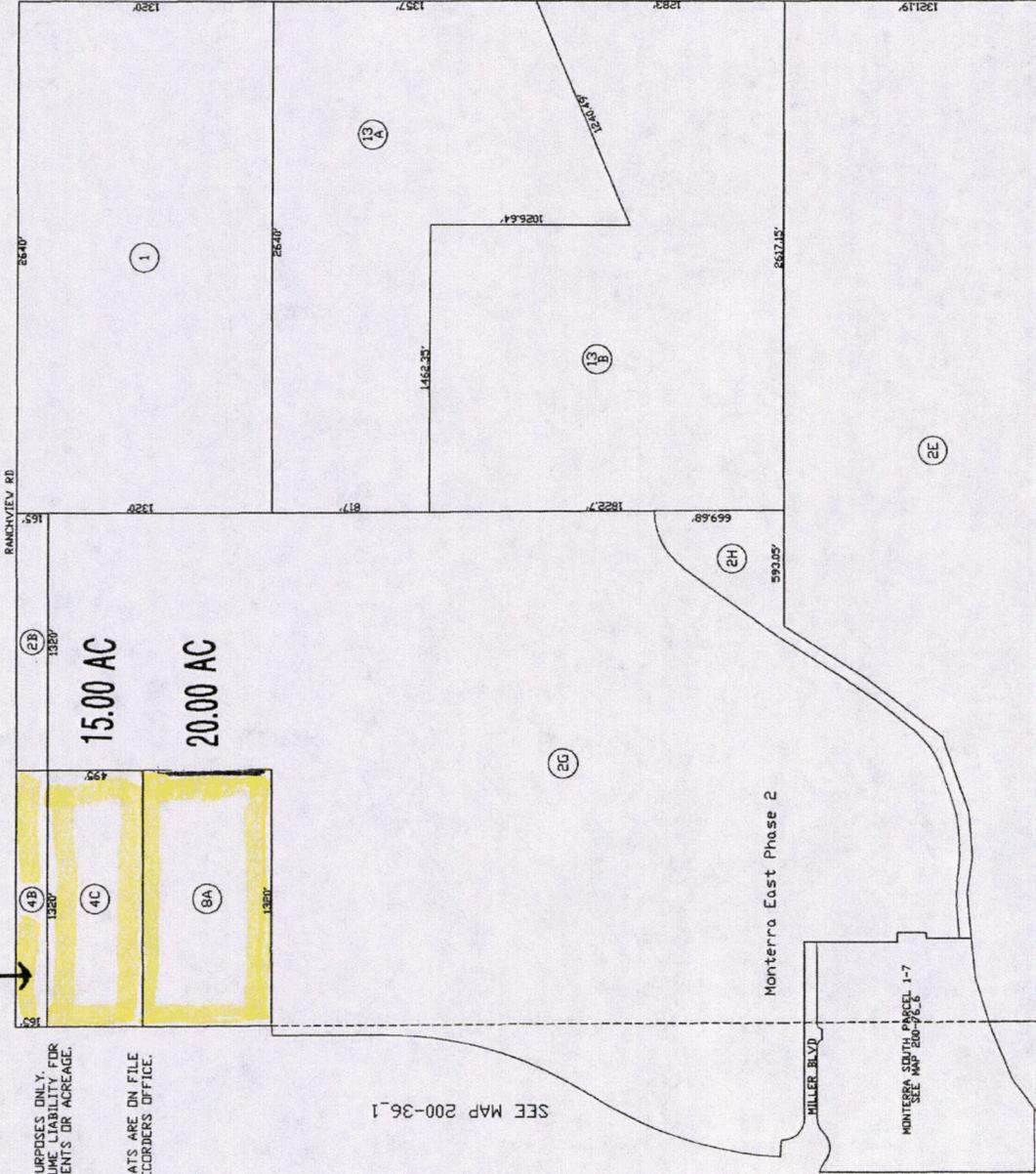
Attachment 11

SWVP-GTIS MR LLC

5.00 AC

SEC 32 & PART SEC 31, TN.4S RG.9E

SEE MAP 200-35



THIS MAP IS FOR TAX PURPOSES ONLY. THIS OFFICE WILL NOT ASSUME LIABILITY FOR REPRESENTATION, MEASUREMENTS OR ADMEAS.

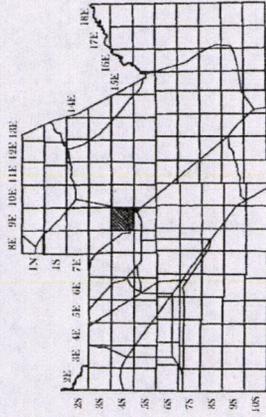
SURVEYS & SUBDIVISION PLATS ARE ON FILE WITH THE PINAL COUNTY RECORDERS OFFICE.

CANCELED PARCEL # 200-36-001BJ 37-002D

SEE BOOK 202

200-37

LOCATION MAP



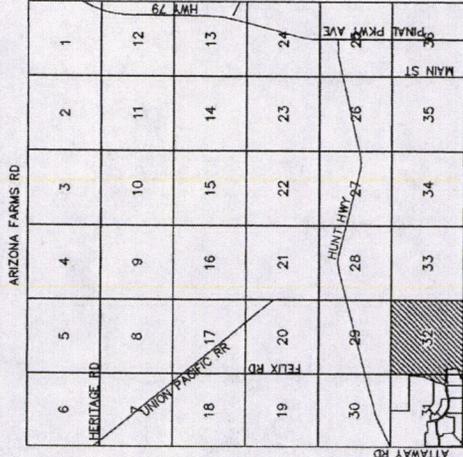
SEE MAP 200-38



SCALE: 1" = 600'

UPDATED BY: DN
04-05-2007

VICINITY MAP



PINAL COUNTY ASSESSOR'S MAP



Search Criteria (v. 2.0) (Parcel Number: 200-37-004-B)	New Search
Search Results (1 Entries)	Back to List
Parcel Details (200-37-004B)	View Details
Link to This Parcel Print View	

Parcel Number 200-37-004B shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 200-37-004B (Taxing Information)	Primary Owner: SWVP-GTIS MR LLC	
Section: 32 Township: 04S Range: 09E	Name 2:	
Atlas Number: 047-32 Map: View Parcel Map	In C/O:	
Property Description: (What is this?) N-165' OF E-1320' OF N 1/2 NW/NW SEC 32-4S-9E 5.00 AC	Tax Bill Mailing Address	
	Address: 12790 EL CAMINO REAL STE 150	
	City: SAN DIEGO	
	State: CA	
	Zip Code: 92130	

Date of Sale: 3/28/2010	Property Address (Location):
Sale Amount: \$27,650,400.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-028693	Cabinet: Slide:

No Personal Property Listed

Value Details	View Values
----------------------	--------------------

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Search Criteria (v. 2.0) (Parcel Number: 200-37-008-A)	New Search
Search Results (1 Entries)	Back to List
Parcel Details (200-37-008A)	View Details
Link to This Parcel Print View	

Parcel Number 200-37-008A shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 200-37-008A (Taxing Information)	Primary Owner: SWVP-GTIS MR LLC
Section: 32 Township: 04S Range: 09E	Name 2:
Atlas: 047-32 Map: View Parcel Map	In C/O:
Number:	Tax Bill Mailing Address
Property Description: (What is this?) S1/2 NW1/4 SEC 32-4S-9E 20.00 AC	Address: 12790 EL CAMINO REAL STE 150
	City: SAN DIEGO
	State: CA
	Zip Code: 92130

Date of Sale: 3/26/2010	Property Address (Location):
Sale Amount: \$27,650,400.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-028693	Cabinet: Slider:

No Personal Property Listed

Value Details	View Values
----------------------	--------------------



Search Criteria (v. 2.0) (Parcel Number: 200-37-004-C)	New Search
Search Results (1 Entries)	Back to List
Parcel Details (200-37-004C)	View Details
Link to This Parcel Print View	

Parcel Number 200-37-004C shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 200-37-004C (Taxing Information)	Primary Owner: SWWP-GTIS MR LLC	
Section: 32 Township: 04S Range: 09E	Name 2:	
Atlas Number: 047-32 Map: View Parcel Map	In C/O:	
Property Description: (What is this?) S-495' OF E-1320' OF N 1/2 NW NW SEC 32-4S-6E 15.00 AC	Tax Bill Mailing Address	
	Address: 12790 EL CAMINO REAL STE 150	
	City: SAN DIEGO	
	State: CA	
	Zip Code: 92130	

Date of Sale: 3/26/2010	Property Address (Location):
Sale Amount: \$27,650,400.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-028693	Cabinet: Slide:

No Personal Property Listed

Value Details	View Values
----------------------	--------------------

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Search Criteria (v. 2.0) (Parcel Number: 200-31-022-C)	New Search
Search Results (1 Entries)	Back to List
Parcel Details (200-31-022C)	View Details
Link to This Parcel Print View	

Parcel Number 200-31-022C shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 200-31-022C (Taxing Information)	Primary Owner: SWWP-GTIS MR LLC
Section: 30 Township: 04S Range: 08E	Name 2:
Atlas Number: 047-30 Map: View Parcel Map	In C/O:
Property Description: (What is this?) S1/2 S1/2 OF SEC 30 4S-0E LYING S & E OF OLD N-RIGHT WAY LINE SPRR 121.80 AC	Tax Bill Mailing Address
	Address: 12790 EL CAMINO REAL STE 150
	City: SAN DIEGO
	State: CA
	Zip Code: 92130

Date of Sale: 3/26/2010	Property Address (Location):
Sale Amount: \$27,650,400.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-028693	Cabinet: Side:

No Personal Property Listed

Value Details	View Values
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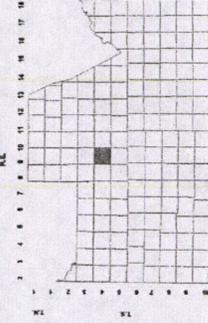
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[Site Map](#) © 2012 Pinal County

BOOK - MAP

200-31

T.04S. R.09E.

LOCATION MAPS



TOWNSHIP					
6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36
SECTION					



Revised: 10/21/2011

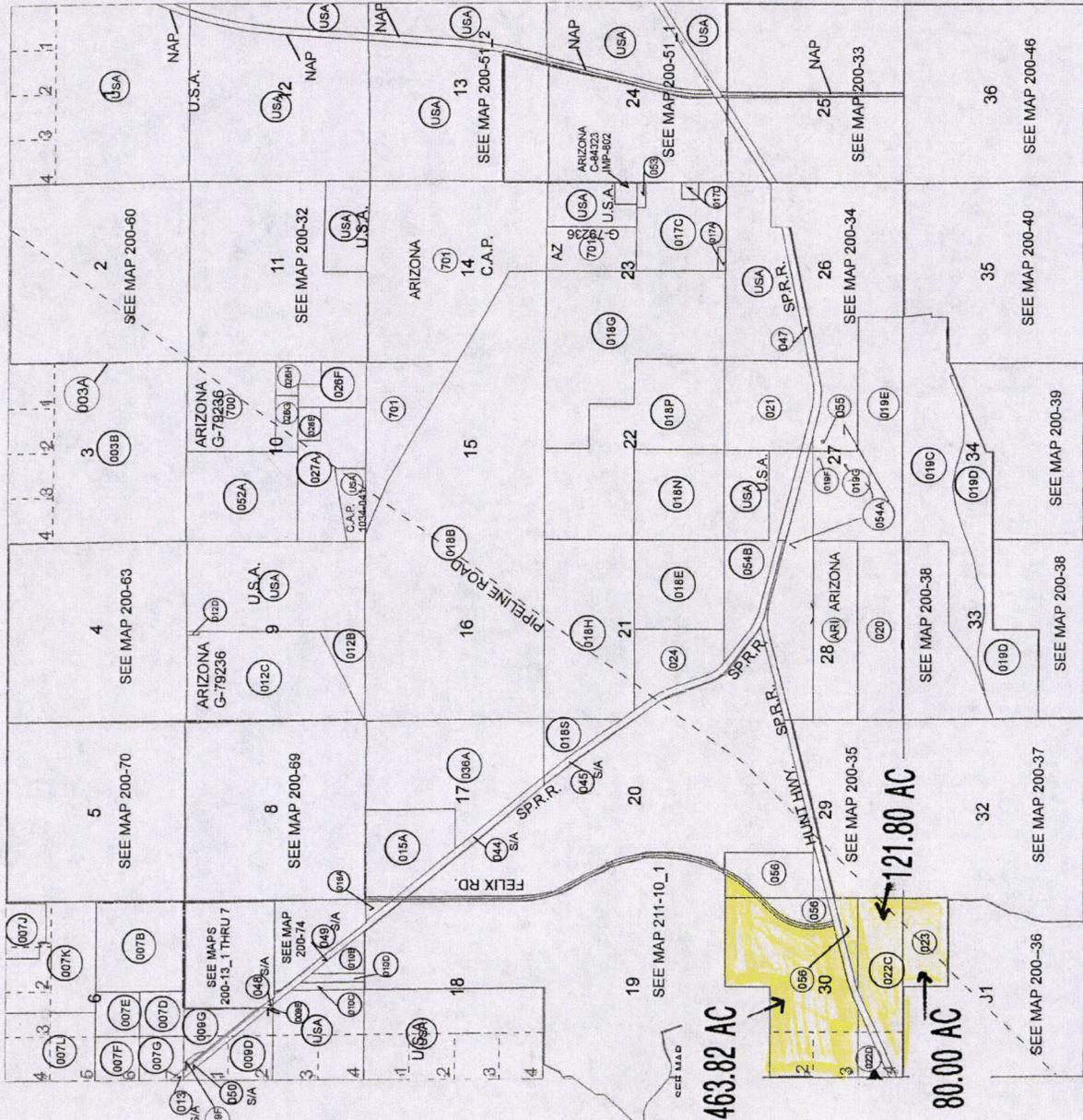
By: MBG



PINAL COUNTY
with open opportunity

Pinal County Assessor

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SWVP-GTIS MR LLC



Search Criteria (v. 2.0) (Parcel Number: 200-31-056-*)	New Search
Search Results (1 Entries)	Back to List
Parcel Details (200-31-0560)	View Details
Link to This Parcel Print View	

Parcel Number 200-31-0560 shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 200-31-0560 (Taxing Information)	Primary Owner: SWWP-GTIS MR LLC
Section: 30 Township: 04S Range: 09E	Name 2:
Atlas Number: 047-30 Map: View Parcel Map	In C/O:
Property Description: (What is this?) THE W1/2 NW OF SEC 29-04S-09E AND N1/2 S1/2, S1/2 N1/2; AND N1/2 NE OF SEC 30-04S-09E EXCEPT ANY PORTION OF FELIX RD ROW AS DESC IN CAB H SLD 039 THEREOF 463.82 AC	Tax Bill Mailing Address
	Address: 12790 EL CAMINO REAL STE 150
	City: SAN DIEGO
	State: CA
	Zip Code: 92130

Date of Sale: 3/26/2010	Property Address (Location):
Sale Amount: \$27,650,400.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-028693	Cabinet: Slide:

No Personal Property Listed

Value Details	View Values
----------------------	--------------------

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Search Criteria (v. 2.0) (Parcel Number: 200-31-023-*)	New Search
Search Results (1 Entries)	Back to List
Parcel Details (200-31-0230)	View Details

[Link to This Parcel](#) [Print View](#)

Parcel Number 200-31-0230 shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 200-31-0230 (Taxing Information)	Primary Owner: SWVP-GTIS MR LLC	
Section: 31 Township: 04S Range: 09E	Name 2:	
Atlas Number: 047-31 Map: View Parcel Map	In C/O:	
Property Description: (What is this?) N1/2 NE OF SEC 31-4S-9E 80.00 AC	Tax Bill Mailing Address	
	Address: 12790 EL CAMINO REAL STE 150	
	City: SAN DIEGO	
	State: CA	
	Zip Code: 92130	

Date of Sale: 3/26/2010	Property Address (Location):
Sale Amount: \$27,650,400.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-028693	Cabinet: Slide:

No Personal Property Listed

Value Details	View Values
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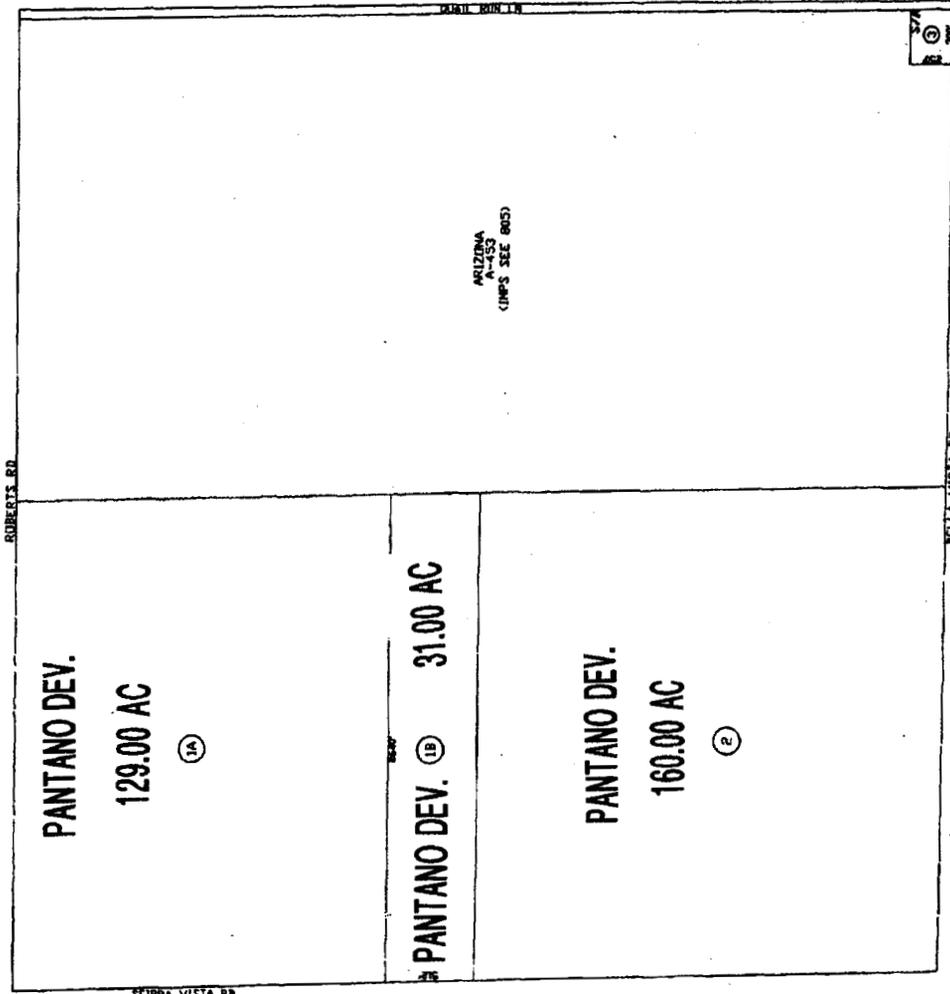
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SEC. 14 TN.03S RG.08E

210-14

SEE MAP 210-11



AREA CODE
0120

SPECIAL DISTRICTS
12665
16604

THIS MAP IS FOR TAX PURPOSES ONLY.
THIS OFFICE WILL NOT ASSUME LIABILITY FOR
REPRESENTATION, MEASUREMENTS OR ACREAGE.

SEE MAP 210-15

VICINITY MAP

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36		

PINAL COUNTY ASSESSORS MAP

Search Criteria (v. 2.0) (Section/Township/Range: S14-T03S-R08E)	New Search
Search Results (3 Entries)	Back to List
Parcel Details (210-14-001A)	View Details

 [Link to This Parcel](#)  [Print View](#)

Parcel Number 210-14-001A shows the following information for Tax Year: 2013  [Tax Year Chart](#)

Parcel Number: 210-14-001A (Taxing Information)				Primary Owner: PANTANO DEVELOPMENT BELLA VISTA LLC	
Section: 14	Township: 03S	Range: 08E	Name 2:		
Atlas Number: -	Map: View Parcel Map		In C/O:		
Property Description: (What is this?)					
NW OF SEC 14-3S-8E EXC THE S-512' THEREOF SEC 14-3S-8E 129.00 AC					
Tax Bill Mailing Address					
Address:		3408 N 60TH ST			
City:		PHOENIX			
State:		AZ			
Zip Code:		85018			
Date of Sale: 1/21/2000			Property Address (Location):		
Sale Amount: \$1,525,150.00			Subdivision:		
Document(s):			Unit:	Block:	Lot:
2010-020485			Cabinet:	Slide:	Phase:

No Personal Property Listed

Value Details (2 Improvements)	View Values
---------------------------------------	--------------------

Search Criteria (v. 2.0) (Section/Township/Range: S14-T03S-R08E)	New Search
Search Results (3 Entries)	Back to List
Parcel Details (210-14-001B)	View Details

 [Link to This Parcel](#)  [Print View](#)

Parcel Number 210-14-001B shows the following information for Tax Year: 2013  [Tax Year Chart](#)

Parcel Number: 210-14-001B (Taxing Information)				Primary Owner: PANTANO DEVELOPMENT BELLA VISTA LLC	
Section: 14	Township: 03S	Range: 08E	Name 2:		
Atlas Number: - Map View Parcel Map				In C/O:	
Property Description: (What is this?) S-512' OF NW OF SEC 14-3S-8E 31.00 AC				Tax Bill Mailing Address	
				Address: 3408 N 60TH ST	
				City: PHOENIX	
				State: AZ	
				Zip Code: 85018	
Date of Sale: 1/21/2000				Property Address (Location):	
Sale Amount: \$155,000.00					
Document(s):				Subdivision:	
2010-020485				Unit:	Block:
				Lot:	Phase:
				Cabinet:	Slide:

No Personal Property Listed

Value Details	View Values
----------------------	--------------------

Search Criteria (v. 2.0) (Section/Township/Range: S14-T03S-R08E)	New Search
Search Results (3 Entries)	Back to List
Parcel Details (210-14-0020)	View Details

 [Link to This Parcel](#)  [Print View](#)

Parcel Number 210-14-0020 shows the following information for Tax Year: 2013  [Tax Year Chart](#)

Parcel Number: 210-14-0020 (Taxing Information)	Primary Owner: PANTANO DEVELOPMENT BELLA VISTA LLC
Section: 14 Township: 03S Range: 08E	Name 2:
Atlas Number: - Map: View Parcel Map	In C/O:
Property Description: (What is this?) SW OF SEC 14-3S-8E 160.00 AC	Tax Bill Mailing Address
	Address: 3408 N 60TH ST
	City: PHOENIX
	State: AZ
	Zip Code: 85018
Date of Sale: 1/21/2000	Property Address (Location):
Sale Amount: \$1,525,150.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-020485	Cabinet: Slide:

No Personal Property Listed

Value Details

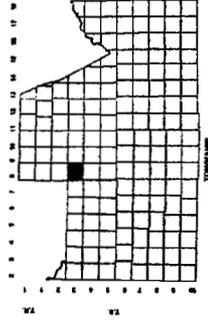
View Values

BOOK - MAP

210-15

SEC. 15 T.03S. R.08E.

LOCATION MAPS



1	2	3	4	5	6
7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36



Revised: 2/8/2012

By: TH

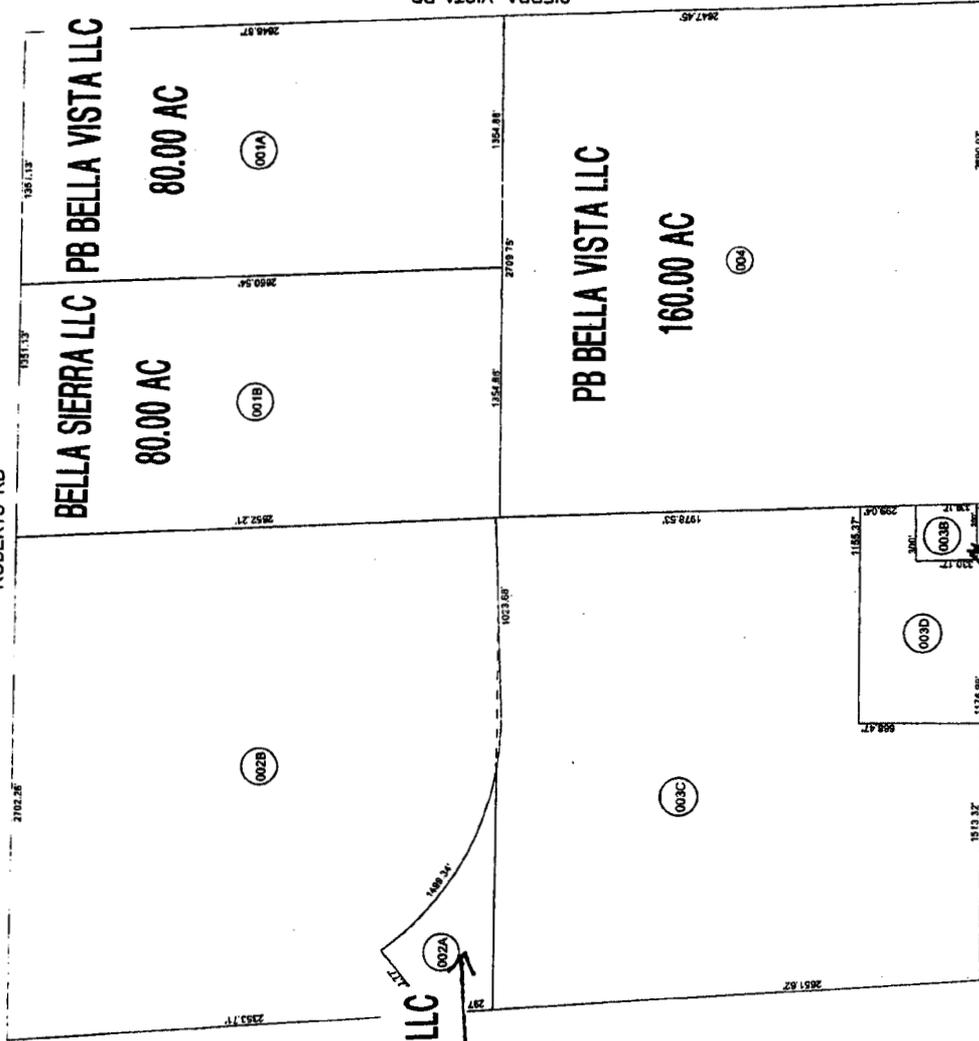


PINAL COUNTY
Assessor's Office

Pinal County Assessor

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SEE MAP 210-10
ROBERTS RD



BVF OPPORTUNITY LLC

8.85 AC

SI

SEE MAP 210-14
SIERRA VISTA RD

BELLA SIERRA LLC PB BELLA VISTA LLC
80.00 AC 80.00 AC

PB BELLA VISTA LLC
160.00 AC

BELLA VISTA RD
SEE MAP 210-22

SALT RIVER PROJECT

2.27 AC

Search Criteria (v. 2.0) (Section/Township/Range: S15-T03S-R08E)	New Search
Search Results (5 Entries)	Back to List
Parcel Details (210-15-001B)	View Details

[Link to This Parcel](#) [Print View](#)

Parcel Number 210-15-001B shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 210-15-001B (Taxing Information)	Primary Owner: BELLA SIERRA LLC
Section: 15 Township: 03S Range: 08E	Name 2:
Atlas Number: - Map: View Parcel Map	In C/O:
Property Description: (What is this?) W1/2 NE OF SEC 15-3S-8E 80.00 AC	Tax Bill Mailing Address
	Address: 4159 W MILKY WAY
	City: CHANDLER
	State: AZ
	Zip Code: 85226
Date of Sale: Not Given	Property Address (Location):
Sale Amount: Not Given	4445 E ROBERTS RD
Document(s):	SAN TAN VALLEY AZ 85143
2005-028139	View Map
	* Property Address refers to a geographical location: it may not match the mailing address city or zip code
	Subdivision:
	Unit: Block: Lot: Phase:
	Cabinet: Slide:

No Personal Property Listed

Value Details (2 Improvements)	View Values
---------------------------------------	--------------------

Search Criteria (v. 2.0) (Section/Township/Range: S15-T03S-R08E)	New Search
Search Results (5 Entries)	Back to List
Parcel Details (210-15-002A)	View Details

[Link to This Parcel](#) [Print View](#)

Parcel Number 210-15-002A shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 210-15-002A (Taxing Information)	Primary Owner: BVF OPPORTUNITY LLC
Section: 15 Township: 03S Range: 08E	Name 2:
Atlas Number: - Map: View Parcel Map	In C/O:
Property Description: (What is this?) BEGINNING @ THE W/4 CORNER OF SEC 15-3S-8E TH N-297.84 TH N 51D-02-41E 502.77 TO NON-TANGENT CURVE CONCAVE NE HAVING A RADIUS OF 1500 THE CTR WHICH BEARS N54D-58-49E TH SELY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57-16-14 AN ARC TO THE SOUTHLINE OF THE NW/4 OF SEC 15 TH WEST TO THE W/4 CORNER SAID POB. 8.85 AC	Tax Bill Mailing Address
	Address: 17700 N PACESETTER WAY SUITE 100
	City: SCOTTSDALE
	State: AZ
	Zip Code: 85255
Date of Sale: 9/30/2011	Property Address (Location):
Sale Amount: \$8,647,300.00	
Document(s):	Subdivision:
2011-080005	Unit: Block: Lot: Phase:
2011-001297	Cabinet: Slide:

No Personal Property Listed

Value Details (2 Improvements)	View Values
---------------------------------------	--------------------

Search Criteria (v. 2.0) (Section/Township/Range: S15-T03S-R08E)	New Search
Search Results (5 Entries)	Back to List
Parcel Details (210-15-001A)	View Details
Link to This Parcel Print View	

Parcel Number 210-15-001A shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 210-15-001A (Taxing Information)	Primary Owner: PB BELLA VISTA LLC
Section: 15 Township: 03S Range: 08E	Name 2:
Atlas Number: - Map: View Parcel Map	In C/O:
Property Description: (What is this?) E1/2 NE OF SEC 15-3S-8E 80.00 AC (1)	Tax Bill Mailing Address
	Address: 3408 N 60TH ST
	City: PHOENIX
	State: AZ
	Zip Code: 85018
Date of Sale: 1/21/2000	Property Address (Location):
Sale Amount: \$1,239,900.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-020480	Cabinet: Slide:

No Personal Property Listed

Value Details (2 Improvements)	View Values
---------------------------------------	--------------------

Search Criteria (v. 2.0) (Section/Township/Range: S15-T03S-R08E)	New Search
Search Results (5 Entries)	Back to List
Parcel Details (210-15-0040)	View Details

[Link to This Parcel](#) [Print View](#)

Parcel Number 210-15-0040 shows the following information for Tax Year: 2013 [Tax Year Chart](#)

Parcel Number: 210-15-0040 (Taxing Information)	Primary Owner: PB BELLA VISTA LLC
Section: 15 Township: 03S Range: 08E	Name 2:
Atlas Number: - Map: View Parcel Map	In C/O:
Property Description: (What is this?) SE OF SEC 15-3S-8E 160.00 AC	Tax Bill Mailing Address
	Address: 3408 N 60TH ST
	City: PHOENIX
	State: AZ
	Zip Code: 85018
Date of Sale: 1/21/2000	Property Address (Location):
Sale Amount: \$1,239,900.00	Subdivision:
Document(s):	Unit: Block: Lot: Phase:
2010-020480	Cabinet: Slide:

No Personal Property Listed

Value Details (2 Improvements)	View Values
---------------------------------------	--------------------

Search Criteria (v. 2.0) (Section/Township/Range: S15-T03S-R08E) **New Search**

Search Results (5 Entries) **Back to List**

Parcel Details (210-15-003B) **View Details**

[Link to This Parcel](#) [Print View](#)

Parcel Number 210-15-003B shows the following information for Tax Year: 2013 **Tax Year Chart**

Parcel Number: 210-15-003B (Taxing Information)				Primary Owner: SALT RIVER PROJECT AG IMP & POWER DIST	
Section: 15	Township: 03S	Range: 08E			
Atlas Number: - Map: View Parcel Map				Name 2:	
Property Description: (What is this?)				In C/O:	
THE S-370.00 OF THE E-300.00 OF SE SE SW OF SEC 15-03S-08E EXCEPT THE S-40.00 THEREOF 2.27 AC				Tax Bill Mailing Address	
				Address:	PO BOX 52025
				City:	PHOENIX
				State:	AZ
				Zip Code:	85072

Date of Sale:	Not Given	Property Address (Location):			
Sale Amount:	Not Given				
Document(s):		Subdivision:			
2006-146184		Unit:	Block:	Lot:	Phase:
		Cabinet:	Slide:		

No Personal Property Listed

Value Details (2 Improvements) **View Values**

The eastern portion of Section 16 to be included in the Expansion is owned by Vintage Farms, LLC and consists of 257.53 acres. A detailed map will be filed separately with this docket.

Attachment 12



DRAWN

DATE

SCALE



SPECIFIC ENGINEERING, LLC.

6830 E. SHEA BOULEVARD SUITE 210
SCOTTSDALE, ARIZONA 85266
Phone: (480) 899-8338
Fax: (480) 899-8437



Attachment 13

EXHIBIT A
WATER DIVISION

MONTHLY USAGE CHARGE:

5/8" x 3/4" Meter	\$11.00
3/4" Meter	16.50
1" Meter	27.50
1-1/2" Meter	55.00
2" Meter	88.00
3" Meter	176.00
4" Meter	275.00
6" Meter	550.00
8" Meter	880.00
10" Meter	1,265.00

COMMODITY CHARGES

(Residential, Commercial, Industrial)

All Meter Sizes

Gallons Included in Minimum 0

5/8-Inch Meter (Residential)

0 to 4,000 Gallons \$1.7600

4,001 to 10,000 Gallons 2.1400

Over 10,000 Gallons 2.4960

**3/4-Inch Meter Commercial, Industrial, Irrigation
and Public Authority**

0 to 10,000 Gallons

Over 10,000 Gallons

1-Inch Meter

From 1 to 32,000 Gallons 2.1400

Over 32,000 Gallons 2.4960

1-1/2-Inch Meter

From 1 to 88,000 Gallons 2.1400

Over 88,000 Gallons 2.4960

2-Inch Meter

From 1 to 156,000 Gallons 2.1400

Over 156,000 Gallons 2.4960

3-Inch Meter

From 1 to 339,000 Gallons 2.1400

Over 339,000 Gallons 2.4960

4-Inch Meter

From 1 to 545,000 Gallons 2.1400

Over 545,000 Gallons 2.4960

6-Inch Meter

From 1 to 1,120,000 Gallons 2.1400

Over 1,120,000 Gallons 2.4960

8-Inch Meter

From 1 to 1,800,000 Gallons 2.1400

Over 1,800,000 Gallons 2.4960

10-Inch Meter

From 1 to 2,600,000 Gallons 2.1400

Over 2,600,000 Gallons 2.4960

Construction Water 2.4960

Central Arizona Water See Tariff

EXHIBIT A
 WASTEWATER DIVISION

Monthly Minimum Charge	PER DECISION NO. 71854	NEW RATES PER ARS 40-252
Meter Sizes (All Zones and Classes)		
5/8 inch	\$ 29.8100	\$ 35.7700
3/4 inch	\$ 32.7900	\$ 39.3500
1 inch	\$ 41.7300	\$ 50.0800
1 1/2 inch	\$ 53.6508	\$ 64.3900
2 inch	\$ 86.4400	\$ 103.7300
3 inch	\$ 327.8700	\$ 393.4700
4 inch	\$ 625.9300	\$ 751.1700
6 inch	\$ 864.3700	\$ 1,037.3300
8 inch	\$ 1,092.6000	\$ 1,430.8000
10 inch	\$ 1,748.3300	\$ 2,056.7800
Effluent per 1,000 gallons	\$ 0.5280	\$ 0.6300
per acre foot	\$ 170.3200	\$ 205.2900
Service Charges		
Establishment	\$ 25.00	\$ 25.00
Establishment (After hours)	\$ 40.00	\$ 40.00
Deposit Requirement (Residential)	(a)	(a)
Deposit Requirement (Non Residential Meter)	(a)	(a)
Deposit Interest	(b)	(b)
Re-Establishment (Within 12 months)	(c)	(c)
Re-Establishment (After Hours)	(c)	(c)
NSF Check	15.00	15.00
Deferred Payment, Per Month	1.50%	1.50%
After Hours service charge, per Rule R14-2-603D	Refer to Above Charges	Refer to Above Charges
Late Charge per month	40.00	1.50%
Service Line Connection Charge	350.00	350.00
Main Extension Tariff, per Rule R14-2-606B except refunds shall be based upon five percent (5%) of gross revenues from bonafide customers, until all advances are fully refunded to Developer.	Cost	Cost
Off-site Facilities Hook-up Fee	N/A	(d)

- (a) ~~Residential~~ - two times the estimated average monthly bill. ~~Non-residential~~ - two and one-half times the estimated maximum monthly bill.
- (b) Interest per Rule R14-2-603(B).
- (c) Minimum charge times number of full months off the system, per Rule R14-2-603(B).
- (d) New wastewater installations. May be assessed only once per parcel, service connection, or lot within a subdivision.

Attachment 14

Jrb



**OFFICIAL RECORDS OF
PINAL COUNTY RECORDER**
KATHLEEN C. FELIX

DATE: 12/08/98 TIME: 1636
FEE : 0.00
PAGES: 6
FEE NO: 1998-050223

Expansion and Amendment Of The Johnson Utility Water and Sewer Franchise

WHEREAS, Johnson Utilities L.L.C. had received a water and sewer franchise from Pinal County to establish and maintain water and sewer services on Johnson Utilities L.L.C., see document number 1995-033065 in the Office of the Pinal County Recorder (hereinafter "Original Franchise").

WHEREAS, Johnson Utilities L.L.C., a(n) Arizona corporation, duly authorized to conduct business in the State of Arizona, has duly filed and presented to the Board of Supervisors of the County of Pinal, State of Arizona, its application for expansion of the Original Franchise for the purpose of constructing, operating and maintaining water and sewer lines and related appurtenances along, under and across the public streets, alleys and highways, except federal and state highways, within the unincorporated area of Pinal County, Arizona, as described in Exhibit "A" attached hereto (hereinafter "Expansion").

WHEREAS, upon filing of Johnson Utilities L.L.C.'s application for the Expansion, the Board of Supervisors of Pinal County ordered a public notice of its intent to consider the granting of the Expansion to be published in a newspaper of general circulation, in Pinal County, Arizona, stating the time and place for consideration of the Expansion was set for 10: 00 A.M. on November 4, 1998, at the Pinal County Board of Supervisors' Hearing Room, Administration Building No. 1, Florence, Arizona.

WHEREAS, said application for the Expansion and Amendment having come on regularly for hearing at 11:30 A.M. on November 4, 1998; and it appearing from the affidavit of the publisher of the Casa Grande Valley Newspaper that due and regular notice of said time and place set for the consideration of such action has been published for at least once a week for three consecutive weeks prior to said hearing date, to-wit: in the issues of the Florence Reminder and Blade-Tribune published on October 15, 1998, October 22, 1998, and October 29, 1998; and the matter being called for hearing at 11:30 A.M., and an opportunity having been given to all interested parties to be heard.

WHEREAS, the Board of Supervisors of Pinal County has the power to amend an existing franchise under its general police powers in such matters.

Second Amended
Johnson Utility Water and Sewer Franchise

NOW, THEREFORE,

Section 1: DEFINITIONS

The following terms used in this expansion and amendment of the Original Franchise shall have the following meanings:

- A. County: Pinal County, Arizona
- B. Board: Board of Supervisors of Pinal County, Arizona.
- C. Grantor: Pinal County, by and through its Board of Supervisors
- D. Grantee: Johnson Utilities L.L.C., a(n) Arizona corporation, its successors and assigns
- E. Grantee's Facilities: water and sewer lines and related appurtenances

Section 2: GRANT

Grantor, on November 4, 1998, hereby grants to Grantee, for a period of time not to exceed the Original Franchise, this expanded and amended franchise (hereinafter "Second Amended Franchise") for the purpose of constructing, operating and maintaining water and sewer lines and related appurtenances along, under and across public streets, alleys and highways, except federal and state highways, under the terms and conditions set forth herein within the unincorporated area of Pinal County, Arizona, as described in the Expansion and the Original Franchise (hereinafter "Franchise Area").

Section 3: ACCEPTANCE BY GRANTEE / EFFECTIVE DATE FRANCHISE

The Second Amended Franchise shall be accepted by Grantee by written instrument in the form attached hereto as Exhibit "B" (hereinafter "Acceptance"), executed and acknowledged by it as a deed is required to be, and filed with the Clerk of the Pinal County Board of Supervisors within thirty days after the date this Second Amended Franchise is accepted by County. This Second Amended Franchise shall be effective upon delivery of the Acceptance to the Clerk of the Pinal County Board of Supervisors in the form required and within the time specified above.

Section 4: LIMITS ON GRANTEE'S RECOURSE

- A. Grantee by its acceptance of the Second Amended Franchise acknowledges such acceptance relies upon grantee's own investigation and understanding of the power and authority of the County to grant said franchise. Grantee by its acceptance of the Second Amended Franchise accepts the validity of the terms and conditions of the Second Amended Franchise in their entirety and agrees it

will not, at any time, proceed against County in any claim or proceeding challenging any term or provision of the Second Amended Franchise as unreasonable, arbitrary or void, or that County did not have the authority to impose such term or condition.

B. Grantee by accepting the Second Amended Franchise acknowledges that it has not been induced to accept the same by any promise, verbal or written, by or on behalf of County or by any third person regarding any term or condition of the Second Amended Franchise not expressed therein. Grantee by its acceptance of the Second Amended Franchise further pledges that no promise or inducement, oral or written, has been made to any employee or official of County regarding receipt of the Second Amended Franchise.

C. Grantee by its acceptance of the Second Amended Franchise further acknowledges that it has carefully read the terms and conditions of the Second Amended Franchise and accepts without reservation the obligations imposed by the terms and conditions herein.

D. In case of conflict or ambiguity between the Second Amended Franchise and the Original Franchise, the provision which provides the greatest benefit to County, as determined solely by County, shall prevail.

E. The Board's decision concerning its selection and awarding of the Second Amended Franchise shall be final.

Section 5: SEVERABILITY

If any section, provision, term or covenant or any portion of any section, provision, term or covenant of the Second Amended Franchise is determined to be illegal, invalid or unconstitutional, by any court of competent jurisdiction or by any state or federal regulatory agency having jurisdiction thereof, such determination shall have no effect on any remaining portion of such section, provision, term or covenant or the remaining sections, provisions, terms or covenants of the Second Amended Franchise, all of which will remain in full force and effect for the term of the Second Amended Franchise or any renewal or renewals thereof.

Section 6: NOTICE

Notices required under the Second Amended Franchise shall be delivered or sent by certified mail, postage prepaid to:

Grantor:

Clerk of the Pinal County Board of Supervisors
P.O. Box 827
31 N. Pinal
Florence, Arizona 85232

Grantee:

Johnson Utilities L.L.C.
5320 E. Shea Blvd.
Scottsdale, Arizona 85254

The delivery or mailing of such notice shall be equivalent to direct personal notice and shall be deemed to have been given at the time of delivery. Either party may change its address under this section by written notice to the other party.

IN WITNESS WHEREOF, the Board of Supervisors of Pinal County, Arizona, by its Chairman and its Clerk, thereunto duly authorized, has hereunto set its hand and cause its official seal to be affixed on November 4, 1998.



PINAL COUNTY BOARD OF SUPERVISORS

Sandie Smith

Sandie Smith, Chairman 11-4-98

by: *Stanley D. Griffis*
Stanley D. Griffis, Ph.D., Clerk of the Board

APPROVED AS TO FORM:

**ROBERT CARTER OLSON
PINAL COUNTY ATTORNEY**

Eric L. Walberg

Eric L. Walberg, Deputy County Attorney

Exhibit A

JOHNSON UTILITIES
FRANCHISE EXTENSION APPLICATION

All areas within the following described Sections not previously franchised to the Applicant:

Sections 35 and 36, all in Township 3 South Range 7 East

Sections 13 through 36, all in Township 3 South Range 8 East

Sections 16 through 21 and 28 through 33, all in Township 3 South Range 9 East

Sections 1 through 4, 10 through 14 and 23 through 26, all in Township 4 South Range 8 East

Sections 4 through 9, all in Township 4 South Range 9 East

Exhibit B

SAMPLE ACCEPTANCE OF EXPANDED AND AMENDED FRANCHISE

To: Board of Supervisors Pinal County, Arizona

Grantee, Johnson Utilities L.L.C., a(n) Arizona corporation, does hereby accept the _____ grant of an Second Amended Franchise from Pinal County, Arizona, to construct, operate, and maintain water and sewer lines and related fixtures along, under and across present and future public streets, alleys and highways, except state highways, within the unincorporated area of Pinal County, Arizona, as described in the Application, a copy of which is attached to the Second Amended Franchise, which is made a part hereof.

Grantee unconditionally accepts the franchise and covenants to faithfully comply with, abide by, to observe and perform all the provisions, terms and conditions of the Second Amended Franchise. Grantee accepts such provisions, terms and conditions and expressly waives any and all objections to the reasonableness or legality of any provisions of the same or any part thereof, or as to the legal right or authority of the County of Pinal to impose the same.

Grantee declares that the statements and recitals in said Second Amended Franchise are correct, and Grantee declares it has made and does make the agreement, statements and admissions in said Second Amended Franchise recited to have been or to be made by Grantee.

attyciv\franchise\19981799 E&A Franchise Final



KATHLEEN C. FELIX

DATE: 12/08/98 TIME: 1636
FEE : 0.00
PAGES: 2
FEE NO: 1998-050224

mail to:

Board of Supervisors

ra 85232

(The above space reserved for recording information)

CAPTION HEADING

Acceptance of Expanded and Amended Franchise

ACCEPTANCE OF EXPANDED AND AMENDED FRANCHISE

To: Board of Supervisors Pinal County, Arizona

Grantee, Johnson Utilities L.L.C., a(n) Arizona corporation, does hereby accept the November 4, 1998 grant of an Second Amended Franchise from Pinal County, Arizona, to construct, operate, and maintain water and sewer lines and related fixtures along, under and across present and future public streets, alleys and highways, except state highways, within the unincorporated area of Pinal County, Arizona, as described in the Application, a copy of which is attached to the Second Amended Franchise, which is made a part hereof.

Grantee unconditionally accepts the franchise and covenants to faithfully comply with, abide by, to observe and perform all the provisions, terms and conditions of the Second Amended Franchise. Grantee accepts such provisions, terms and conditions and expressly waives any and all objections to the reasonableness or legality of any provisions of the same or any part thereof, or as to the legal right or authority of the County of Pinal to impose the same.

Grantee declares that the statements and recitals in said Second Amended Franchise are correct, and Grantee declares it has made and does make the agreement, statements and admissions in said Second Amended Franchise recited to have been or to be made by Grantee.

Dated this 16 day of November, 1998

Johnson Utilities L.L.C.

By: [Signature]

Title: Manager

STATE OF ARIZONA)
) ss.
County of)

The foregoing instrument was acknowledged before me this 16 day of November, 1998, by Georg H Johnson, Manager of Johnson Utilities a(n) Arizona corporation, and being authorized to do so, executed the foregoing instrument on behalf of the corporation for the purposes therein stated.

Christine M Dermody
Notary Public

My Commission Expires:
June 9, 2002



Attachment 15

JAN 6 2009

ARIZONA DEPARTMENT OF WATER RESOURCES

Office of Assured and Adequate Water Supply

3550 North Central Ave., 2nd Floor, Phoenix, AZ 85012

Telephone 602 771-8599

Fax 602 771-8689



JANET NAPOLITANO
Governor

HERB GUENTHER
Director

January 5, 2009

Brian Tompsett
Johnson Utilities, LLC
5230 E. Shea Blvd. Suite 200
Scottsdale, AZ 85254

Re: Designation of Assured Water Supply (DWR No. 86-400665.0001) Johnson Utilities-Phx

Dear Mr. Tompsett:

I am pleased to inform you that the Department of Water Resources has approved the application for a Designation of Assured Water Supply for Johnson Utilities-Phoenix. We have enclosed the formal Decision and Order. The Decision and Order includes an itemization of Johnson Utilities-Phoenix's responsibilities in maintaining the Designation.

Johnson Utilities-Phoenix's status as a designated water provider demonstrates that Johnson is taking a long-term perspective in managing water resources. Johnson Utilities-Phoenix's commitment to sound water management represents a major contribution to the State's water management goal of achieving safe-yield in the Phoenix Active Management Area.

If you have any questions regarding these documents, please contact me at (602) 771-8504.

Sincerely,

A handwritten signature in black ink, appearing to read "John Schneeman".

John Schneeman, Manager
Assured and Adequate Water Supply

JFS/rbo

cc: **via electronic mail**
Ms. Cindy Ferrin, Arizona Department of Real Estate
Michael Pearce, Maguire & Pearce
J. Scott Miller, Director, Phoenix AMA

1 DEPARTMENT OF WATER RESOURCES

2 BEFORE THE DIRECTOR

3

4)

5 **IN THE MATTER OF THE APPLICATION OF JOHNSON) AWS No. 2009-001**

6 **UTILITIES , LLC FOR A DESIGNATION AS HAVING AN)**

7 **ASSURED WATER SUPPLY IN THE PHOENIX ACTIVE) DECISION AND ORDER**

8 **MANAGEMENT AREA)**

9 **) No. 86-400665.0001**

10 **I. INTRODUCTION**

11 On July 9, 2007, the Department of Water Resources ("Department") received an application

12 from Johnson Utilities, LLC dba Johnson Utilities Phoenix ("Johnson-Phoenix") requesting that the

13 Department modify Johnson-Phoenix's designation of assured water supply pursuant to A.R.S. § 45-

14 576 *et seq.* and A.A.C. R12-15-701 *et seq.* On December 27, 2007 and January 3, 2008, the

15 Department gave public notice of the application pursuant to A.R.S. § 45-578 and no objections to the

16 application were filed with the Department.

17 After receiving Johnson-Phoenix's application to modify its designation of assured water supply,

18 the Department reviewed relevant information regarding the modification request, including: 1)

19 hydrologic information on file with the Department; 2) information regarding consistency with the

20 management plan and the management goal of the Phoenix Active Management Area ("AMA"); and 3)

21 information regarding Johnson-Phoenix's financial capability to construct the necessary delivery system,

22 treatment works and storage facilities. Based on that information, the Department makes the following

23 Findings of Fact, Conclusions of Law and Order of Designation and Conditions of Designation:

24 **II. FINDINGS OF FACT**

25 **A. General**

- 26 1. Johnson-Phoenix is a private water company subject to the jurisdiction of the Arizona Corporation Commission ("ACC").

- 1 2. Johnson-Phoenix provides domestic water service within the boundaries of its certificate of
2 convenience and necessity ("CC&N"), as approved by the ACC.
- 3 3. Johnson-Phoenix currently serves water through its municipal distribution system to its
4 customers within the Phoenix AMA.
- 5 4. On August 12, 2003, Johnson-Phoenix was designated as having an assured water supply in
6 Decision and Order AWS 2003-004, No. 26-40665.0000.

7 **B. Water Demands**

- 8 5. Johnson-Phoenix's current demand as of calendar year 2007 is 7,817 acre-feet per year
9 ("current demand").
- 10 6. Johnson-Phoenix's committed demand as of calendar year 2007 is 2,945 acre-feet per year
11 ("committed demand").
- 12 7. Johnson-Phoenix's projected demand in 2028 is 7,392 acre-feet per year ("2028 projected
13 demand"). The 2028 projected demand does not include the current demand or the committed
14 demand, but does include the demand at build-out of plats reasonably projected to be approved
15 through calendar year 2028.
- 16 8. Johnson-Phoenix's annual estimated water demand in 2028, which is the sum of its current
17 demand, committed demand and 2028 projected demand, is 18,154 acre-feet per year ("2028
18 annual estimated water demand").

19 **C. Groundwater: Physical, Continuous and Legal Availability and Consistency with the**
20 **Management Goal**

- 21 9. Johnson-Phoenix has the right to withdraw and deliver groundwater to its customers pursuant to
22 service area right No. 56-002346.0000.
- 23 10. Historic hydrologic information demonstrates that depth-to-static water levels within the
24 Johnson-Phoenix service area currently range from approximately 300 feet to 700 feet below
25 land surface.
- 26 11. Johnson-Phoenix has demonstrated that after withdrawing 18,154 acre-feet per year of
groundwater for 100 years, the depth-to-static water level within Johnson-Phoenix's service
area is not expected to exceed 1,000 feet below land surface.

- 1 12. As of the date of this Decision and Order, Johnson-Phoenix's current groundwater allowance is
2 0.00 acre-feet per year, pursuant to A.A.C. R12-15-724(A)(2).
- 3 13. Pursuant to A.A.C. R12-15-724(A)(4), the Director shall add a volume for incidental recharge to
4 Johnson-Phoenix's groundwater allowance for each calendar year, based on its total water use
5 from any source in the previous calendar year.
- 6 14. Johnson-Phoenix is a member service area of the Central Arizona Groundwater Replenishment
7 District ("CAGRDR"). The August 27, 2007 Member Service Area Agreement between Johnson-
8 Phoenix and the CAGRDR ("Agreement") provides that the amount of Excess Groundwater, as
9 defined in the Agreement, delivered by Johnson-Phoenix shall not exceed 18,154 acre-feet per
10 year.
- 11 15. The Director has made a determination, which has not expired, that the most recent CAGRDR
12 Plan of Operation is consistent with achieving the management goal of the Phoenix AMA.
- 13 16. As of the date of this decision and order, the CAGRDR is in compliance with its groundwater
14 replenishment obligation for the Phoenix AMA.
- 15 17. Johnson-Phoenix has demonstrated that it has constructed wells of sufficient capacity to satisfy
16 a portion of its 2028 annual estimated groundwater demand of 18,154 acre-feet per year for at
17 least 100 years.
- 18 18. Pursuant to R12-15-717(B), Johnson-Phoenix has demonstrated that it will construct additional
19 wells of sufficient capacity to meet the remainder of its 2028 annual estimated groundwater
20 demand of 18,154 acre-feet per year for at least 100 years.

20 **D. Consistency with the Management Plan**

- 21 19. Johnson-Phoenix is currently regulated as a large municipal provider under the Municipal
22 Conservation Program in the Third Management Plan for the Phoenix AMA ("Management
23 Plan"). As of the date the application was filed, Johnson-Phoenix has not been found to be out
24 of compliance with the Management Plan.
- 25
- 26

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E. Water Quality

20. Johnson-Phoenix is regulated by the Arizona Department of Environmental Quality as a public water system pursuant to A.R.S. § 49-351, *et seq.*

F. Financial Capability

21. Johnson-Phoenix has constructed some of the necessary delivery system and storage facilities to satisfy its 2028 annual estimated water demand.

22. Pursuant to R12-15-720(C)(4), Johnson-Phoenix has received approval from the ACC for financing the construction of adequate delivery, storage and treatment works.

III. CONCLUSIONS OF LAW

Having reviewed the Findings of Fact, the Department makes the following Conclusions of Law:

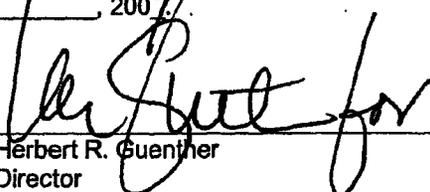
1. Johnson-Phoenix has demonstrated that 18,154 acre-feet per year of groundwater will be physically, continuously and legally available for at least 100 years. This volume 18,154 acre-feet per year, is equivalent to the 2028 annual estimated water demand of 18,154 acre-feet per year. *See* Attachment A to this Decision and Order.
2. For purposes of A.A.C. R12-15-716(B)(3)(c)(ii), Johnson-Phoenix's annual estimated water demand to be met with groundwater is 18,154 acre-feet per year.
3. In accordance with A.A.C. R12-15-722, Johnson-Phoenix has demonstrated that its projected use of groundwater is consistent with the management goal of the Phoenix AMA.
4. The water supply served by Johnson-Phoenix will be of adequate quality pursuant to A.A.C. R12-15-719.
5. In accordance with A.A.C. R12-15-721, Johnson-Phoenix meets the standard established for determining consistency with the Management Plan for the Phoenix AMA.
6. Johnson-Phoenix has satisfied the financial capability criteria prescribed in A.A.C. R12-15-720.
7. Johnson-Phoenix has satisfied all the requirements for a designation of an assured water supply.

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- d. The depth-to-static water level of all wells from which Johnson-Phoenix withdrew water during the previous calendar year.
- e. Any other information requested by the Director to determine whether Johnson-Phoenix continues to meet all the requirements necessary to maintain this designation of assured water supply.

IT IS HEREBY ORDERED THAT JOHNSON-PHOENIX BE DESIGNATED AS HAVING AN ASSURED WATER SUPPLY UNTIL DECEMBER 31, 2028.

DATED this 2nd day of January, 2009.



 Herbert R. Guenther
 Director
 Arizona Department of Water Resources

A copy of the foregoing **Decision and Order** mailed by certified mail this 2nd day of January, 2009 to:

Johnson Utilities Company
 5230 E. Shea Blvd.
 Suite 200
 Scottsdale, AZ 85254

Certified Mail No.: 7006 2760 0002 4885 1909

Sent by: Norman Coupaud

A copy of the foregoing sent by electronic mail this 2nd day of January, 2009 to:

Michael J. Pearce
 Maguire & Pearce
 2999 N. 44th Street
 Suite 630
 Phoenix, AZ 85018

Cindy Ferrin
 Arizona Department of Real Estate
 2910 N. 44th Street
 Phoenix, AZ 85018

Cliff Neal
 Central Arizona Groundwater
 Replenishment District
 P.O. Box 43020
 Phoenix, AZ 85080

J. Scott Miller, Area Director
 Phoenix Active Management Area

Attachment A
Johnson Utilities-Phoenix Modification of Designation Application
Water Source and Supply Summary
 File No. 86-400665.0001

#	Source	Approved (af/yr)	Capacity	Legal Authority	Comments
Groundwater:					
3	Groundwater replenished by CAGR	18,154.00	Available well capacity = 12,193.70 af/yr	Service Area Right #56-002346.0000	Member service area See finding #13
2	Groundwater Allowance	0			Incidental recharge credit of 4% annually.
	ibtotal	18,154.00			
	TOTAL PHYSICALLY AVAILABLE	18,154.00			
	REJECTED DEMAND	18,154.00 (2028)			

ARIZONA DEPARTMENT OF WATER RESOURCES

DEC 03 2008

Office of Assured and Adequate Water Supply
3550 North Central Ave., 2nd Floor, Phoenix, AZ 85012
Telephone 602 771-8599
Fax 602 771-8689



JANET NAPOLITANO
Governor

HERB GUENTHER
Director

December 1, 2008

Mr. Brian Tompsett
Johnson Utilities, LLC
5320 East Shea Blvd.
Scottsdale, Arizona 85254

Re: A Modification to the Designation of Assured Water Supply (DWR No. 86-401382.0001)
Johnson Utilities, LLC dba Johnson Utilities Pinal

Dear Mr. Tompsett:

I am pleased to inform you that the Department of Water Resources has approved the application to modify the Designation of Assured Water Supply for Johnson Utilities Pinal. We have enclosed the formal Decision and Order. The Decision and Order includes an itemization of Johnson Utilities Water Company's responsibilities in maintaining the Designation.

Johnson Utilities status as a designated water provider demonstrates that Johnson Utilities- Pinal is taking a long-term perspective in managing water resources. Johnson Utilities commitment to sound water management represents a major contribution to the State's water management goal in the Pinal Active Management Area.

If you have any questions regarding these documents, please contact me at (602) 771-8504.

Sincerely,

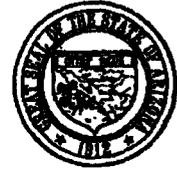
A handwritten signature in black ink, appearing to read "John Schneeman".

John Schneeman, Manager
Assured and Adequate Water Supply

JS/njc

cc: Ms. Cindy Ferrin, Arizona Department of Real Estate
Mr. Michael Pearce, Pearce & Maguire, Attorneys at Law
Mr. Randy Edmond, Area Director, Pinal AMA

ARIZONA DEPARTMENT OF WATER RESOURCES
Water Management Division
2nd Floor, 3550 N. Central Ave., Phoenix, AZ 85012
Telephone (602) 771-8585
Fax (602) 771-8689



JANET NAPOLITANO
Governor

HERB GUENTHER
Director

November 17, 2008

VIA CERTIFIED MAIL

Mr. Brian P. Tompsett
Johnson Utilities, Pinal
5320 East Shea Blvd
Scottsdale, Arizona 85254

RE: Decision and Order No. 86-401382.0001. In the Matter of Johnson Utilities - Pinal Application for a Modification to their Designation as Having an Assured Water Supply AWS No. 2008-001

Dear Mr. Tompsett:

This letter is the Decision of the Director of the Department of Water Resources to grant Johnson Utilities - Pinal a Modification to their Designation of Assured Water Supply, No. 86-401382.0001

The Department's review of the relevant information establishes that all of the requirements for issuance of a Designation of Assured Water Supply set forth in A.R.S. § 45-576 and A.A.C. 12-15-701, *et seq.*, have been met. The Department has received no objections to your application.

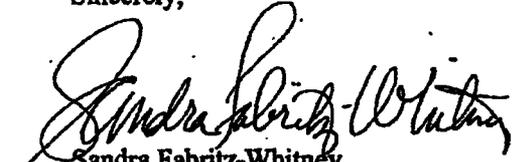
This Decision of the Director to grant a Designation of Assured Water Supply is an appealable agency action. I have enclosed a copy of the Final Appealable Draft Decision and Order. The Final Appealable Draft Decision and Order will be the final form of your designation upon issuance.

You are entitled to appeal this decision. If you wish to appeal this action, you must file a written appeal within thirty (30) days from receipt of this letter. I am providing you with a summary of the appeal process and an appeal form, should you elect to pursue this option.

As no objections have been filed regarding your designation application, you may elect to complete and file the enclosed Appealable Agency Action Waiver Form, waiving your right to appeal the Director's Decision, so that your designation can be signed without delay. If the Appealable Agency Action Waiver is not filed, the designation shall be signed and issued at the end of the 30-day appeal period.

Please direct any questions concerning the designation or the appeal process to Mr. John Schneeman, Manager of the Office of Assured and Adequate Water Supply, at (602) 771-8593.

Sincerely,

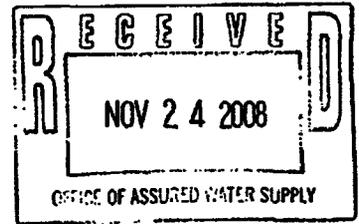


Sandra Fabritz-Whitney
Assistant Director

SFW:njc

Enclosures

cc: Mr. Michael Pearce, Maguire & Pearce, Attorneys at Law
John Schneeman, Manager, Office of Assured and Adequate Water Supply
Nicole D. Swindle, Legal Division
Randy Edmond, Area Director, Pinal AMA



Appealable Agency Action Waiver

I, BRIAN P. TOMBETT, duly authorized by the Applicant for a Designation of Assured Water Supply, assert that the Applicant has reviewed the Final Appealable Draft Decision and Order of Application No. 86-401382.0001 for Johnson Utilities, LLC dba Johnson Utilities Pinal and hereby waives all rights that the Applicant may have pursuant to Arizona Revised Statutes, Title 41, Chapter 6, Article 10; Title 45, Chapter 2, Article 9; and Arizona Administrative Code Title 12, Chapter 15, Article 7; to administrative and judicial appeal, review or hearing concerning the issuance of the above listed Designation, including all limitations and conditions contained therein.

Brian P. Tombett
Signature

11-24-2008
Date

EXECUTIVE VICE PRESIDENT
Title

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DEPARTMENT OF WATER RESOURCES

BEFORE THE DIRECTOR

IN THE MATTER OF THE APPLICATION OF JOHNSON UTILITIES, dba JOHNSON UTILITIES PINAL FOR A MODIFICATION OF DESIGNATION AS HAVING AN ASSURED WATER SUPPLY IN THE PINAL ACTIVE MANAGEMENT AREA)	
)	AWS No. 2008-001
)	DECISION AND ORDER
)	No. 86-401382.0001

I. INTRODUCTION

On June 20, 2007, the Department of Water Resources ("Department") received an application from Johnson Utilities, L.L.C. dba Johnson Utilities Pinal (hereinafter "Johnson-Pinal") requesting a modification of Johnson-Pinal's designation as having an assured water supply pursuant to A.R.S. § 45-576 *et seq.* and A.A.C. R12-15-701 *et seq.* On December 14, 2007 and December 21, 2007, the Department gave public notice of the application pursuant to A.R.S. § 45-578. No objections to the application were filed with the Department.

After receiving Johnson-Pinal's application to modify its designation of assured water supply, the Department reviewed relevant information regarding the modification request, including: 1) hydrologic information on file with the Department 2) information regarding Johnson-Pinal's consistency with the management plan and the management goal of the Pinal Active Management Area ("Pinal AMA"); and 3) information regarding Johnson-Pinal's financial capability to construct the necessary delivery system, treatment works and storage facilities. Based on that information, the Department makes the following Findings of Fact, Conclusions of Law and Order of Designation and Conditions of Designation:

...
...
...

1 **II. FINDINGS OF FACT**

2 **A. General**

- 3 1. Johnson-Pinal is a private water company subject to the jurisdiction of the Arizona Corporation
4 Commission ("ACC").
- 5 2. Johnson-Pinal owns a municipal water delivery system in the Pinal AMA.
- 6 3. Johnson-Pinal provides domestic water service within the territorial boundaries of its certificate
7 of convenience and necessity ("CC&N"), as approved by the ACC.
- 8 4. Johnson-Pinal currently serves water through its municipal distribution system to its customers
9 within the Pinal AMA.
- 10 5. On October 14, 2005, Johnson-Pinal was designated as having an assured water supply in
11 Decision and Order AWS 2005-005.

12 **B. Water Demands**

- 13 6. Johnson-Pinal's current demand as of calendar year 2007 is 496.00 acre-feet per year ("current
14 demand").
- 15 7. Johnson-Pinal's committed demand as of calendar year 2007 is 285.48 acre-feet per year
16 ("committed demand").
- 17 8. Johnson-Pinal's projected demand in 2017 is 814 acre-feet per year ("2017 projected demand").
18 The 2017 projected demand does not include the current demand or the committed demand,
19 but does include the demand at build-out of plats reasonably projected to be approved through
20 calendar year 2017.
- 21 9. Johnson-Pinal's annual estimated water demand in 2017, which is the sum of its current
22 demand, committed demand, and 2017 projected demand, is 1,595.48 acre-feet per year ("2017
annual estimated water demand").

23 **C. Groundwater: Physical, Continuous and Legal Availability and Consistency with the
24 Management Goal**

- 25 10. Johnson-Pinal has the right to withdraw and deliver groundwater to its customers pursuant to
26 service area right No. 56-001538.0000.
11. As of the date of this Decision and Order, Johnson-Pinal's current groundwater allowance is
205.8 acre feet per year, pursuant to A.A.C. R12-15-725(A)(2)(a).

- 1 12. Pursuant to A.A.C. R12-15-725(A)(3), the Director shall add a volume for incidental recharge to
2 Johnson-Pinal's groundwater allowance for each calendar year, based upon its total water use
3 from any source in the previous calendar year. Johnson-Pinal's incidental recharge volume for
4 calendar year 2007 is 19.8 acre -feet.
- 5 13. Johnson-Pinal is a member service area of the Central Arizona Groundwater Replenishment
6 District ("CAGRDR"). The August 27, 2007, Member Service Area Agreement between Johnson-
7 Pinal and the CAGRDR ("Agreement") provides that the amount of Excess Groundwater, as
8 defined in the Agreement, delivered by Johnson-Pinal shall not exceed 8,232 acre-feet per year,
9 which is greater than to Johnson-Pinal's 2017 annual estimated water demand of 1,595.48
10 acre-feet per year of groundwater.
- 11 14. The Director has made a determination, which has not expired, that the most recent CAGRDR
12 Plan of Operation is consistent with achieving the management goal of the Pinal AMA.
- 13 15. As of the date of this decision and order, the CAGRDR is in compliance with its groundwater
14 replenishment obligation for the Pinal AMA.
- 15 16. Johnson-Pinal has demonstrated that withdrawing 1,595.48 acre-feet per year of groundwater
16 fro 100-years is consistent with the management goal of the Pinal AMA.
- 17 17. Johnson-Pinal has demonstrated that after withdrawing 1,595.48 acre-feet per year of
18 groundwater for 100 years, the depth-to-static water level within Johnson-Pinal's service area is
19 not expected to exceed 1,100 feet below land surface.
- 20 18. Johnson-Pinal will demonstrate through a Master Utility Agreement for water and wastewater
21 facilities that it has wells of sufficient capacity to satisfy its 2017 annual estimated water demand
22 of 1,595.48 acre-feet per year for at least 100 years.

23 **D. Consistency with the Management Plan**

- 24 19. Johnson-Pinal is currently regulated as a large municipal provider under the Municipal
25 Conservation Program in the Third Management Plan for the Pinal AMA ("Management Plan").
26 As of the date the application was filed, Johnson-Pinal has not been found to be out of
compliance with the Management Plan.

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E. Water Quality

20. Johnson-Pinal is regulated by the Arizona Department of Environmental Quality as a public water system pursuant to A.R.S. § 49-351, *et seq.*

F. Financial Capability

21. Johnson-Pinal has constructed some of the necessary delivery system and storage facilities to satisfy its expected water demand.

22. Johnson-Pinal has entered into development agreements which require developers to construct additional infrastructure and then transfer the infrastructure to Johnson-Pinal.

III. CONCLUSIONS OF LAW

Having reviewed the Findings of Fact, the Department makes the following Conclusions of Law:

1. Johnson-Pinal has demonstrated that sufficient groundwater will be physically, continuously and legally available to Johnson-Pinal for at least 100 years, to meet its 2017 annual estimated water demand of 1,595.48 acre-feet per year.

2. For purposes of A.A.C. R12-15-716(B)(3)(c)(ii), Johnson-Pinal's annual estimated water demand to be met with groundwater is 1,595.48 acre-feet per year.

3. In accordance with A.A.C. R12-1-722, Johnson-Pinal has demonstrated that its projected use of groundwater is consistent with the management goal of the Pinal AMA.

4. The water supply served by Johnson-Pinal will be of adequate quality pursuant to A.A.C. R12-15-719.

5. In accordance with A.A.C. R12-15-721, Johnson-Pinal meets the standard established for determining consistency with the Management Plan for the Pinal AMA.

6. Johnson-Pinal has satisfied the financial capability criteria prescribed in A.A.C. R12-15-720.

7. Johnson-Pinal has satisfied all the requirements for a designation of an assured water supply.

IV. ORDER OF DESIGNATION AND CONDITIONS OF DESIGNATION

Having reviewed the Conclusions of Law, the Department hereby issues this Decision and Order designating Johnson-Pinal as having an assured water supply, subject to the following conditions:

- 1 1. The Department reserves the right under A.A.C. R12-15-711(C) to periodically review and
2 modify the designation for good cause as conditions warrant.
- 3 2. Pursuant to A.A.C. R12-15-711(F), the Department may, at any time revoke this designation if
4 the findings of fact or the conclusions of law upon which the designation is based change or are
5 invalid, or if an assured water supply no longer exists.
- 6 3. The Department's determination that an assured water supply exists for Johnson-Pinal is based
7 on its analysis of the water supplies pledged by Johnson-Pinal.
- 8 4. Johnson-Pinal shall submit an application to modify this decision and order designating
9 Johnson-Pinal as having an assured water supply to increase the term of the designation when
10 the sum of Johnson-Pinal's current demand, committed demand and two year projected
11 demand exceeds 1,595.48 acre-feet per year, or by December 31, 2015, whichever is earlier.
- 12 5. Pursuant to A.A.C. R12-15-719, Johnson-Pinal shall satisfy any state water quality
13 requirements established for its proposed use after the date of this designation.
- 14 6. Johnson-Pinal shall annually provide to the Department the following information for the
15 previous calendar year in the manner prescribed in A.A.C. R12-15-711(A):
 - 16 a. An estimate of the demand of platted, undeveloped lots located in Johnson-
17 Pinal's service area.
 - 18 b. An estimate of the projected demand at build-out for customers with which
19 Johnson-Pinal has entered into a notice of intent to serve agreement in the
20 preceding calendar year.
 - 21 c. A report regarding Johnson-Pinal's compliance with water quality requirements.
 - 22 d. The depth-to-static water level of all wells from which Johnson-Pinal withdrew
23 water during the calendar year.
 - 24 e. Any other information requested by the Director to determine whether Johnson-
25 Pinal continues to meet all the requirements necessary to maintain this
26 designation of assured water supply.

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IT IS HEREBY ORDERED THAT JOHNSON-PINAL'S SERVICE AREA LOCATED WITHIN THE PINAL AMA BE DESIGNATED AS HAVING AN ASSURED WATER SUPPLY UNTIL DECEMBER 31, 2017.

DATED this 1ST day of DECEMBER, 2008.


Herbert R. Guenther
Director
Arizona Department of Water Resources

A copy of the foregoing Decision and Order mailed by certified mail this 1ST day of December, 2008, to:

Brian Tompsett
Johnson Utilities, L.L.C.
dba Johnson Utilities Pinal
5230 E. Shea Blvd., Suite 200
Scottsdale, AZ 85254

Certified Mail No.: 7006 2760 0002 4885 1862

Sent by: 
Norma J. Coppaud

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A copy of the foregoing mailed
by first class mail this 1st day
of December, 2008, to:

Michael J. Pearce
Maguire & Pearce, P.L.L.C.
2999 N. 44th Street, Suite 630
Phoenix, AZ 85018

Roy Tanney
Arizona Department of Real Estate
2910 N. 44th Street
Phoenix, AZ 85018

Cliff Neal
Central Arizona Groundwater
Replenishment District
P.O. Box 43020
Phoenix, AZ 85080

Randy Edmond
Area Director
Pinal Active Management Area
1729 N. Trekeil Rd., Suite 105
Casa Grande, AZ 85222

Attachment 16

Estimated Property Tax in year 5

Water	\$4,971.00
Sewer	\$3,839.95

Attachment 17

The estimated numbers of customers to be served in each of the first five years of water utility service to the area covered by this Application are as follows:

	<u>Residential:</u>	<u>Commercial:</u>	<u>Industrial</u>	<u>Irrigation</u>
1st Year	0	1	0	1
2nd Year	25	2	0	3
3rd Year	75	2	0	4
4th Year	125	2	0	4
5th Year	175	2	0	4

The projected annual water consumption, in gallons, for each of the customer classes in the new area for each of the next five years:

	<u>Residential</u>	<u>Commercial:</u>	<u>Industrial</u>	<u>Irrigation</u>
in Gallons				
1st Year	0	250,000	0	250,000
2nd Year	1,186,250	750,000	0	1,000,000
3rd Year	4,745,000	1,000,000	0	1,750,000
4th Year	9,490,000	1,000,000	0	2,000,000
5th Year	14,235,000	1,000,000	0	2,000,000

Attachment 18

Applicant's estimated annual operating revenue and operating expenses for each of the first five years of operation in the new area covered by this Application are as follows:

Water

Operating Revenue

	<u>Residential</u>	<u>Commercial:</u>	<u>Industrial</u>	<u>Irrigation</u>
1st Year	\$0	\$1,063	\$0	\$1,063
2nd Year	\$4,788	\$3,189	\$0	\$4,252
3rd Year	\$19,153	\$4,252	\$0	\$7,441
4th Year	\$38,306	\$4,252	\$0	\$8,504
5th Year	\$57,458	\$4,252	\$0	\$8,504

Operating Expenses

	<u>Residential</u>	<u>Commercial:</u>	<u>Industrial</u>	<u>Irrigation</u>
1st Year	\$0	\$850	\$0	\$850
2nd Year	\$3,831	\$2,551	\$0	\$3,402
3rd Year	\$15,322	\$3,402	\$0	\$5,953
4th Year	\$30,644	\$3,402	\$0	\$6,803
5th Year	\$45,967	\$3,402	\$0	\$6,803

Wastewater

Operating Revenue

	<u>Residential</u>	<u>Commercial:</u>	<u>Industrial</u>	<u>Irrigation</u>
1st Year	\$0	\$622	0	0
2nd Year	\$5,903	\$1,867	0	0
3rd Year	\$23,610	\$2,490	0	0
4th Year	\$47,220	\$2,490	0	0
5th Year	\$70,830	\$2,490	0	0

Operating Expenses

	<u>Residential</u>	<u>Commercial:</u>	<u>Industrial</u>	<u>Irrigation</u>
1st Year	\$0	\$498	0	0
2nd Year	\$4,722	\$1,494	0	0
3rd Year	\$18,888	\$1,992	0	0
4th Year	\$37,776	\$1,992	0	0
5th Year	\$56,664	\$1,992	0	0

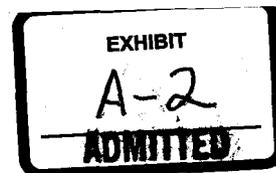
JOHNSON UTILITIES L.L.C

5230 East Shea Boulevard * Scottsdale, Arizona 85254
PH: (480) 998-3300; FAX: (480) 483-79

ORIGINAL

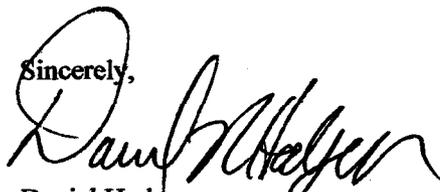
April 18, 2012

Docket Control
Arizona Corporation Commission
1200 W. Washington Street
Phoenix, Arizona 85007



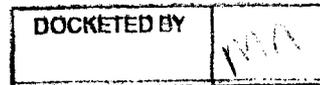
RE: Johnson Utilities Company- Application to extend a Certificate of Convenience and Necessity. Docket No. WS-02987A-12-0136

This filing supplements the application to extend Johnson Utilities' Certificate of Convenience and Necessity to include Bella Vista Farms/Merrill Ranch Expansion 1 with letters in support of the application. Please see the attached letters hereto from the Pinal County Community College District dba Central Arizona College, Town of Florence, and Diversified Water Utilities as Attachments 1, 2, and 3 respectfully.

Sincerely,

Daniel Hodges

Arizona Corporation Commission
DOCKETED

APR 18 2012



RECEIVED
AZ CORP COMMISSION
DOCKET CONTROL
2012 APR 18 PM 3 05

ATTACHMENT 1

Town of Florence
P.O. Box 2670
775 North Main Street
Florence, Arizona 85132

Phone (520) 868-7500
Fax (520) 868-7501
TDD (520) 868-7502

www.florenceaz.gov

TOWN SERVICES

Building Safety
868-7573

Community Development
868-7575

Finance
868-7624

Fire
868-7609

Grants
868-7513

Human Resources
868-7545

Library
868-8311

Municipal Court
868-7514

Parks & Recreation
868-7589

Police
868-7681

Public Works
868-7620

Senior Center
868-7622

Town Attorney
868-7557

Utility Billing
868-7680

Water/Wastewater
868-7677

April 12, 2012

George Johnson
Johnson International, Inc.
5230 E. Shea Boulevard, Suite 200
Scottsdale, AZ 85254

**RE: WATER AND WASTEWATER SERVICE TO CERTAIN
PORTION OF THE MERRILL RANCH PROJECT**

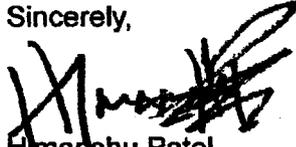
Dear Mr. Johnson:

The Town of Florence supports Johnson Utilities to provide water and wastewater services to certain portion of the Merrill Ranch project as referenced in the attached legal description.

Although the specific property is within the town limits of Florence, The Town of Florence supports Johnson Utilities LLC application to extend its Certificate of Convenience & Necessity (CC&N) for water and wastewater services to this referenced property per the Operating Agreement between the Town of Florence and Johnson Utilities LLC dated April 20, 2005, Fee Number 2005-051154.

Should you have any questions, please feel free to contact me.

Sincerely,



Himanshu Patel
Town Manager

Attachment: "Pulte/Southwest Value Partners Water and Sewer CC&N Request
- Boundary Description, dated April 3, 2012 by Baxter Design Group

cc: James Mannato, Town Attorney
Wayne Costa, Public Works Director
Justin Merritt, Southwest Value Partner



BAXTER DESIGN GROUP

Pulte/Southwest Value Partners
Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29, Section 30, the Northeast Quarter of Section 31 and the Northwest Quarter of Section 32, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the POINT OF BEGINNING from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds;

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds;

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, North 75 Degrees 16 Minutes 42 Seconds East, a distance of 769.90 feet;

Thence, South 00 Degrees 00 Minutes 01 Seconds East, a distance of 1989.42 feet;

Thence, North 89 Degrees 52 Minutes 02 Seconds East, a distance of 1310.57 feet;

Thence, South 00 Degrees 25 Minutes 32 Seconds East, a distance of 1320.60 feet;

Thence, South 89 Degrees 52 Minutes 20 Seconds West, a distance of 1310.49 feet;

Thence, North 89 Degrees 58 Minutes 36 Seconds West, a distance of 2612.18 feet;

Thence, North 00 Degrees 23 Minutes 06 Seconds West, a distance of 1321.04 feet;

Thence, North 89 Degrees 57 Minutes 22 Seconds West, a distance of 2620.60 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 75.00 feet;

Thence, North 64 Degrees 43 Minutes 42 Seconds East, a distance of 2699.25 feet;

Thence, North 74 Degrees 31 Minutes 20 Seconds East, a distance of 344.72 feet;



Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2782.50 feet;

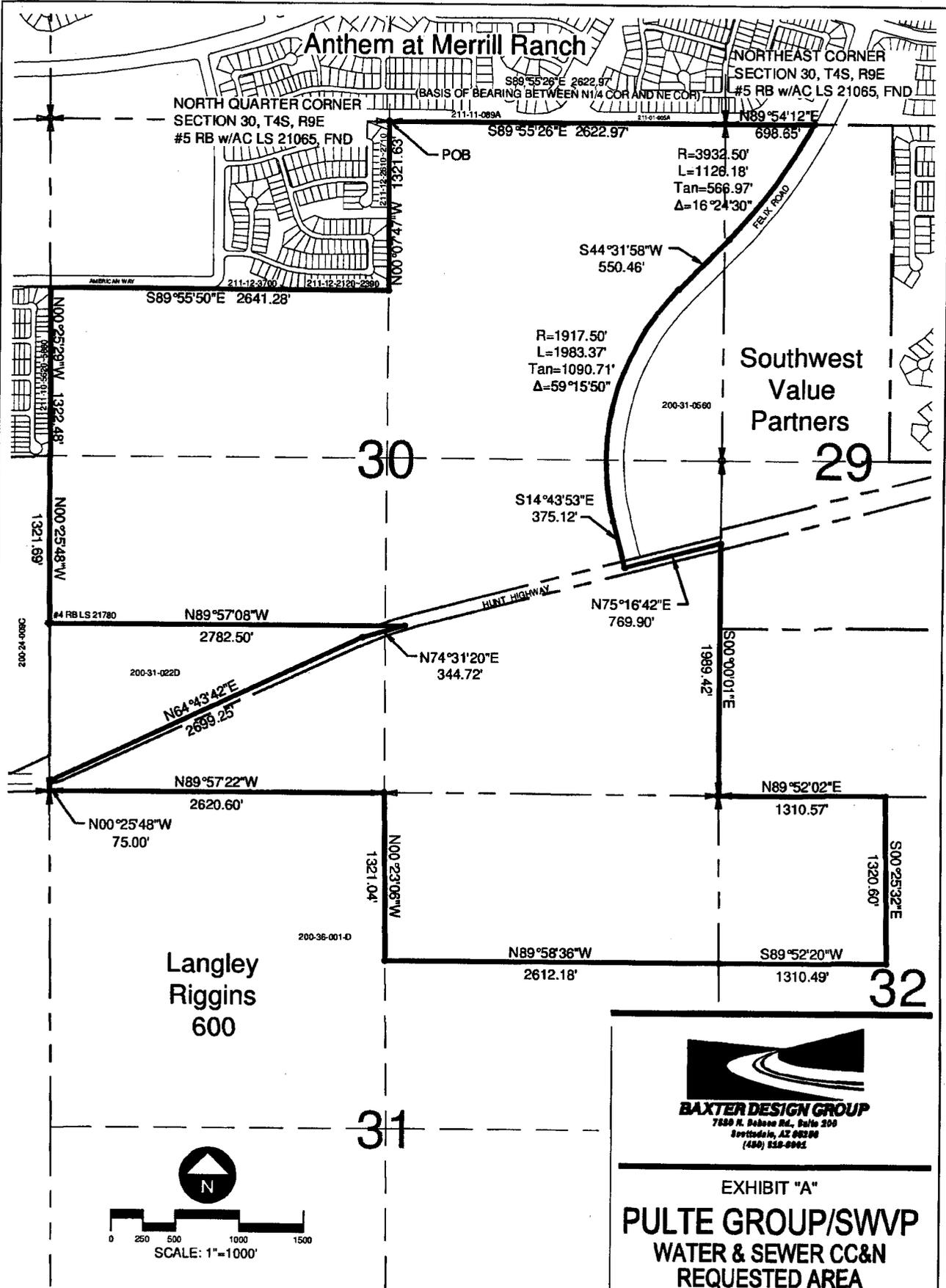
Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

Containing 607.41 acres, more or less.



path: R:\000-SWVP\05_Exhibits\ file name: 742 AMR-SWVP Legd Desc 3.dwg | plot date: April 03, 2012 | plotted by: asanders

BAXTER DESIGN GROUP
 7880 N. Dobson Rd., Suite 200
 Scottsdale, AZ 85260
 (480) 358-8962

EXHIBIT "A"
PULTE GROUP/SWVP
 WATER & SEWER CC&N
 REQUESTED AREA
 PINAL COUNTY, ARIZONA

ISSUE DATE: APR. 3, 2012

ATTACHMENT 2



CHRIS CLONTS
6613 N. Scottsdale Road, Suite 200
Scottsdale, AZ 85250
Phone 480.240.5583 Fax 480.505.3925
CCLonts@RoseLawGroup.com
www.RoseLawGroup.com

April 6, 2012

George Johnson
Johnson Utilities, Inc.
5230 E. Shea Boulevard, Suite 200
Scottsdale, AZ 85254

Dear Mr. Johnson:

On behalf of our client, Pinal County Community College District dba Central Arizona College, we hereby request that Johnson Utilities provide water service to a portion of the Bella Vista Farms planned community (the "Property"). A legal description of the College's property requesting service is attached to this letter as Exhibit A. We understand that the property is currently outside of Johnson Utilities' CC&N boundary and request that you proceed with filing an application with the Arizona Corporation Commission to have the Property included in your certificated area.

Should you have any further questions or need anything further for the CC&N application please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "C. Clonts".

Chris Clonts
Project Manager

EXHIBIT "A"

PORTIONS OF THE WEST HALF OF SECTION 15 AND EAST HALF OF SECTION 16, OF TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A #5 REBAR WITH CAP RLS #25070 LOCATED AT THE SOUTH QUARTER CORNER OF SAID SECTION 15, FROM WHICH A COTTON PICKER SPINDLE LOCATED AT THE SOUTHWEST CORNER OF SAID SECTION 15 BEARS SOUTH 89 DEGREES 33 MINUTES 39 SECONDS WEST, 2690.31 FEET;

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 89 DEGREES 33 MINUTES 39 SECONDS WEST, 1176.99 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 33 MINUTES 39 SECONDS WEST, 1513.32 FEET TO SAID SOUTHWEST CORNER;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, SOUTH 89 DEGREES 26 MINUTES 07 SECONDS WEST, 159.21 FEET TO THE NORTHEASTERLY SOUTHERN PACIFIC RAILROAD RIGHT-OF-WAY LINE;

THENCE LEAVING SAID SOUTH LINE, NORTH 39 DEGREES 00 MINUTES 38 SECONDS WEST, 2266.81 FEET ALONG SAID RIGHT-OF-WAY LINE;

THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTH 51 DEGREES 02 MINUTES 41 SECONDS EAST, 2390.86 FEET TO A NON TANGENT CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 1500.00 FEET, THE CENTER OF WHICH BEARS NORTH 54 DEGREES 58 MINUTES 49 SECONDS EAST;

THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57 DEGREES 16 MINUTES 14 SECONDS, AN ARC LENGTH OF 1499.34 FEET;

THENCE NORTH 87 DEGREES 42 MINUTES 36 SECONDS EAST, 1023.68 FEET TO A #5 REBAR WITH CAP RLS #25070 LOCATED AT THE CENTER OF SAID SECTION 15;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15, SOUTH 02 DEGREES 17 MINUTES 29 SECONDS EAST, 1978.53 FEET;

THENCE LEAVING SAID EAST LINE, SOUTH 89 DEGREES 33 MINUTES 39 SECONDS WEST, 1155.37 FEET;

THENCE SOUTH 00 DEGREES 26 MINUTES 21 SECONDS EAST, 668.47 FEET TO THE POINT OF BEGINNING.

EXCEPT 1/16TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL, STONE, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION; AND

EXCEPT ALL MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN THE PATENT TO SAID LAND.

ATTACHMENT 3



Diversified Water Utilities, Inc.

Corporate Office
(602) 840-9400
fax (602) 840-6030

4700 E. Thomas Rd., Suite 203
Phoenix, AZ 85018-7703

Field Office
phone/fax
(480) 987-9939

34630 N. Schnepf Rd.
Queen Creek, AZ 85240-9229

December 9, 2011

Quality Water
Quality Service

Member, AWWA
AWPCA
WUAA
EVWF

The Honorable Gary Pierce
Chairman, Arizona Corporation Commission
1200 West Washington Ave.
Phoenix, Arizona 85007

George Johnson
Manager
Johnson Utilities, L.L.C.
5230 East Shea Blvd.
Scottsdale, Arizona 85254

Re: Domestic Water Service to the Bella Vista Road Alignment

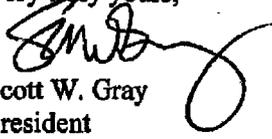
Dear Chairman Pierce and Mr. Johnson,

This letter is to inform you and confirm that the Letter of Mutual Understanding, Cooperation and Settlement ("Agreement") between Diversified Water Utilities, Inc. ("DWU") and Johnson Utilities, L.L.C. ("JU") dated June 20, 2005 addressing the understanding between DWU and JUC regarding domestic water service along the Bella Vista Road alignment in Pinal County, Arizona has been terminated and is no longer in effect.

We understand that BVF Land, L.L.C. ("BVF") desires that domestic water service for the uncertificated real property along Bella Vista Road in Pinal County, Arizona ("Property") be provided by JU. DWU confirms by this letter and its filings with the Arizona Corporation Commission ("Commission") that DWU has removed any objections to JU providing domestic water service to the Property. This will additionally confirm that DWU is ready and looks forward to assisting BVF with any domestic water service requirements that BVF may have for any of its real property within DWU's Commission certificated service area when and as needed.

I hope that this letter sufficiently sets forth our position on this matter. If there are any questions, please do not hesitate to contact us.

Very truly yours,

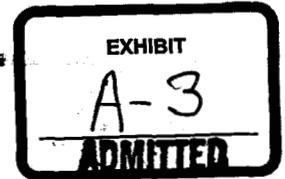

Scott W. Gray
President

cc: William Sullivan, Esq.
Gary A. Drummond, Esq.
Commissioner Paul Newman
Commissioner Bob Stump

Commissioner Brenda Burns
Commissioner Sandra D. Kennedy

ORIGINAL JOHNSON UTILITIES COMPANY, L.L.C.

5230 East Shea Boulevard * Scottsdale, Arizona 85254
PH: (480) 998-3300; FAX: (480) 483-7908



21 May 2012

Arizona Corporation Commission
DOCKETED

MAY 23 2012

DOCKETED BY *TSM*

AZ CORP COMMISSION
DOCKET CONTROL

2012 MAY 23 P 2:31

RECEIVED

Robert G. Gray
Executive Consultant III
Utilities Division
Arizona Corporation Commission
1200 W Washington Street
Phoenix, AZ 85007-2927

Re: **INSUFFICIENCY RESPONSE: JOHNSON UTILITIES, L.L.C. APPLICATION FOR APPROVAL OF AN EXTENSION OF ITS CERTIFICATE OF CONVENIENCE AND NECESSITY (DOCKET NO. WS-02987A-12-0136)**

Dear Mr. Gray:

Included is the requested information needed to meet the insufficiency requirements per your request of May 7, 2012.

Water Division

1. Please submit a drinking water design report with sufficient details to identify existing and future sources, the capacities of existing sources, the estimated capacities of future sources and any existing demand on the present water sources.

The report should identify the location of future and existing transmission mains and include the timing or construction phasing of facilities.

BELLA VISTA FARMS NORTH: There is currently an 8" water line in Bella Vista Road, which is at the southern property border. This line will be increased to a 12" line by the developer at each phase of the development. The onsite water infrastructure will be built with the project. The Central Arizona College will be served by our existing water tank and well capacity. Once the residential developments move forward then we will build an additional million gallon storage tank and three wells to supply water to the tank and then to the development.

MERRILL RANCH EXPANSION #1: This is area will be connected to the existing Anthem at Merrill Ranch water system to supply water for the initial phases. At build out we will build an additional million gallon storage tank and three wells to supply water to the tank and then to the development.

2. Please provide a set of design plans for the proposed water facilities. If final plans are not available, preliminary design plans should be provided.

Please see Attachment 1 (Plans for Central Arizona College Campus); no others are yet available.

3. Please provide a copy of the ADEQ's Approval to Construct the water facility to serve the proposed CC & N area. If the Approval to construct has not been issued, please inform Staff of the status of the application for the Approval to Construct.

Central Arizona College has not yet submitted their plans to ADEQ for the Approval to Construct; however, they are planning to submit within the next 60 days. The College plans to start construction sometime in July or August of 2012. The other developers are planning to move forward with engineering once the Arizona Corporation Commission has issued the CC&N for area. They plan to start construction a year after the CC&N is approved by the ACC.

Wastewater Division

1. Please submit a master wastewater design report with sufficient details to identify the location of existing and future wastewater treatment plants and major wastewater interceptors. It should also provide the capacities of existing and future wastewater treatment plants, any existing service base in the proposed CC&N, service connections at build out in the proposed CC&N, estimated wastewater flow from a typical dwelling unit.

The report should also include the timing or construction phasing of facilities and methods of effluent disposal.

BELLA VISTA FARMS NORTH: Bella Vista Farms North is already within our certificated area.

MERRILL RANCH EXPANSION #1: This expansion is adjacent to our existing wastewater system. The developer will install gravity main to our existing gravity system which feeds into Johnson Utilities' Anthem at Merrill Ranch wastewater system.

2. Please provide a set of design plans for the proposed wastewater facilities. If final plans are not available, preliminary design plans should be provided.

Please see Attachment 1 (Plans for Central Arizona College); as noted above this area is already in Johnson Utilities' existing wastewater CC&N. The college is planning to start construction sometime in July or August of 2012. The other developers plan to start construction a year after the CC&N is approved.

General Questions

1. The initial filing references a request for service from Pantano Development that will be provided at a later date. The April 18, 2012 supplement contains a request for service from the Pinal County Community College District, but not from Pantano Development. Please explain this.

Johnson Utilities has not yet received a request for service from Pantano Development. The request to include their property will be removed if the request has not been received by the time staff's report is completed. Also, please see Attachment 2, which is a request from Pulte.

2. Provide a description of each assumption made to derive the estimates of the annual operating revenues and expenses for the first five years of operation for the requested extension areas, expressed separately for residential, commercial, industrial, and irrigation services.

Our assumptions are made using rates in the existing tariff as follows:

WATER

Residential: 3/4" meter at \$16.50 base, with usage calculated at an average of \$1.95 per 1,000 gallons. Expenses were calculated at 80% of revenue.

Commercial: 2" meter at \$88 base, with usage calculated at an average of \$2.14 per 1,000 gallons. Expenses were calculated at 80% of revenue.

Irrigation: 2" meter at \$88 base, with usage calculated at an average of \$2.14 per 1,000 gallons. Expenses were calculated at 80% of revenue.

WASTEWATER

Residential: 3/4" meter at \$39.35 base per 1,000 gallons. Expenses were calculated at 80% of revenue.

Commercial: 2" meter at \$103.73 base per 1,000 gallons. Expenses were calculated at 80% of revenue.

3. Provide a map identifying the location of all proposed developments within the requested areas.

The Master Plans for both Bella Vista Farms North and Merrill Ranch developments are attached as Attachment 3.

4. Provide a copy of each notice to be sent, as required under R14-2-402(B)(4), to a municipal manager or administrator.

Please see Attachment 4, which has been mailed to the Town Managers of Queen Creek and Florence.

5. Provide an explanation of Attachment 14 to the initial application.

Attachment 14 of the original application is the franchise agreement with Pinal County that allows Johnson Utilities to operate within the county right of way.

6. Provide a description of how wastewater service is to be provided in the proposed service area or extension area and the name of each wastewater service provider for the area, if any.

The Bella Vista Farms North portion is already in our certificated area for wastewater, and the Anthem portion will be connected with the already existing Anthem at Merrill Ranch wastewater line.

7. Provide a letter from each wastewater service provider identified under subsection R14-2-402(B)(5)(aa), confirming the provision of wastewater service for the proposed service area or extension area.

The service provider will be Johnson Utilities, L.L.C.

8. Provide plans for or a description of water conservation measures to be implemented in the proposed service area or extension area, including, at a minimum:

- i. A description of the information about water conservation or waster saving measures that the utility will provide to the public and its customers;
- ii. A description of how the applicant will work with each wastewater service provider identified under subsection (B)(5)(aa) to encourage water conversation;
- iii. A description of the sources of water that will be used to supply parks, recreation areas, golf courses, greenbelts, ornamental lakes, and other aesthetic water features;
- iv. A description of any plans for the use of reclaimed water;
- v. A description of any plans for the use of recharge facilities;
- vi. A description of any plans for the use of surface water; and
- vii. A description of any other plans or programs to promote water conservation.

Please see Paragraph X (HH) from the original application.

May 21, 2012
Mr. Robert G. Gray
Page | 5

9. Provide a copy of the Physical Availability Determination, Analysis of Adequate Water Supply, or Analysis of Assured Water Supply issued by the Arizona Department of Water Resources for the proposed service area or extension area or, if not yet obtained, the status of the application for such approval.

Please see Attachment #15 of the original application.

10. Provide a water use data sheet for the water system being extended by the applicant.

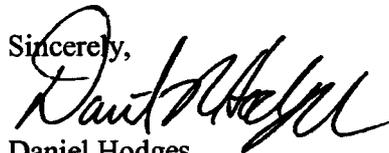
Please see Attachment 5

11. Provide an amended written legal description that accurately describes the requested area.

Please see Attachment 6

If you have further questions or concerns, please feel free to contact me at (480) 998-3300.

Sincerely,



Daniel Hodges
JOHNSON UTILITIES COMPANY, L.L.C.

DH:meb

cc: Docket Control
Del Smith, Engineering Supervisor
Brian Bozzo, Compliance Manager
Lyn Farmer, Chief, Hearing Division
Jeffrey W. Crockett, Brownstein Hyatt Farber Schreck

Attachment 1

Central Arizona College - San Tan Campus
 Water Demand and Wastewater Discharge Analysis
 Date: 08/02/2011

FTSE (Build-Out) 10,000
 FTSE (Phase 1) 1,650
 Staff (Build-Out) 1,000
 Staff / FTSE Ratio 0.1
 FTSE / Headcount Ratio 0.33

Wastewater Discharge Calculations

Description	Phase 1			Full Build-Out		
	Unit	Gal/Day	Total (Gal/Day)	Unit	Gal/Day	Total (Gal/Day)
Admin Staff / Faculty Load	165	20	3,300	1,000	20	20,000
Student Load (FTSE)	1,650	20	33,000	10,000	20	200,000
Cooling Tower (Bleed-Off = 500,000 gal/mo at build-out)	0.165	23,077	3,808	1	23,077	23,077
Irrigation (2.0 ac-ft / yr / 200 acres)		Not Applicable			Not Applicable	
Cafeteria		3		11,000	3	33,000
			40,108			276,077
			46,124			317,489

Design Criteria (GPD*1.15)

Water Demand Calculations at 125% of wastewater gal/day

Description	Phase 1			Full Build-Out		
	Unit	Use (Gal/Day)	Total (Gal/Day)	Unit	Gal/Day	Total (Gal/Day)
Admin Staff / Faculty Load	165	25	4,125	1,000	25	25,000
Student Load (FTSE)	1,650	25	41,250	10,000	25	250,000
Cooling Tower (Bleed-Off = 500,000 gal/mo)	0.165	28,846	4,760	1	28,846	28,846
Irrigation (2.0 ac-ft / yr / 200 acres)	23.6	11	264	200	11	2,238
Cafeteria		4		11,000	4	41,250
			50,399			347,334
			35			241
			3.0			3.0
			105.0			723.6

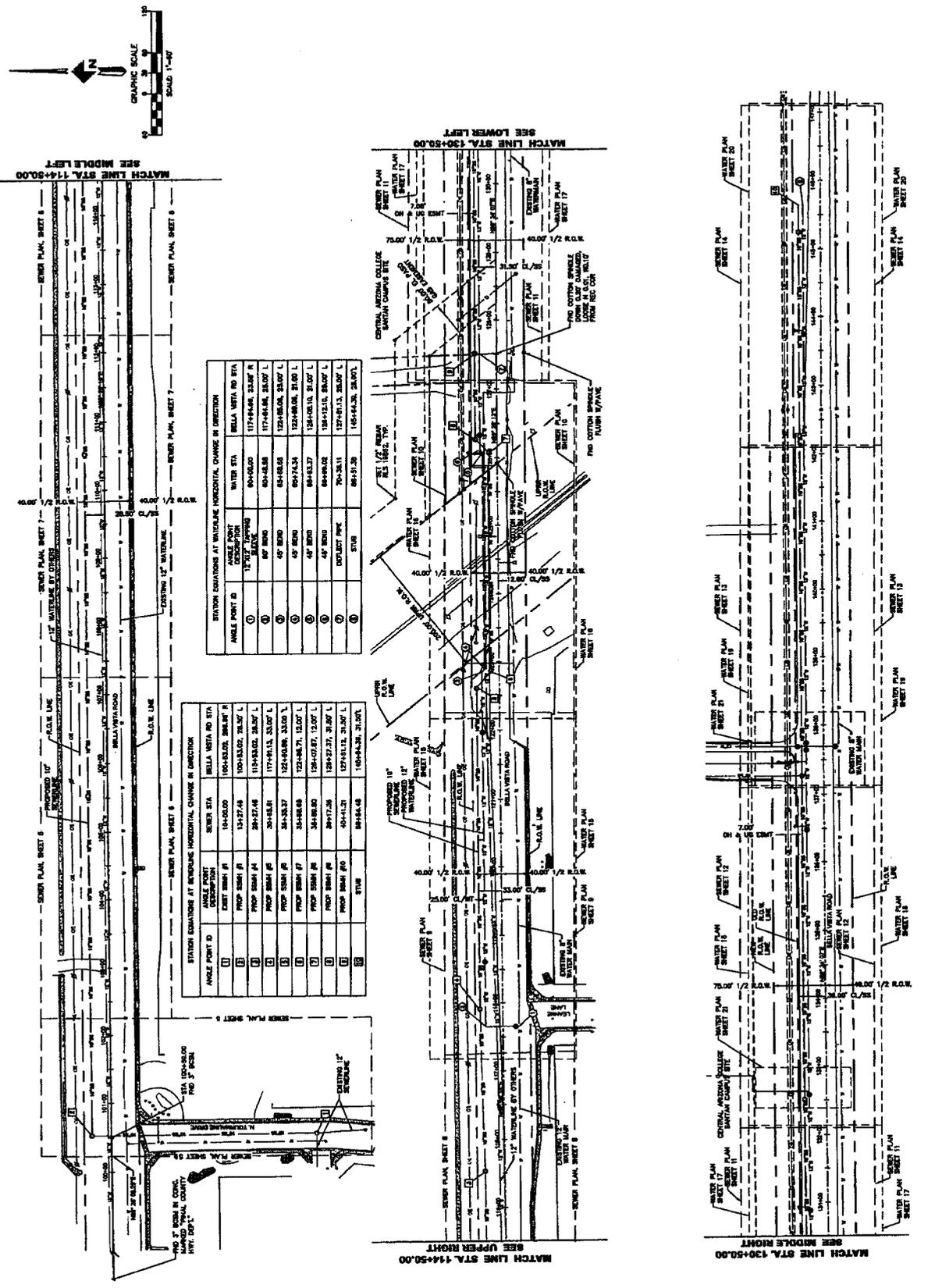
Convert to Gallons Per Minute

Peaking Factor

Design Water Use (GPM)

OVERALL PLAN
 WATER AND SEWER EXTENSION ALONG
 BELLA VISTA ROAD, PINAL CO., AZ

CONSTRUCTION DOCUMENTS
 DOWL HKM
 25-0000-0000 25-0000-0000

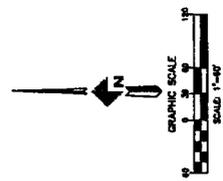


STATION EQUATIONS AT BELLA VISTA ROAD CHANGE IN DIRECTION

ANGLE POINT ID	ANGLE POINT DESCRIPTION	WATER STA	BELLA VISTA RD STA
1	12\"/>		

STATION EQUATIONS AT BELLA VISTA ROAD CHANGE IN DIRECTION

ANGLE POINT ID	ANGLE POINT DESCRIPTION	SEWER STA	BELLA VISTA RD STA
1	12\"/>		



MATCH LINE STA. 114+50.00
 SEE MIDDLE LEFT

MATCH LINE STA. 114+50.00
 SEE UPPER RIGHT

MATCH LINE STA. 130+50.00
 SEE MIDDLE RIGHT

MATCH LINE STA. 130+50.00
 SEE LOWER LEFT



SEWER PLAN AND PROFILE
WATER AND SEWER EXTENSION ALONG
BELLA VISTA ROAD, PINAL CO., AZ



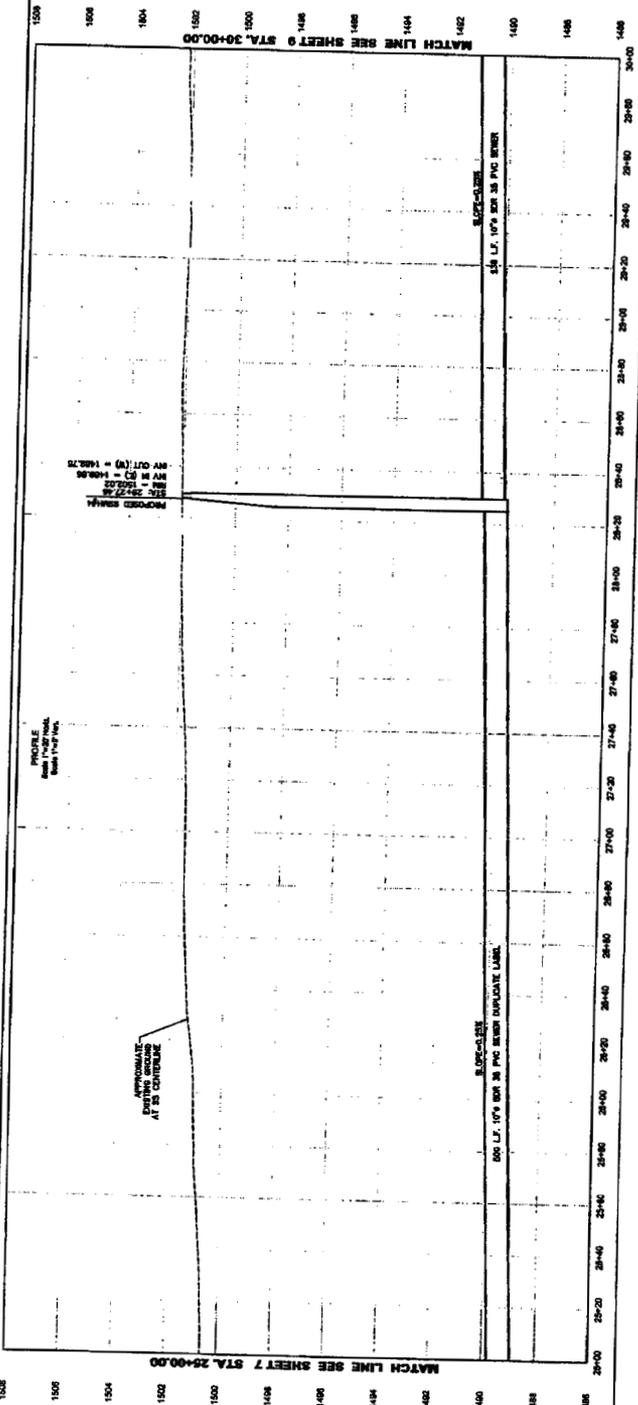
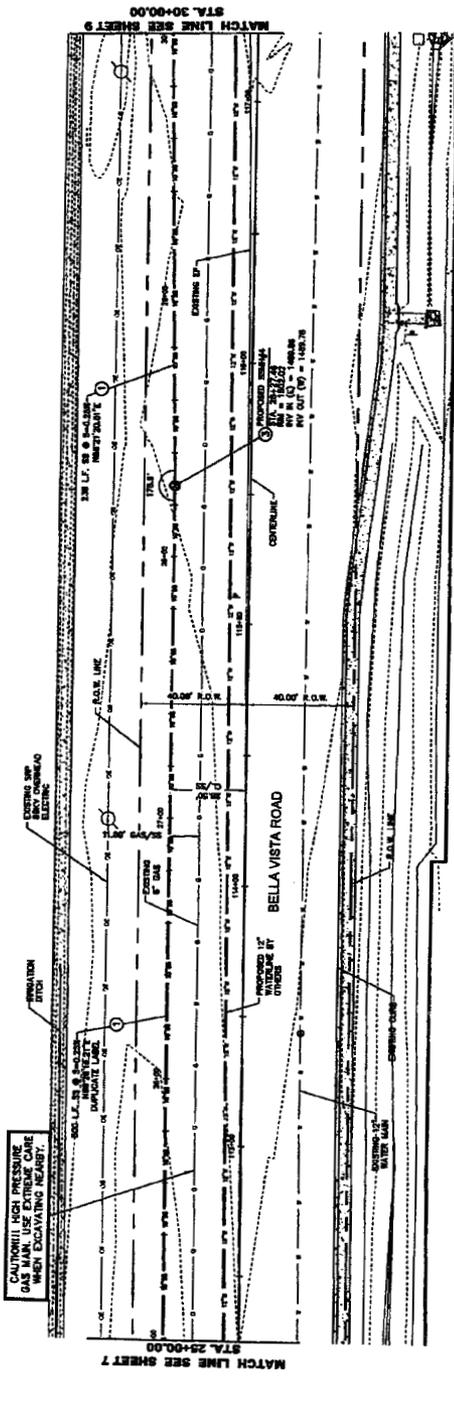
CONSTRUCTION DOCUMENTS

SEWER CONSTRUCTION NOTES

1. GENERAL NOTES FOR 30" PVC SANITARY SEWER LINE.
2. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
3. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
4. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
5. REPLACE CONCRETE VALVE BOXES IN IAS STD. 201.
6. REPLACE CONCRETE VALVE BOXES IN IAS STD. 201.
7. INSTALL 1/2" Ø STEEL CORNER MANHOLE RINGS PER IAS STD. 201.
8. BACK AND FILL ALL MANHOLES TO BE CONSTRUCTED WITH 1/2" Ø STEEL CORNER MANHOLE RINGS PER IAS STD. 201.
9. CONNECT TO EXISTING MANHOLE BY BORING UNDERGROUND PER IAS STD. 201.
10. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
11. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
12. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
13. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
14. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
15. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
16. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
17. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
18. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
19. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.
20. CONSTRUCT 48" SANITARY SEWER MANHOLE PER IAS STD. 201.

GENERAL NOTES

1. SEWER LINE DISTANCES SHOWN ON THIS SHEET ARE MEASURED FROM THE CENTERLINE OF BELLA VISTA ROAD TO THE CENTERLINE OF THE SEWER LINE. ALL DISTANCES ARE MEASURED TO THE CENTERLINE OF THE SEWER LINE UNLESS OTHERWISE NOTED.
2. SANITARY SEWER BLOCKS SHOWN ON THIS SHEET ARE CALICULATED FROM CENTER OF SEWER TO CENTER OF MANHOLE.
3. EXISTING TO EXISTING MANHOLE DISTANCES ARE SHOWN TO CENTER OF MANHOLE UNLESS OTHERWISE NOTED.
4. ALL DISTANCES ARE MEASURED TO THE CENTERLINE OF THE SEWER LINE UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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16. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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18. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
19. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
20. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO CONSTRUCTION.



CAUTION! HIGH PRESSURE
UTILITY LINES MAY BE PRESENT
BEFORE EXCAVATION BEGINS.

APPROXIMATE
EXISTING GRADE
AT 25+00.00

PROPOSED
GRADE
1"=20' HORIZ.
1"=4' VERT.

PROPOSED GRADE
1"=20' HORIZ.
1"=4' VERT.

PROPOSED GRADE
1"=20' HORIZ.
1"=4' VERT.

PROPOSED GRADE
1"=20' HORIZ.
1"=4' VERT.

PROPOSED GRADE
1"=20' HORIZ.
1"=4' VERT.

PROPOSED GRADE
1"=20' HORIZ.
1"=4' VERT.

SEWER PLAN AND PROFILE
 WATER AND SEWER EXTENSION ALONG
 BELLA VISTA ROAD, PINAL CO., AZ

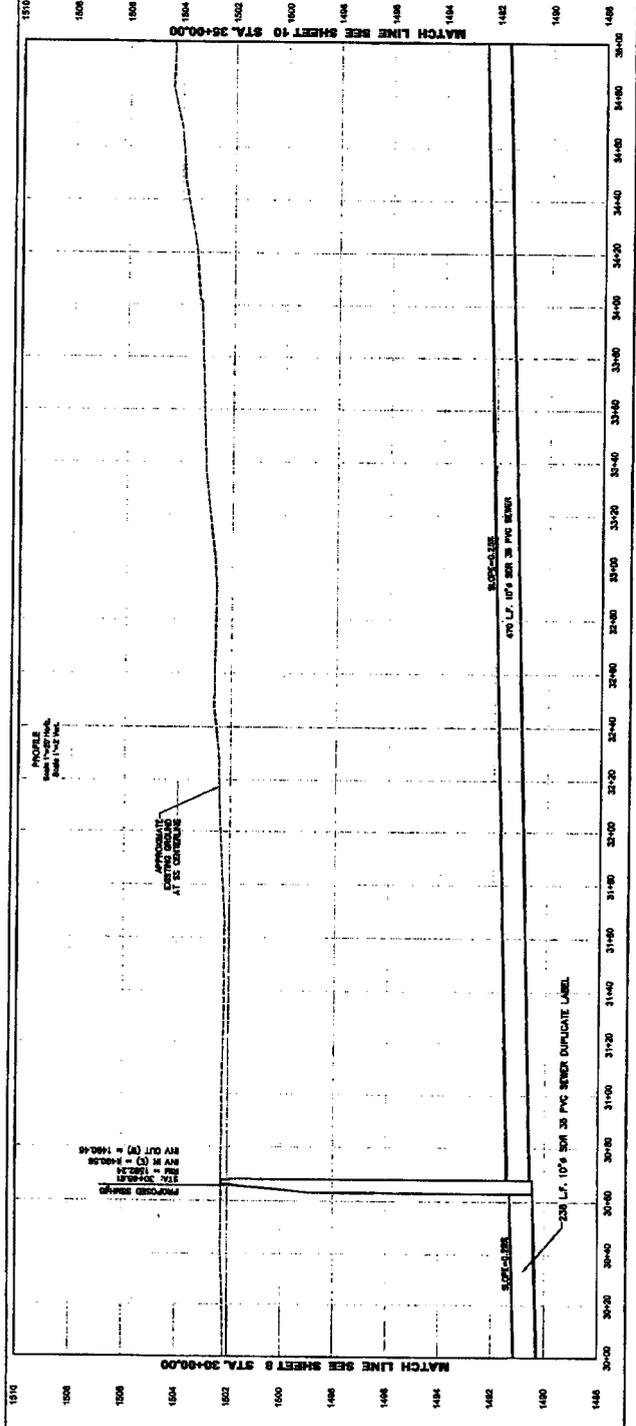
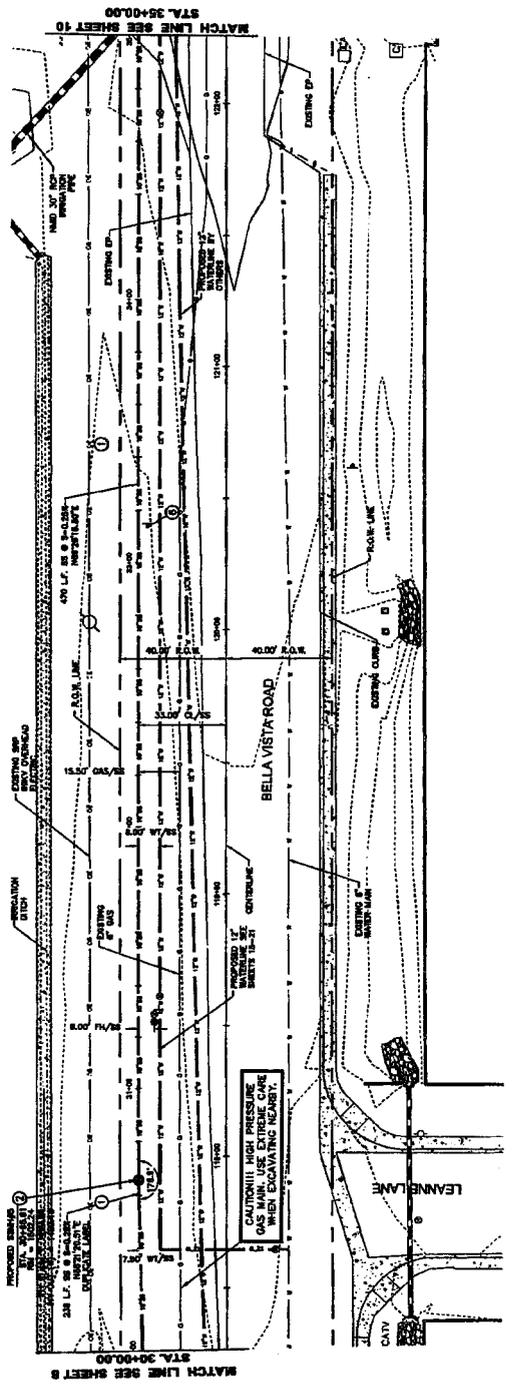


CONSTRUCTION DOCUMENTS

DOWN L.H.K.
 10/15/10
 10/15/10

- SEWER CONSTRUCTION NOTES**
1. INSTALL 10' DIA. 10' PVC SEWER MANHOLE PER STD. DTL. 100.
 2. CONSTRUCT 6" DIA. 6' PVC SEWER MANHOLE PER STD. DTL. 100.
 3. PROVIDE 7'-10" TRENCH DEPTH AT SEWER LINE TRENCH FOR 10' DIA. STD. 100-L.
 4. REPLACE CONCRETE VALVEY GUTTER IN TRENCH.
 5. REPLACE SIGN AND SIGN POST AND BASE IN TRENCH.
 6. PROVIDE 1" DIA. 10' PVC SEWER MANHOLE PER STD. DTL. 100.
 7. PROVIDE 1" DIA. 10' PVC SEWER MANHOLE PER STD. DTL. 100.
 8. PROVIDE 1" DIA. 10' PVC SEWER MANHOLE PER STD. DTL. 100.
 9. PROVIDE 1" DIA. 10' PVC SEWER MANHOLE PER STD. DTL. 100.
 10. PROVIDE 1" DIA. 10' PVC SEWER MANHOLE PER STD. DTL. 100.

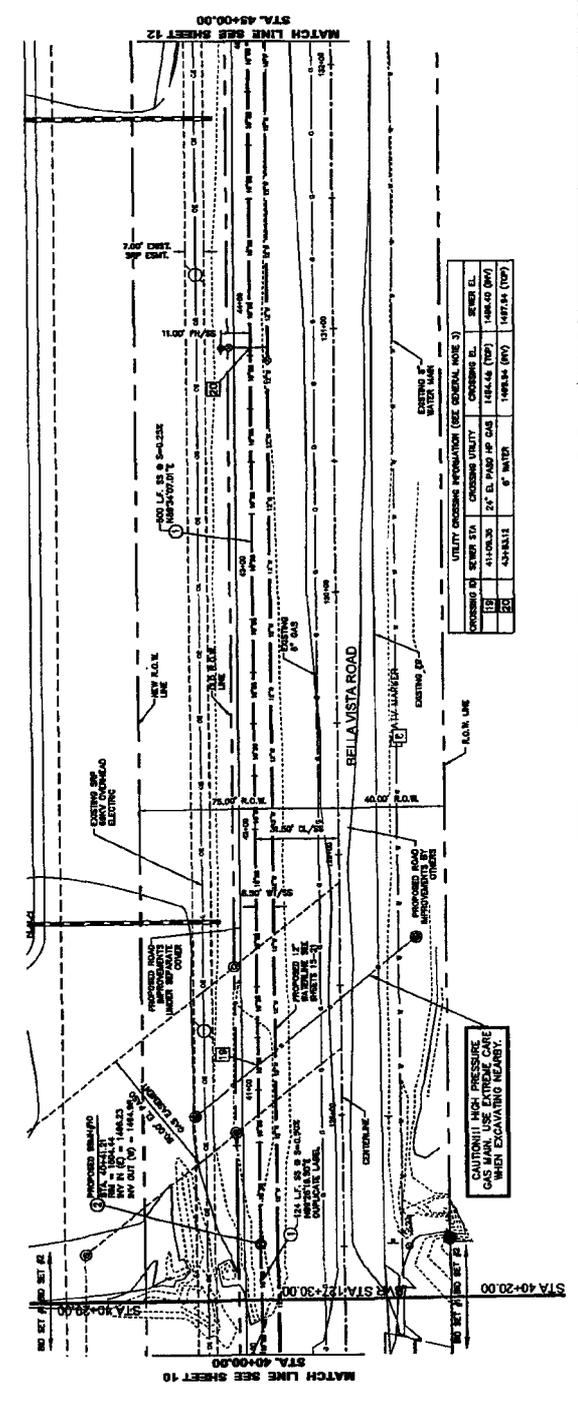
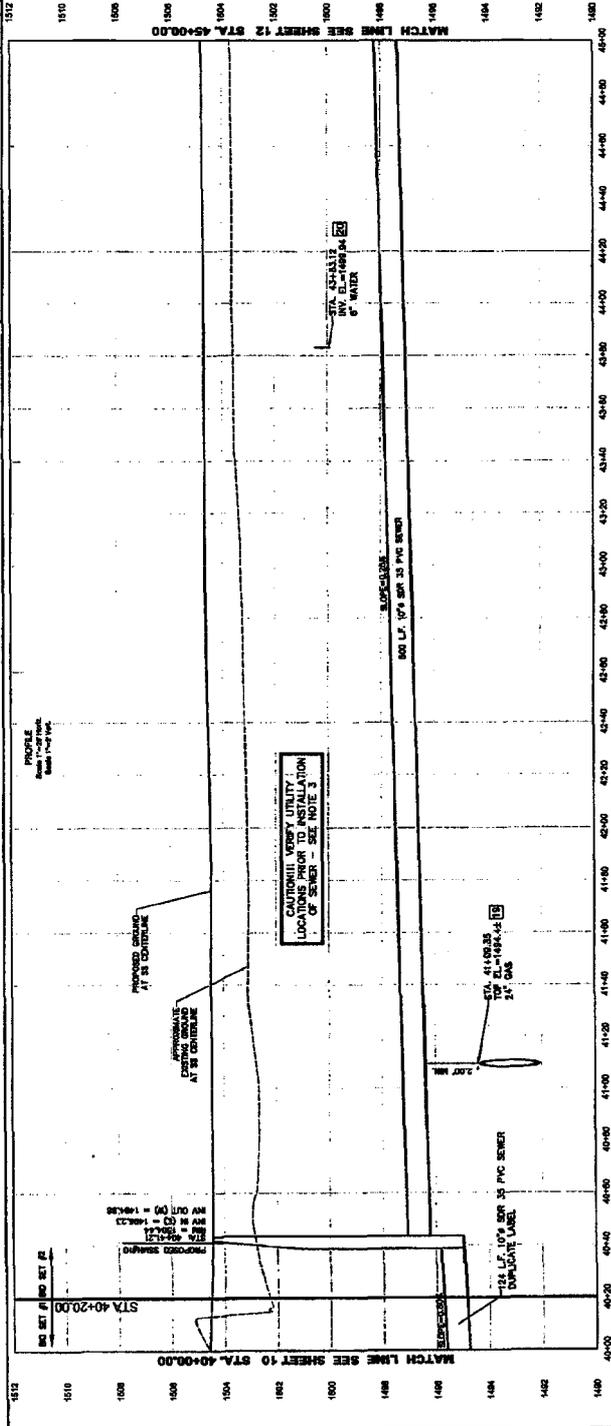
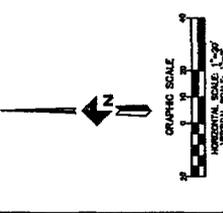
- GENERAL NOTES**
1. SEWER LINE DISTANCES SHOWN ON THIS SHEET ARE CALCULATED FROM CENTER OF ROAD TO CENTER OF MANHOLE DISTANCES AND NOT FROM PROPERTY LINES. DISTANCES ARE TO BE VERIFIED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 2. SEWER LINE DISTANCES SHOWN ON THIS SHEET ARE CALCULATED FROM CENTER OF ROAD TO CENTER OF MANHOLE DISTANCES AND NOT FROM PROPERTY LINES. DISTANCES ARE TO BE VERIFIED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 5. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 6. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 7. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 8. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 9. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.
 10. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINE LOCATION AND DEPTH BY EXCAVATING AT THE LOCATIONS INDICATED BY THE CONTRACTOR. ALL DISTANCES ARE TO BE MEASURED TO THE CENTER OF THE MANHOLE UNLESS OTHERWISE NOTED.





- GENERAL NOTES**
1. SANITARY SEWER INSTANCES SHOWN ON THIS PLAN ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF PINAL COUNTY SANITARY SEWER DESIGN MANUAL. ALL SANITARY SEWER SHALL BE 30" DIAMETER UNLESS OTHERWISE NOTED.
 2. EXISTING UTILITY LOCATIONS ARE SHOWN ON THIS PLAN FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
 3. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
 4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
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 6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
 7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.

- SEWER CONSTRUCTION NOTES**
1. INSTALL 10' DIA. 30" PVC SANITARY SEWER PER MANHOLE STA. 43+00.00.
 2. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 4' DIA. CONCRETE PER MANS. STD. D12.420.
 3. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
 5. CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
 6. CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.
 7. CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PINAL COUNTY.



CONNECTION TO	SEWER STA.	CROSSING UTILITY	CROSSING E.L.	SEWER E.L.
1	41+00.35	24" DI. PAD M. GAS	1484.42 (TOP)	1484.00 (BOT)
2	43+83.11	6" WATER	1489.14 (BOT)	1487.54 (TOP)

CAUTION!! HIGH PRESSURE EXISTING UNDER GROUND AT THIS LOCATION WHEN EXCAVATING NEARBY.

CAUTION!! VERIFY UTILITY LOCATIONS PRIOR TO INSTALLATION OF SEWER - SEE NOTE 3

STA. 41+00.35
24" DI. PAD M. GAS
1484.42 (TOP)

30" DIA. 30" PVC SEWER
1484.00 (BOT)

SEWER PLAN AND PROFILE
 WATER AND SEWER EXTENSION ALONG
 BELLA VISTA ROAD, PINAL CO., AZ



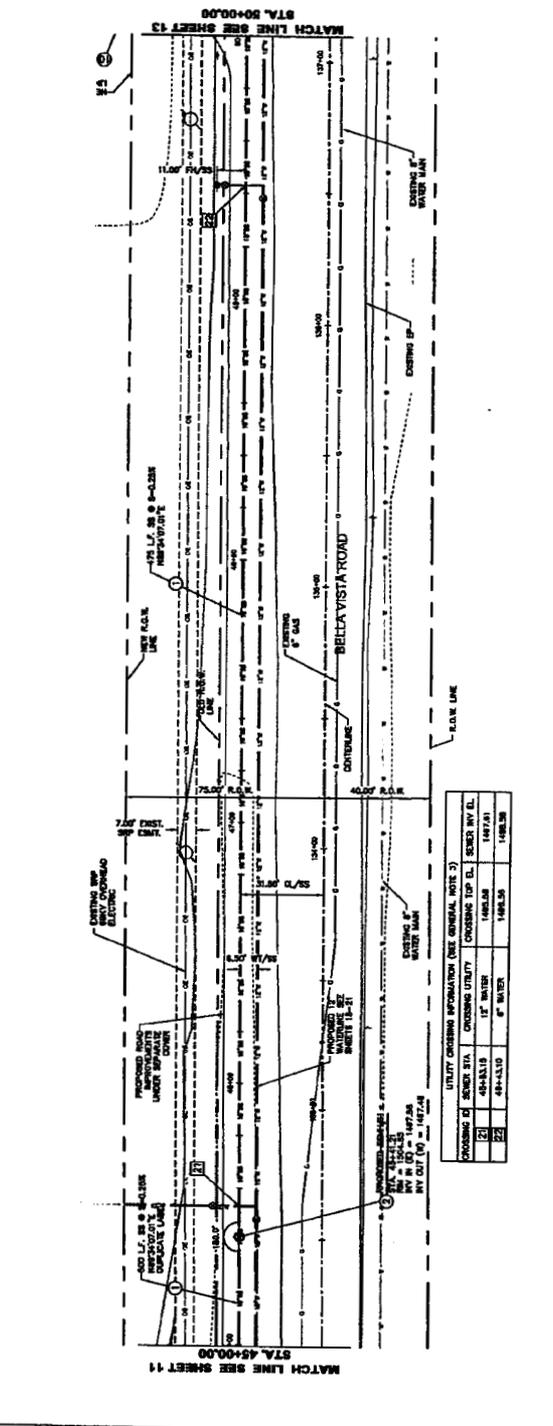
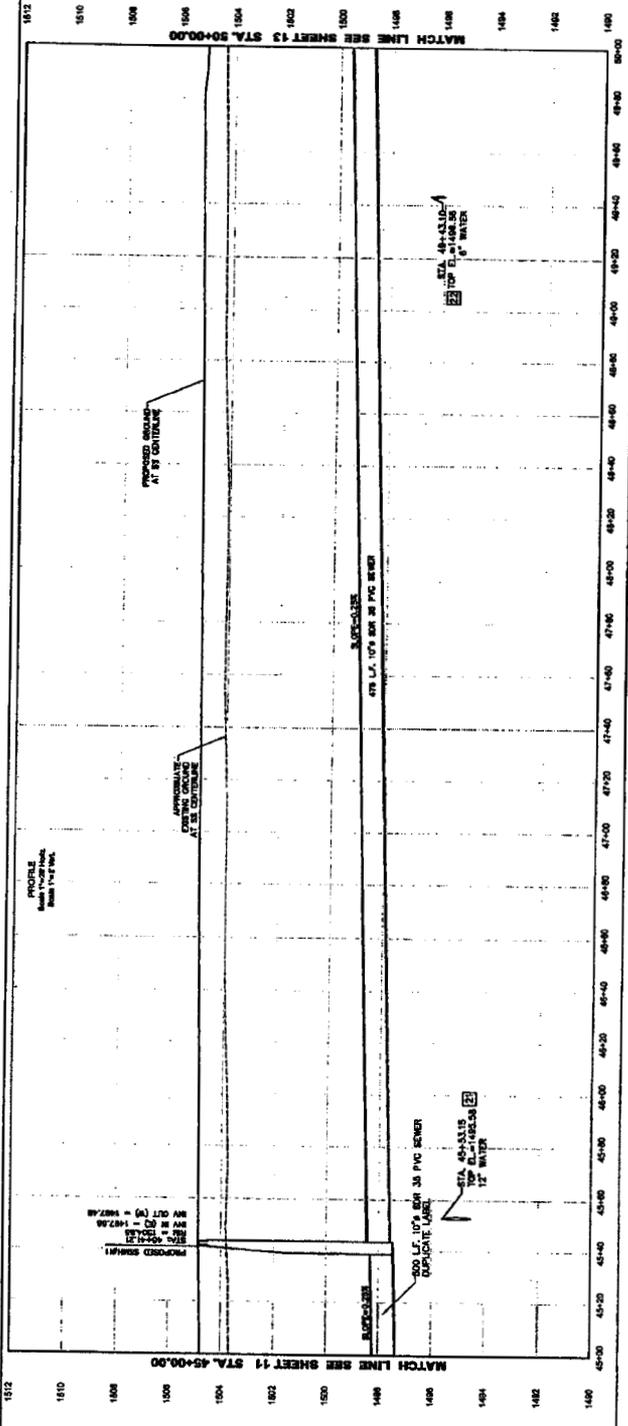
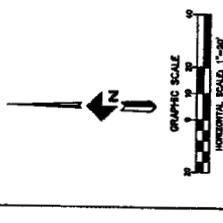
DOWL HKM
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF ARIZONA
 No. 14823
 Exp. 12/31/2011

CONSTRUCTON DOCUMENTS



- GENERAL NOTES**
1. SANITARY SEWER LOCATIONS SHOWN ON THIS SHEET ARE FROM CENTER OF MANHOLE NOT BENCH OF ANY MANHOLE. LINES HAVE ALREADY BEEN CALLED OUT ON THIS SHEET.
 2. SANITARY SEWER LOCATIONS SHOWN ON THIS SHEET ARE FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
 3. EXISTING UTILITY LOCATIONS ARE BASED ON INFORMATION FROM THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
 4. THE CONTRACTOR MUST ADHERE TO ALL CITY ORDINANCES AND REGULATIONS WITHIN THE CITY LIMITS.
 5. THE CONTRACTOR MUST ADHERE TO ALL CITY ORDINANCES AND REGULATIONS WITHIN THE CITY LIMITS.
 6. THE CONTRACTOR MUST ADHERE TO ALL CITY ORDINANCES AND REGULATIONS WITHIN THE CITY LIMITS.
 7. MANHOLE SIZES ARE CENTER TO CENTER OF THE MANHOLE.

- SEWER CONSTRUCTION NOTES**
1. ALL 12" DIA. 15' SP. 30' PVC SANITARY SEWER SHALL BE 12" DIA. 15' SP. 30' PVC.
 2. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 3. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 4. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 5. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 6. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 7. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 8. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 9. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.
 10. CONTRACTOR'S SANITARY SEWER MANHOLE SHALL BE 48" DIA. 48" DEEP.



UTILITY CROSSING INFORMATION (SEE GENERAL NOTE 3)

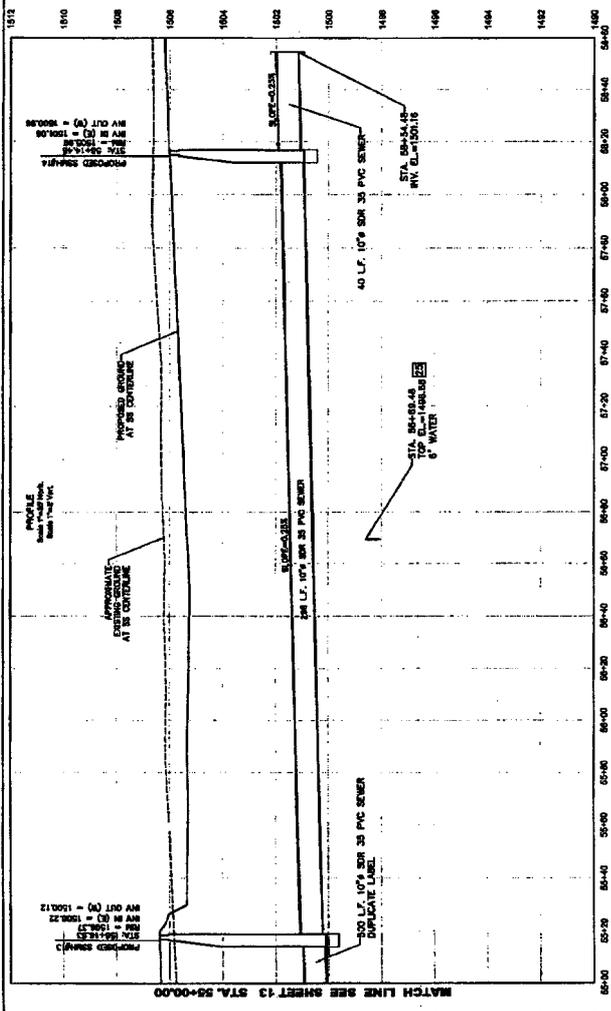
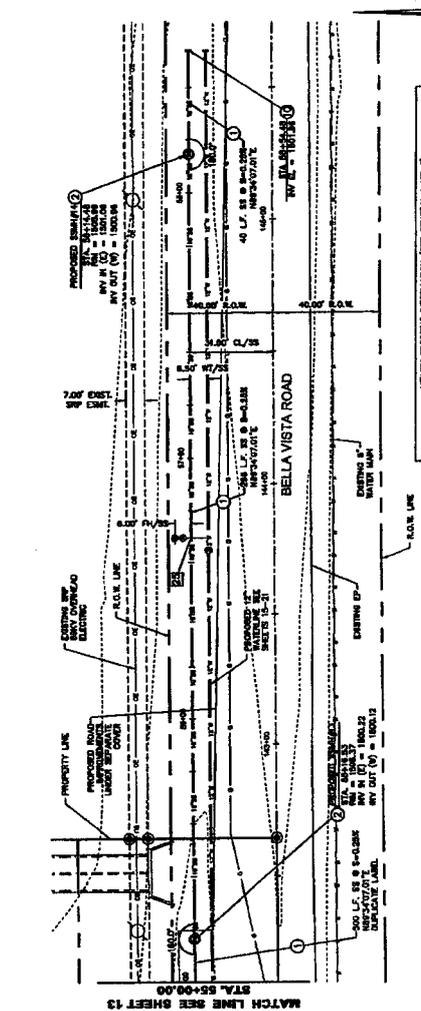
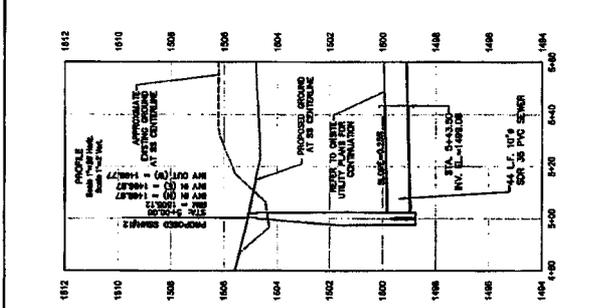
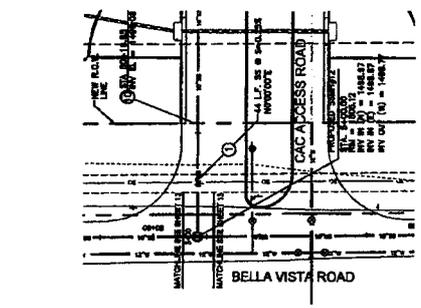
CROSSING #	SEWER STA.	CROSSING UTILITY	CROSSING TOP OF SEWER INV. E.
1	45+54.15	12" WATER	1487.70
2	45+54.15	6" WATER	1486.25



GENERAL NOTES

1. SANITARY SEWER LOCATIONS SHOWN ON THIS SHEET ARE BASED ON THE CENTERLINE OF MANHOLE TO CENTERLINE OF MANHOLE. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND VERIFY THE HORIZONTAL LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ANY UTILITIES.
2. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.
7. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

1. INSTALL 10' DIA. 10' SDR 35 PVC SANITARY SEWER.
2. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.
3. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.
4. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.
5. REPLACE EXISTING VALVE CUTTER IN MANHOLE.
6. INSTALL 10' DIA. 10' SDR 35 PVC SANITARY SEWER.
7. JACK AND BORE PIT UNDERDRAIN TO BE CONSTRUCTED AT THE LOCATION OF THE EXISTING UTILITY. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND VERIFY THE HORIZONTAL LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.
9. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.
10. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.



UTILITY CROSSING INFORMATION (SEE GENERAL NOTE 3)

CROSSING ID	SEWER STA.	CROSSING UTILITY	CROSSING TOP D.	SEWER INV. D.	SEWER DIA.
01	55+48.48	8" WATER	1062.80	1062.80	1000.00
02	55+48.48	8" WATER	1062.80	1062.80	1000.00

CONSTRUCTION DOCUMENTS

DOWN
HKM

SEWER PLAN AND PROFILE
WATER AND SEWER EXTENSION ALONG
BELLA VISTA ROAD, PINAL CO., AZ

14 OF 25

DR Group
Architects Engineering Planning Interiors

GENERAL NOTES

1. SANITARY SEWER LOCATIONS SHOWN ON THIS SHEET ARE BASED ON THE CENTERLINE OF MANHOLE TO CENTERLINE OF MANHOLE. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND VERIFY THE HORIZONTAL LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ANY UTILITIES.

2. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

3. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

5. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

6. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

7. THE CONTRACTOR SHALL ADVISE TO THE ENGINEER OF ANY CHANGES TO THE PROPOSED SEWER SYSTEM PRIOR TO THE START OF CONSTRUCTION.

1. INSTALL 10' DIA. 10' SDR 35 PVC SANITARY SEWER.

2. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.

3. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.

4. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.

5. REPLACE EXISTING VALVE CUTTER IN MANHOLE.

6. INSTALL 10' DIA. 10' SDR 35 PVC SANITARY SEWER.

7. JACK AND BORE PIT UNDERDRAIN TO BE CONSTRUCTED AT THE LOCATION OF THE EXISTING UTILITY. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND VERIFY THE HORIZONTAL LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

8. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.

9. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.

10. CONSTRUCT 40' S. SANITARY SEWER MANHOLE PER IAS STD. D15.420.

GRAPHIC SCALE

MATCH LINE SEE SHEET 13 STA. 55+00.00

MATCH LINE SEE SHEET 13 STA. 55+00.00



WATER PLAN AND PROFILE
 WATER AND SEWER EXTENSION ALONG
 BELLA VISTA ROAD, PINAL CO., AZ

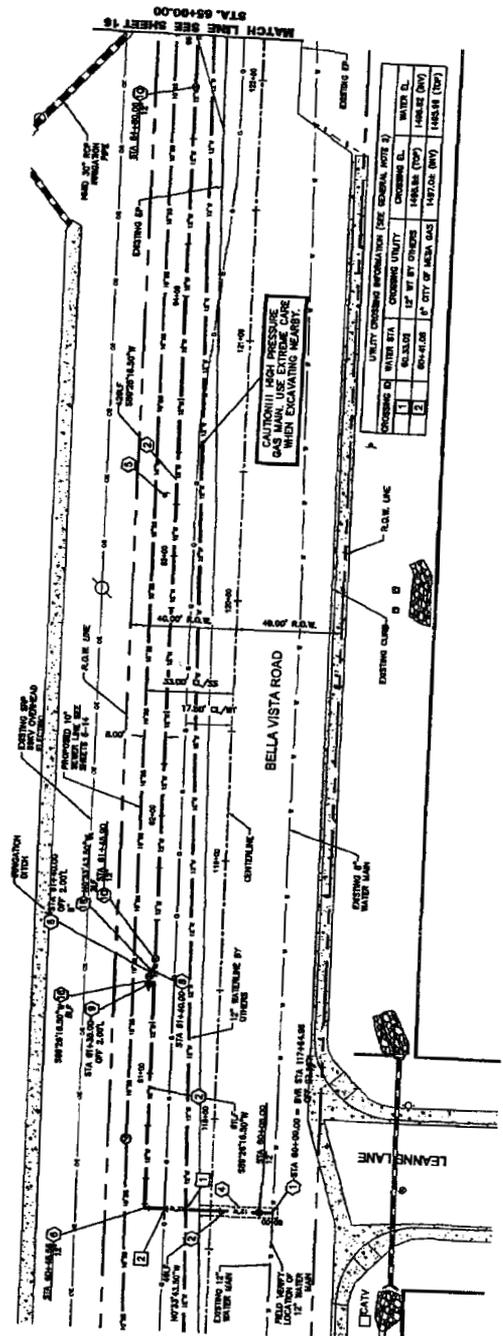
CONSTRUCTION DOCUMENTS



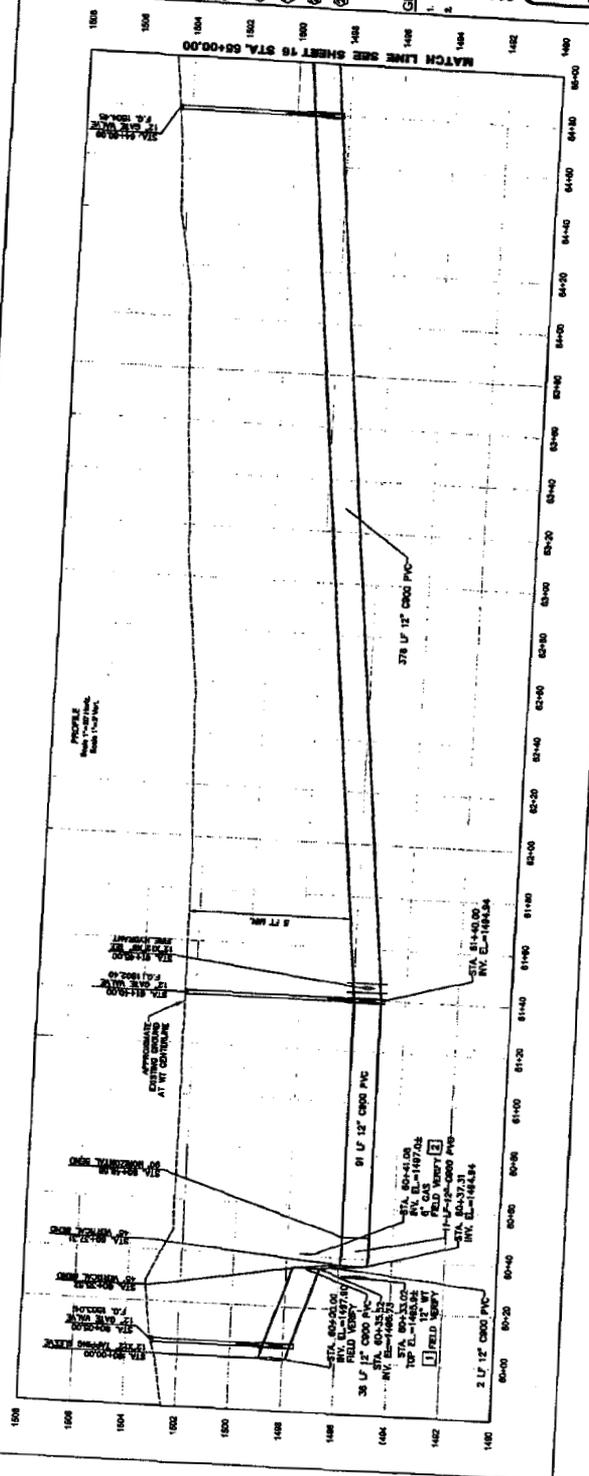
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WATER CONSTRUCTION NOTES

1. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
2. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
3. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
4. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
5. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
6. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
7. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
8. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
9. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
10. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
11. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
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16. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
17. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
18. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
19. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.
20. INSTALL 12" CPVC WATER MAIN WITH 12" CPVC SERVICE LINES AND 12" CPVC WATER METER.



CHORDING OF WATER STA	CHORDING UTILITY	CHORDING L.	WATER D.
1	12" CPVC	140.00'	140.00'
2	12" CPVC	140.00'	140.00'



GENERAL NOTES

1. ALL STA. SHALL BE USED IN THE PLANS AND PROFILE.
2. EXISTING UTILITY LOCATIONS ARE BASED ON INFORMATION FROM THE CITY OF PINAL COUNTY RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PINAL COUNTY RECORDS AND THE ARIZONA DEPARTMENT OF WATER RESOURCES.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ARIZONA DEPARTMENT OF WATER RESOURCES.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ARIZONA DEPARTMENT OF WATER RESOURCES.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ARIZONA DEPARTMENT OF WATER RESOURCES.
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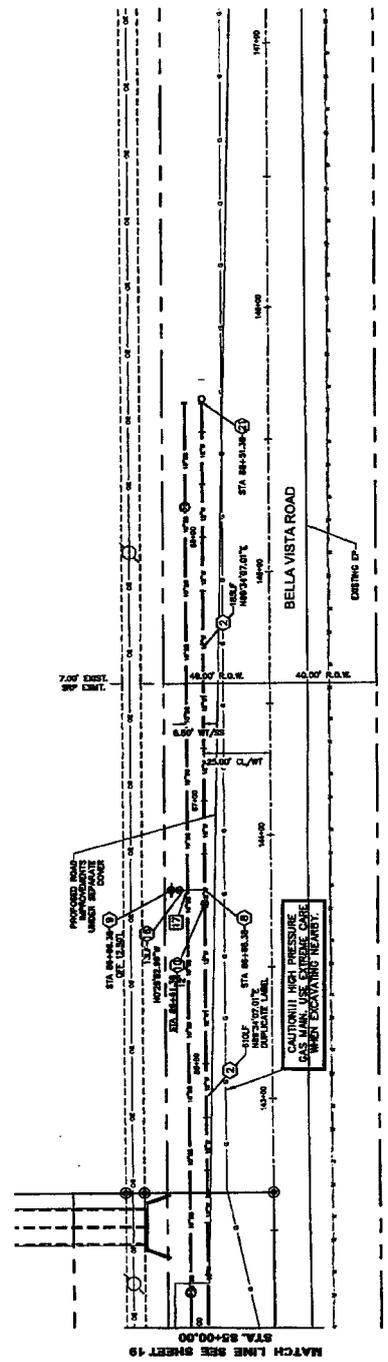


WATER CONSTRUCTION NOTES

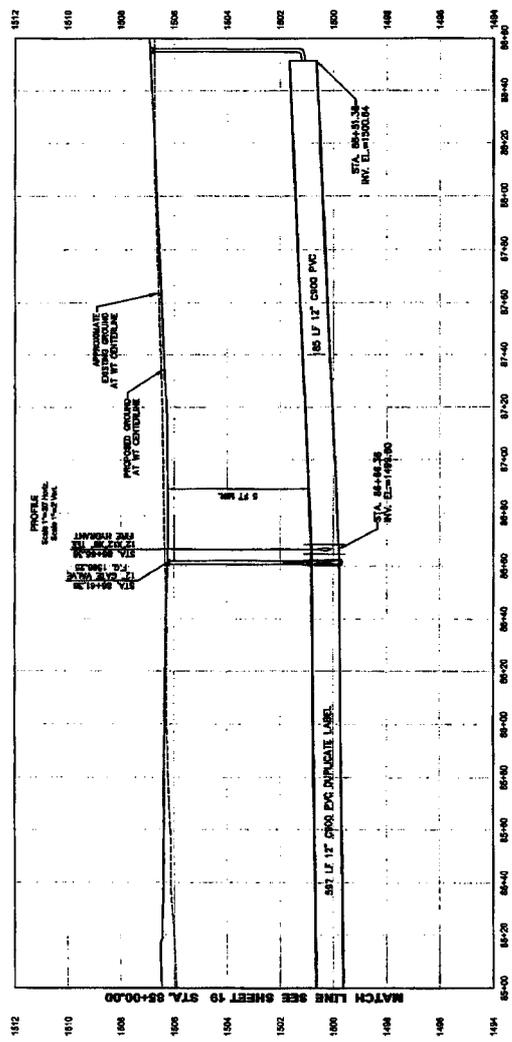
1. INSTALL 12" C900 PVC WATER SERVICE AND VALVE PER MAG STD. DTL. 300.
2. INSTALL 12" C900 PVC WATER USE LENGTH AND DIRECTION PER PLAN.
3. INSTALL 1" COPPER SLAVE AND VALVE PER MAG STD. DTL. 300.
4. INSTALL 1" COPPER PER MAG STD. DTL. 300-1.
5. REPLACE SIGN AND SIGN POST AND BASE IN PLACE.
6. INSTALL 1" COPPER WITH BACK-SIDE VALVE PER MAG STD. DTL. 300. PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
7. INSTALL 1/2" BUNA SIZE PER PLAN.
8. INSTALL THROAT BLOODING PER MAG STD. DTL. 300.
9. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
10. INSTALL FIRE HYDRANT AND VALVE PER MAG STD. DTL. 300.
11. INSTALL 1/2" BUNA SIZE PER MAG STD. DTL. 300-1.
12. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
13. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
14. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
15. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
16. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
17. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
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20. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
21. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
22. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
23. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
24. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.
25. INSTALL 1/2" BUNA "TEE" PROVIDE THROAT BLOODING PER MAG STD. DTL. 300.

GENERAL NOTES

1. ALL STA. WILL BE USED IN THE PLANS ON EXISTING UTILITY LOCATIONS ARE BASED ON THE 1985 SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONSULT THE RECORD PLANS OF ANY UTILITIES.
2. ALL UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR.

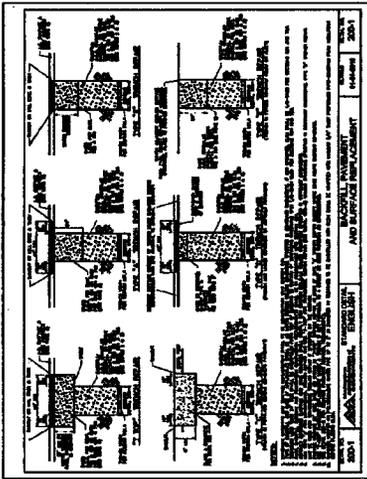
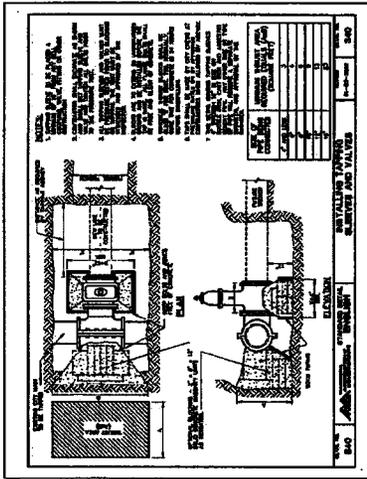
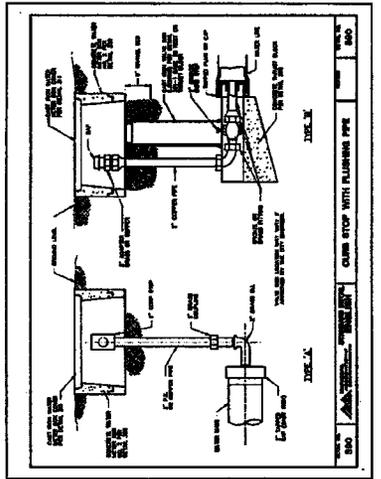
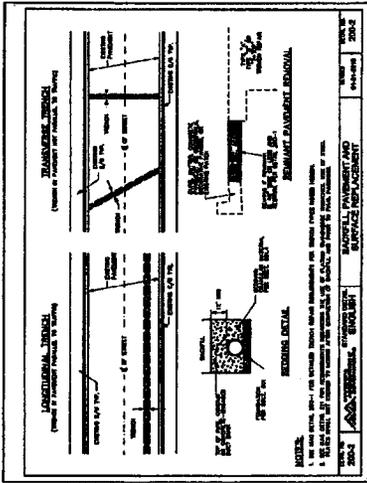
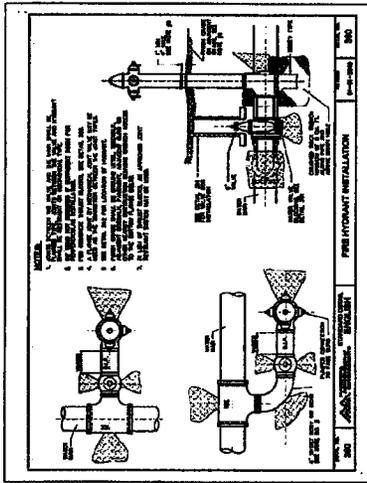
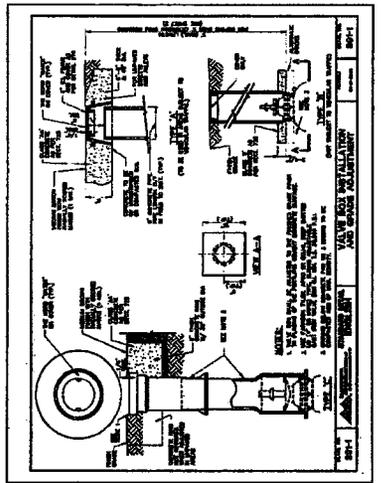
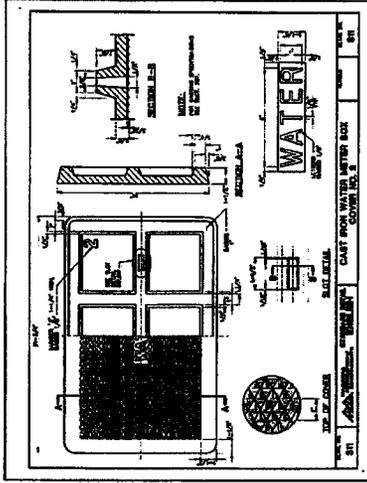
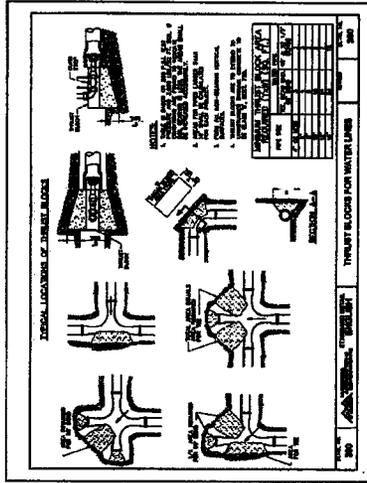
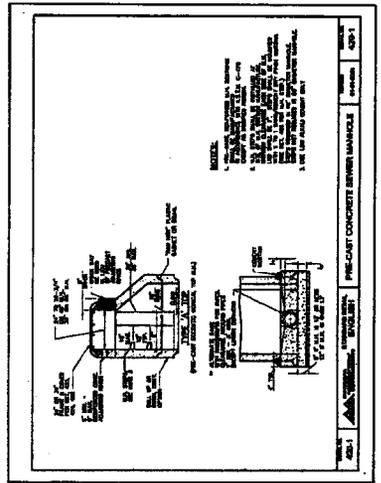


UTILITY CROSSING INFORMATION (SEE GENERAL NOTE 2)			
CROSSING ID	WATER STA.	CROSSING UTILITY	CROSSING E.L.
01	85+00.00	12" SAN SEWER	1488.00 (BVI)
02	85+00.00	12" SAN SEWER	1488.00 (TOP)





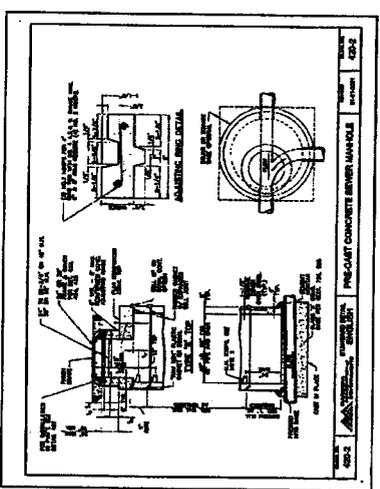
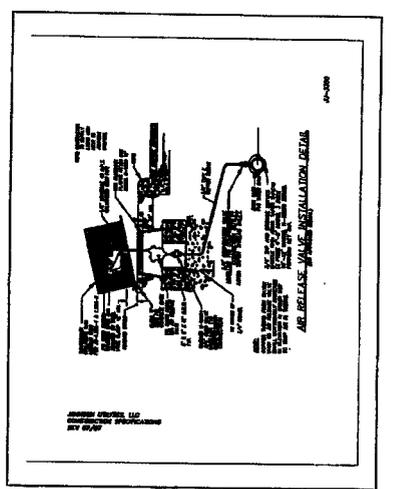
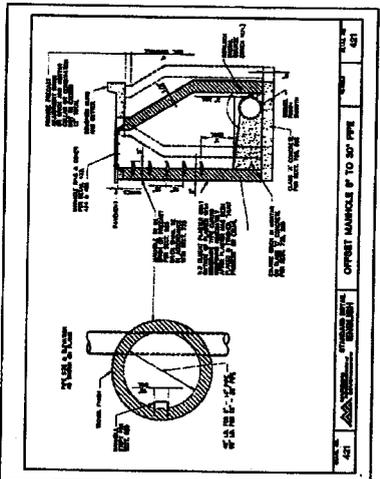
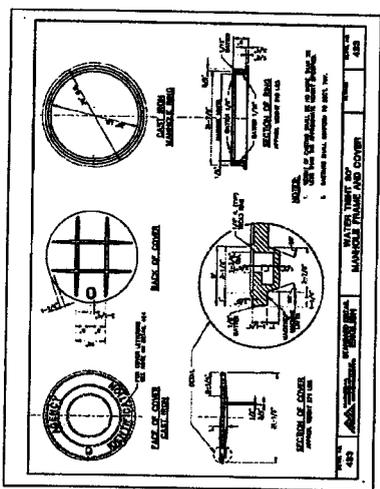
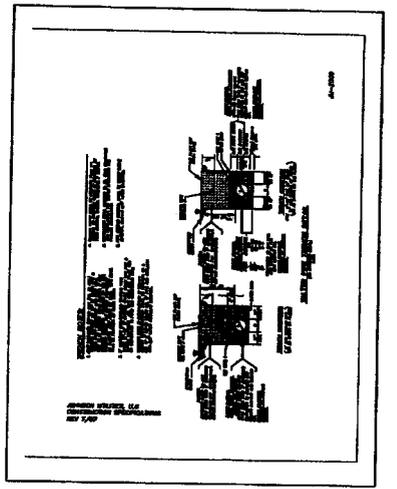
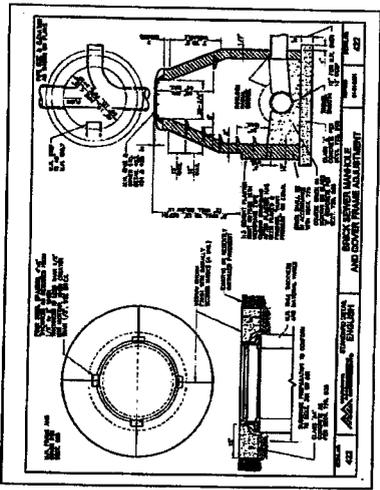
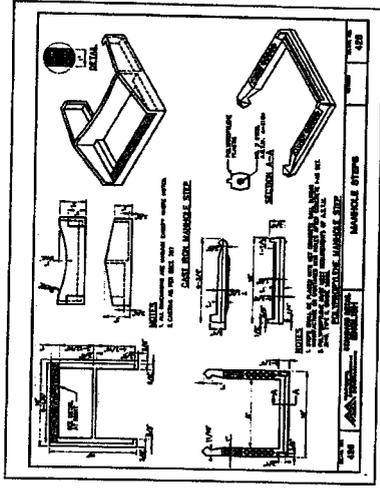
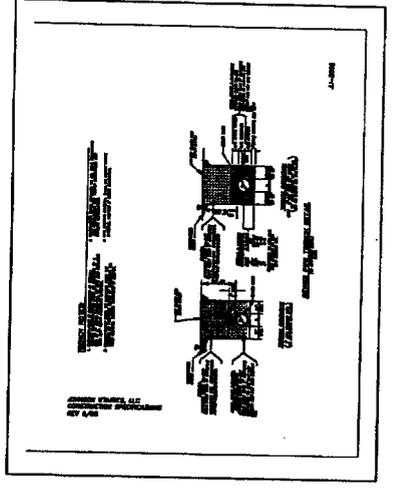
DOWL HKM
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DOWL H.K.M.
 20 N. Central Expressway, Suite 1000, Phoenix, AZ 85004
 (602) 998-8800

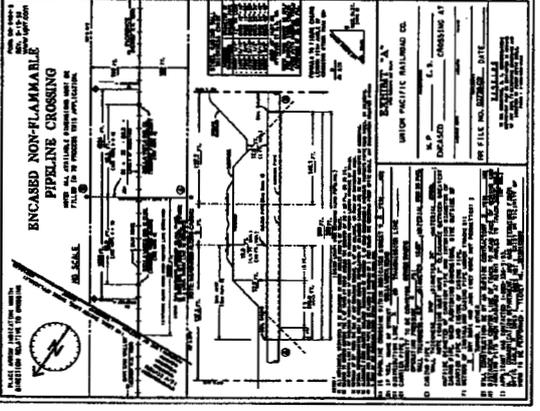
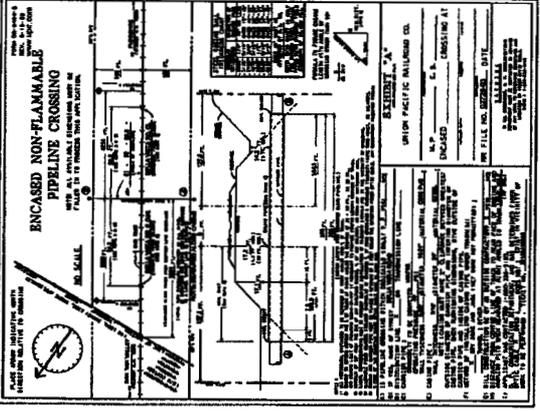
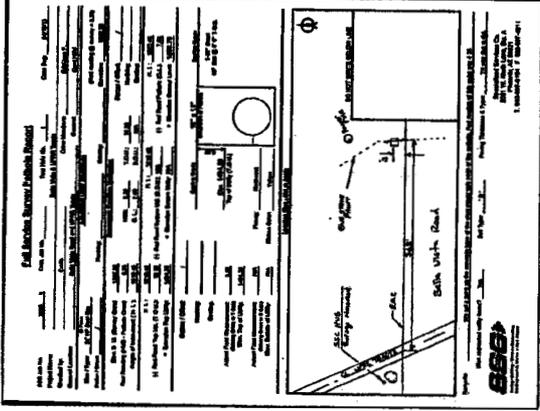
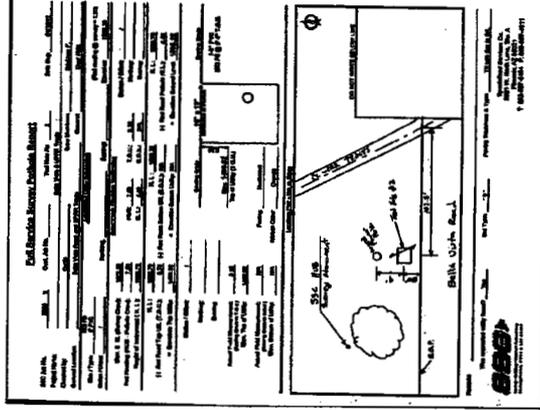
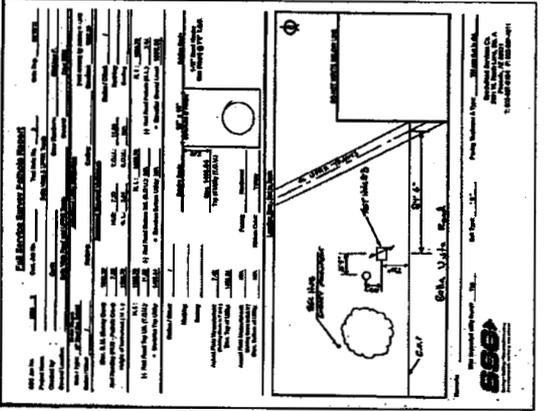
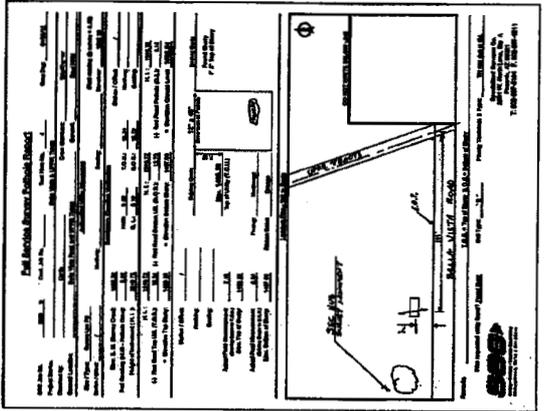
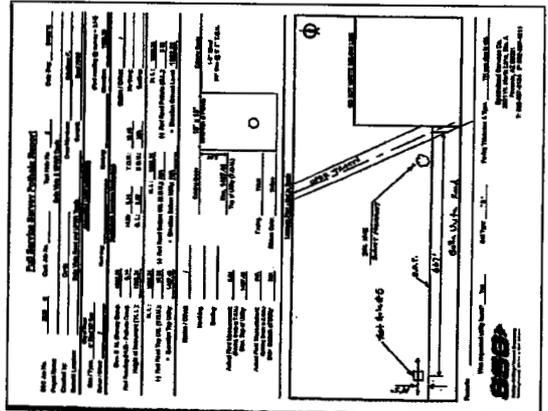
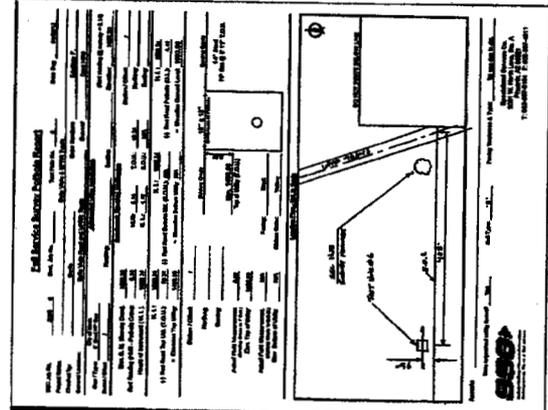
CONSTRUCTION DOCUMENTS

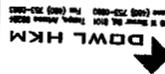


DETAILS
WATER AND SEWER EXTENSION ALONG
BELLA VISTA ROAD, PINAL CO., AZ

CONSTRUCTION DOCUMENTS

DOWL HKM





Detail: Sewer Manhole at Property Line

DLR Group
Architecture Engineering Planning Interiors
10000 North Central Expressway, Suite 1000, Phoenix, AZ 85020
Tel: 602.998.8800 Fax: 602.998.8801
www.dlr.com

Detail: Sewer Manhole at Property Line

DLR Group
Architecture Engineering Planning Interiors
10000 North Central Expressway, Suite 1000, Phoenix, AZ 85020
Tel: 602.998.8800 Fax: 602.998.8801
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Detail: Sewer Manhole at Property Line

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www.dlr.com

Detail: Sewer Manhole at Property Line

DLR Group
Architecture Engineering Planning Interiors
10000 North Central Expressway, Suite 1000, Phoenix, AZ 85020
Tel: 602.998.8800 Fax: 602.998.8801
www.dlr.com

Attachment 2



May 22, 2012

Daniel Hodges
Johnson Utilities
5230 E. Shea Boulevard
Suite 200
Scottsdale, AZ 85254

Dear Mr. Hodges:

Pulte Group does hereby request that the parcel of land that is described on Exhibit A be served by Johnson Utilities for water and wastewater services. Although this property is not currently owned by Pulte, we have entered in to an agreement with SWVP-GTIS MR LLC to acquire it.

We understand that this property is not currently in the service area that is served by Johnson Utilities, but is in the process of expanding the Certificate of Convenience and Necessity through the Arizona Corporation Commission.

If there is anything else that I may provide to assist you in this manner, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Bonow".

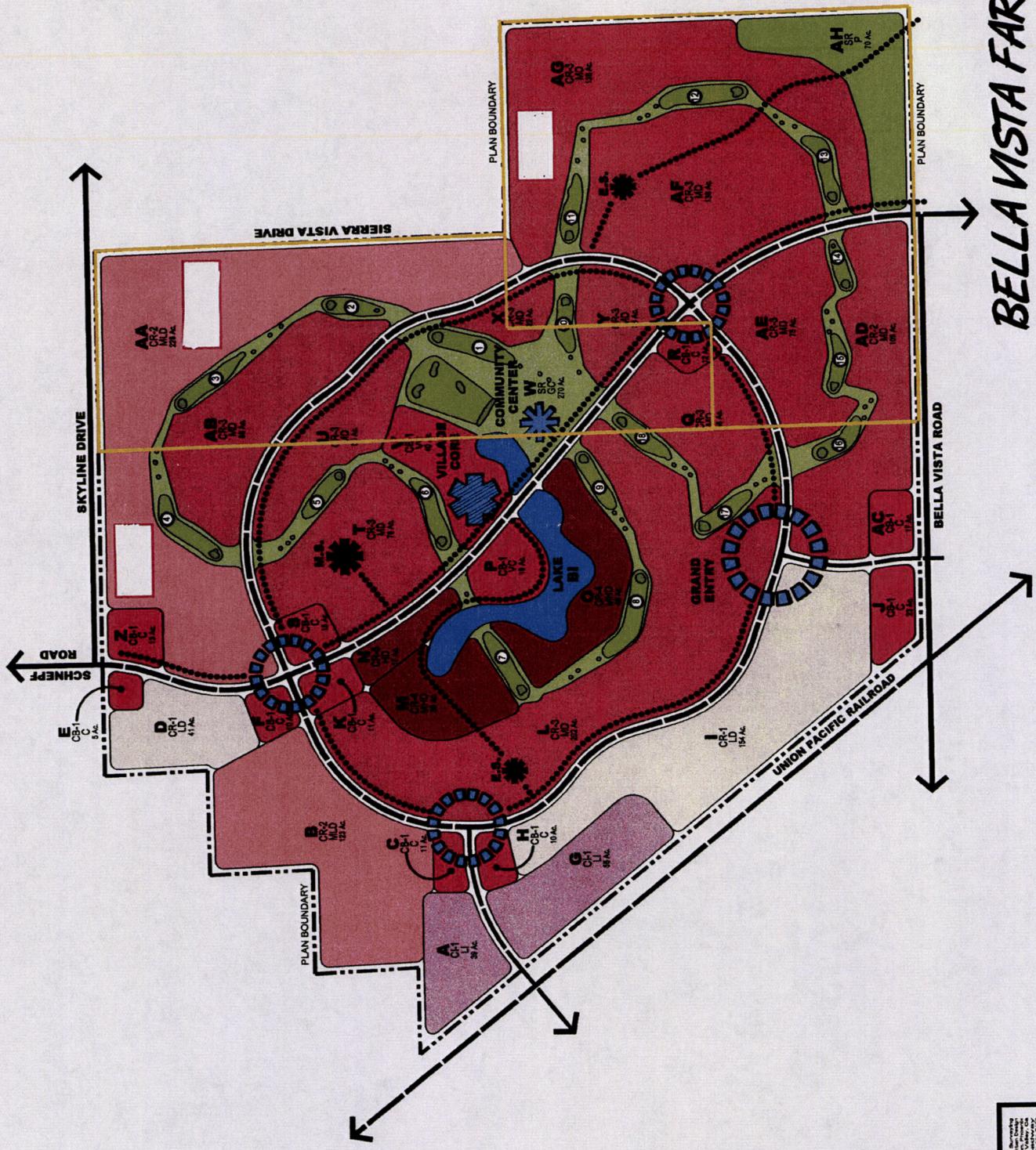
Daniel Bonow
Pulte Group

attachment

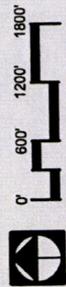


Attachment 3

BELLA VISTA FARMS



- LEGEND**
- EXISTING ROADWAY
 - PROPOSED ROADWAY
 - PEDESTRIAN PATH
 - | | | |
|-----------|------|---------|
| G | CR-3 | 17.2 AC |
| H | CR-1 | 11.1 AC |
| I | CR-2 | 127 AC |
| J | CR-1 | 11.1 AC |
| K | CR-1 | 11.1 AC |
| L | CR-3 | 127 AC |
| M | CR-2 | 127 AC |
| N | CR-1 | 11.1 AC |
| O | CR-3 | 127 AC |
| P | CR-1 | 11.1 AC |
| Q | CR-3 | 127 AC |
| R | CR-1 | 11.1 AC |
| S | CR-3 | 127 AC |
| T | CR-1 | 11.1 AC |
| U | CR-3 | 127 AC |
| V | CR-1 | 11.1 AC |
| W | CR-3 | 127 AC |
| X | CR-1 | 11.1 AC |
| Y | CR-3 | 127 AC |
| Z | CR-1 | 11.1 AC |
| AA | CR-2 | 278 AC |
| AB | CR-3 | 127 AC |
| AC | CR-1 | 11.1 AC |
| AD | CR-3 | 127 AC |
| AE | CR-1 | 11.1 AC |
| AF | CR-3 | 127 AC |
| AG | CR-1 | 11.1 AC |
| AH | CR-3 | 127 AC |
 - | | |
|--|--------|
| | H.S. |
| | M.E.S. |
| | E.S. |
 - | | |
|--|-------------------|
| | SCHOOL |
| | HIGHSCHOOL |
| | MIDDLE SCHOOL |
| | ELEMENTARY SCHOOL |
 - | | |
|--|------------------|
| | COMMUNITY CENTER |
| | VILLAGE CORE |
| | COMMERCIAL |
| | OFFICE |
| | PUBLIC SERVICES |
 - | | |
|--|--------------------|
| | MAJOR INTERSECTION |
|--|--------------------|

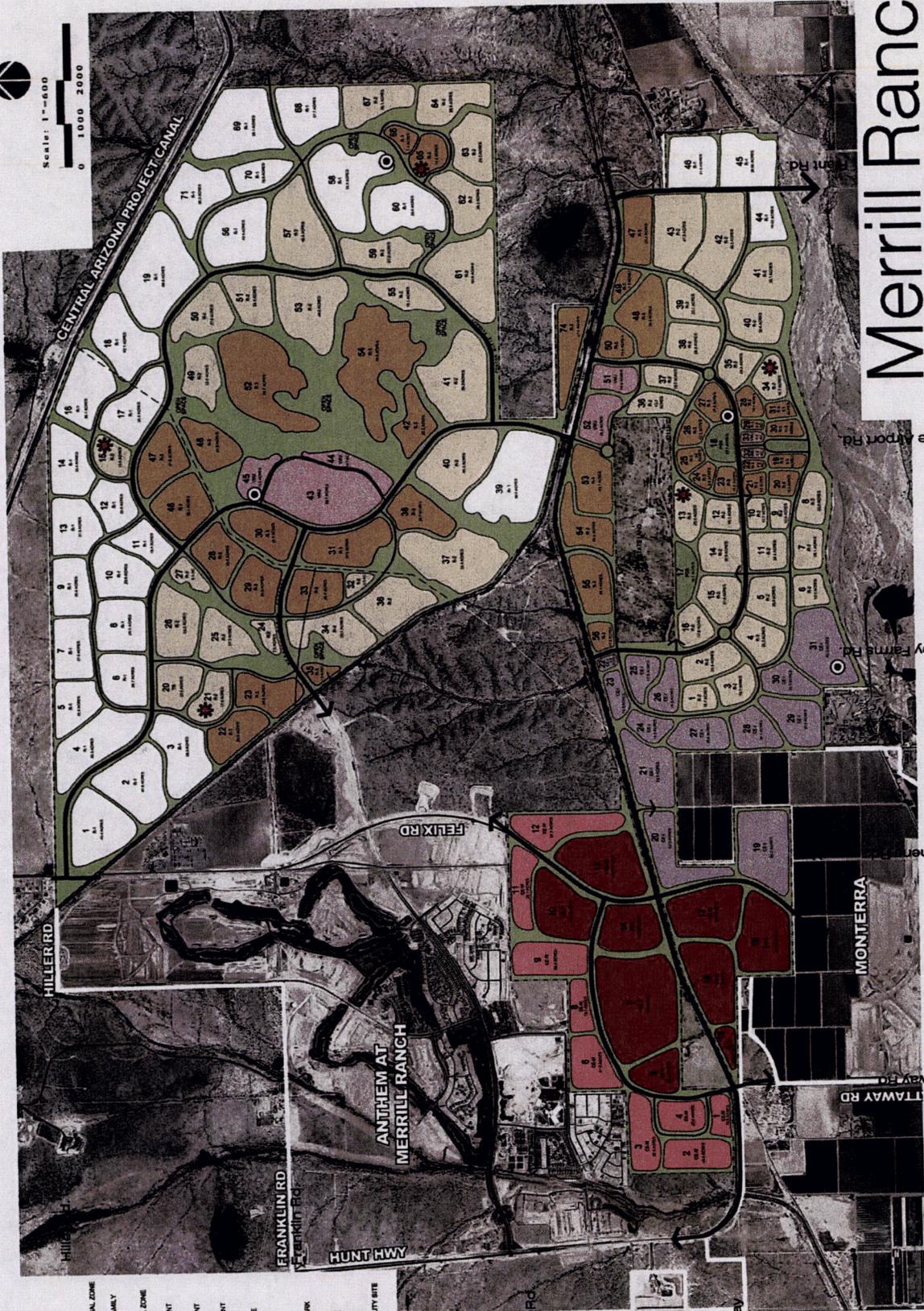


The **WLB** Group

10000 Wilshire Blvd., Suite 2000
 Beverly Hills, CA 90210
 310-206-1000
 10000 Wilshire Blvd., Suite 2000
 Los Angeles, CA 90024
 213-206-1000
 10000 Wilshire Blvd., Suite 2000
 Los Angeles, CA 90024
 213-206-1000



Scale: 1"=600'
0 1000 2000



LEGEND:

- R-1 SINGLE FAMILY RESIDENTIAL ZONE (SFF (SMITHY - LSI))
- R-2 NEIGHBORHOOD MULTI FAMILY (SFF (SMITHY - LSI))
- R-3 DOWNTOWN RESIDENTIAL ZONE (SFF (SMITHY - LSI))
- C-E1 COMMERCIAL EMPLOYMENT (SFF (SMITHY - LSI))
- C-E2 COMMERCIAL EMPLOYMENT (SFF (SMITHY - LSI))
- C-E3 COMMERCIAL EMPLOYMENT (SFF (SMITHY - LSI))
- C-E4 COMMERCIAL EMPLOYMENT (SFF (SMITHY - LSI))
- VILLAGE MIXED-USE ZONE
- OPEN SPACE
- R-CR RECREATION CENTER/PARK
- P-S POTENTIAL SCHOOL SITE
- P-PF POTENTIAL PUBLIC FACILITY SITE



JACK JOHNSON COMPANY
11x17AIR-LANDUSE.plt 10/31/2008 9:53:30 PM

Merrill Ranch

TOWN OF FLORENCE, ARIZONA
PLANNED UNIT DEVELOPMENT
LAND USE PLAN
JANUARY 28, 2007

Attachment 4

**MUNICIPAL NOTICE OF AN APPLICATION FOR CERTIFICATE OF
CONVENIENCE AND NECESSITY BY JOHNSON UTILITIES COMPANY, L.L.C.**

Johnson Utilities Company, L.L.C. has filed with the Arizona Corporation Commission (“Commission”) an application for authority to provide water service to an area in which records indicate that you are a property owner. The area involved is already within the certificated area granted to Johnson Utilities Company, L.L.C. for wastewater services. If the application is granted, Johnson Utilities Company, L.L.C. would be the exclusive provider of water service to the proposed area. Johnson Utilities Company, L.L.C. will be required by the Commission to provide this service under the rates and charges and terms and conditions established by the Commission. The granting of the application would not necessarily prohibit an individual from providing service to themselves from individually owned facilities on their property. The application is available for inspection during regular business hours at the offices of the Commission in Phoenix at 1200 West Washington Street, and at Johnson Utilities Company, L.L.C., 5230 East Shea Blvd., Suite #200, Scottsdale AZ 85254.

If you have any questions or concerns about this application, have any objections to its approval, or wish to make a statement in support of it, you may contact the Consumer Services Section of the Commission at 1200 West Washington Street, Phoenix AZ 85007 or call 1-800-222-7000.

JOHNSON UTILITIES COMPANY, L.L.C.
5230 East Shea Blvd., Suite #200
Scottsdale AZ 85254
(480) 998-3300
Date of Application: 6 April 2012
Services: Water
Service Area: Sections 14, 15 & 16. T3S, R8E
Commission Docket Number: WS-02987A-12-0136

**MUNICIPAL NOTICE OF AN APPLICATION FOR CERTIFICATE OF
CONVENIENCE AND NECESSITY BY JOHNSON UTILITIES COMPANY, L.L.C.**

Johnson Utilities Company, L.L.C. has filed with the Arizona Corporation Commission (“Commission”) an application for authority to provide water and wastewater service to an area in which records indicate that you are a property owner. If the application is granted, Johnson Utilities Company, L.L.C. would be the exclusive provider of water and wastewater service to the proposed area. Johnson Utilities Company, L.L.C. will be required by the Commission to provide this service under the rates and charges and terms and conditions established by the Commission. The granting of the application would not necessarily prohibit an individual from providing service to themselves from individually owned facilities on their property. The application is available for inspection during regular business hours at the offices of the Commission in Phoenix at 1200 West Washington Street, and at Johnson Utilities Company, L.L.C., 5230 East Shea Blvd., Suite #200, Scottsdale AZ 85254.

If you have any questions or concerns about this application, have any objections to its approval, or wish to make a statement in support of it, you may contact the Consumer Services Section of the Commission at 1200 West Washington Street, Phoenix AZ 85007 or call 1-800-222-7000.

JOHNSON UTILITIES COMPANY, L.L.C.

5230 East Shea Blvd., Suite #200

Scottsdale AZ 85254

(480) 998-3300

Date of Application: 6 April 2012

Services: Water and Wastewater

Service Area: Sections 29, 30, 31 and 32. T4S, R9E

Sections 14, 15 and 16. T3S, R8E

Commission Docket Number: WS-02987A-12-0136

Attachment 5

COMPANY NAME:	JOHNSON UTILITIES, LLC
Name of System:	4DEQ Public Water System Number: 11-128

WATER USE DATA SHEET BY MONTH FOR CALENDAR YEAR 2011

MONTH	NUMBER OF CUSTOMERS	GALLONS SOLD (Thousands)	GALLONS PUMPED (Thousands)	GALLONS PURCHASED (Thousands)
JANUARY	18633	134432	133432	
FEBRUARY	17431	141522	139992	
MARCH	18370	130898	138929	
APRIL	18849	172438	168399	
MAY	19015	195735	248733	
JUNE	19324	225999	238109	
JULY	19218	251609	260910	
AUGUST	19045	278536	258794	
SEPTEMBER	19428	232934	253865	
OCTOBER	19339	208825	223932	
NOVEMBER	19341	204193	225417	
DECEMBER	19542	134418	163312	
TOTALS →		2,310,280	2,513,823	

What is the level of arsenic for each well on your system? See attached mg/l
(If more than one well, please list each separately.)

If system has fire hydrants, what is the fire flow requirement? 1000 GPM for 2 hrs

If system has chlorination treatment, does this treatment system chlorinate continuously?
 Yes () No

Is the Water Utility located in an ADWR Active Management Area (AMA)?
 Yes () No

Does the Company have an ADWR Gallons Per Capita Per Day (GPCPD) requirement?
() Yes No

If yes, provide the GPCPD amount: _____

Note: If you are filing for more than one system, please provide separate data sheets for each system.

COMPANY NAME:	JOHNSON UTILITIES, LLC
Name of System:	ADEQ Public Water System Number: 11-136

WATER USE DATA SHEET BY MONTH FOR CALENDAR YEAR 2011

MONTH	NUMBER OF CUSTOMERS	GALLONS SOLD (Thousands)	GALLONS PUMPED (Thousands)	GALLONS PURCHASED (Thousands)
JANUARY	1744	12247	12761	
FEBRUARY	1635	14345	15718	
MARCH	1720	13532	14549	
APRIL	1731	17682	17605	
MAY	1748	22020	26298	
JUNE	1755	24896	25153	
JULY	1784	26838	28133	
AUGUST	1728	28461	33707	
SEPTEMBER	1819	24925	29966	
OCTOBER	1825	24490	24207	
NOVEMBER	1828	20445	27034	
DECEMBER	1831	16317	16586	
TOTALS →		243,203	272,217	0

What is the level of arsenic for each well on your system? See attached mg/l
 (If more than one well, please list each separately.)

If system has fire hydrants, what is the fire flow requirement? 1000 GPM for 2 hrs

If system has chlorination treatment, does this treatment system chlorinate continuously?
 Yes () No

Is the Water Utility located in an ADWR Active Management Area (AMA)?
 Yes () No

Does the Company have an ADWR Gallons Per Capita Per Day (GPCPD) requirement?
 () Yes No

If yes, provide the GPCPD amount: _____

Note: If you are filing for more than one system, please provide separate data sheets for each system.

Attachment 6

CC & N Legal Description for T3S, R8E

All of the West Half of Section 14;

All of Section 15;

All of the Eastern portion of Section 16 presently within the Johnson Utilities Co.

Sewer C.C. & N.; all in Township 3 South, Range 8 East, being more particularly described as follows:

Beginning at the Southeast Corner of Section 16;

Thence North $37^{\circ} 07'25''$ West along the Southern Pacific Railroad Right-of-Way, a distance of 6619.56 feet to a point on the North line of Section 16;

Thence North $89^{\circ}59'17''$ East along the North Line of Section 16, 15, and 14, a distance of 11,915.14 feet to the North Quarter Corner of Section 14;

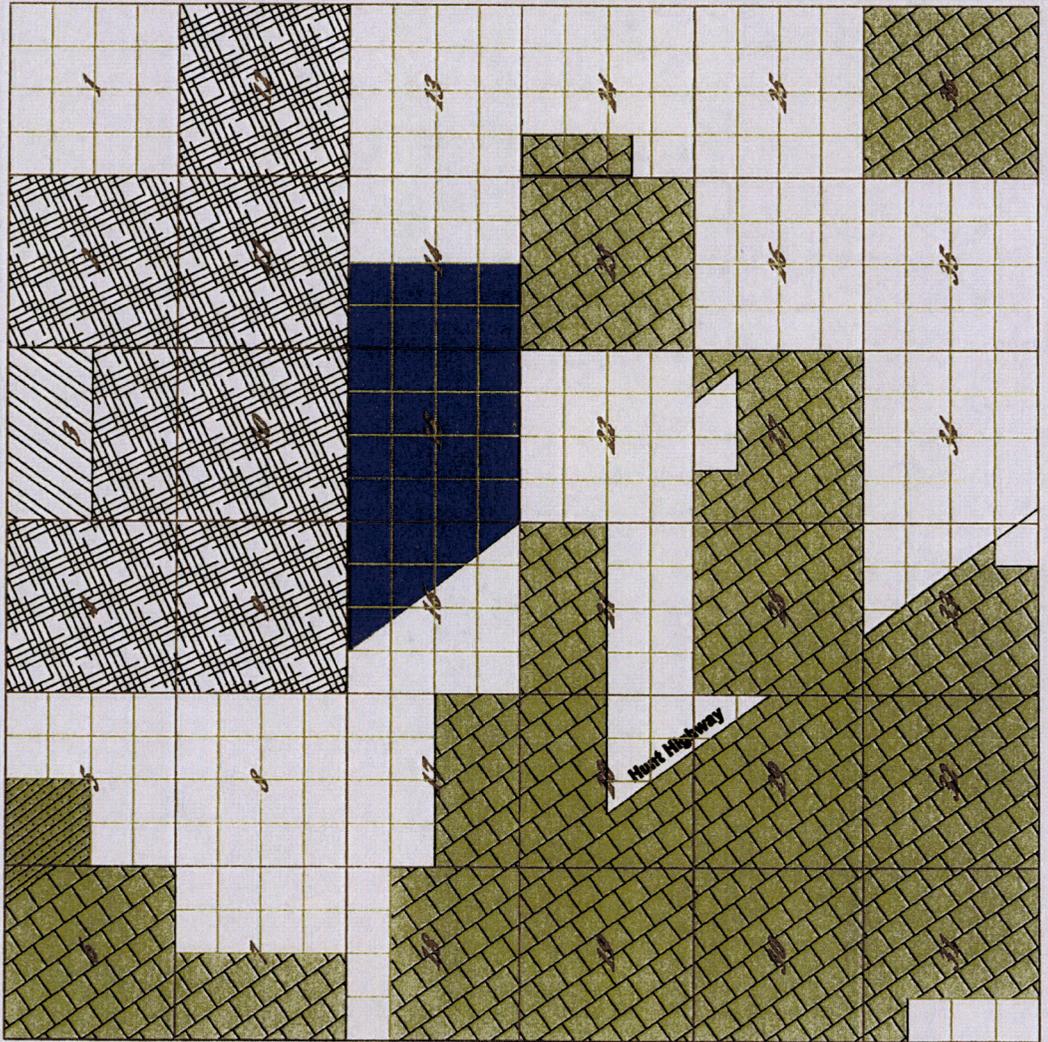
Thence South $00^{\circ}00'00''$ East, along the North-South Mid-Section Line of Section 14 a distance of 5280.00 feet to the South Quarter Corner of Section 14;

Thence South $89^{\circ}59'47''$ West along the South Section Lines of Sections 14, 15, and 16 a distance of 7920.00 feet to the Southeast Corner of Section 16 and the TRUE POINT OF BEGINNING;

COUNTY: Pinal

RANGE 8 East

TOWNSHIP 3 South



-  W-2859 (3)
Diversified Water Utilities, Inc.
-  W-2234 (2)
H₂O, Inc.
-  WS-2987 (6)
Johnson Utilities Company
-  W-2425 (2)
Sun Valley Farms Unit VI Water Company
-  Johnson Utilities Company
Water CC&N Requested Area
-  Sewer



BAXTER DESIGN GROUP

Pulte/Southwest Value Partners
Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29, Section 30, the Northeast Quarter of Section 31 and the Northwest Quarter of Section 32, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the POINT OF BEGINNING from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds (Radial Bearing North 61 Degrees 52 Minutes 32 Seconds West);

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds (Radial Bearing South 45 Degrees 28 Minutes 02 Seconds East);

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, North 75 Degrees 16 Minutes 42 Seconds East, a distance of 769.90 feet;

Thence, South 00 Degrees 00 Minutes 01 Seconds East, a distance of 1989.42 feet;

Thence, North 89 Degrees 52 Minutes 02 Seconds East, a distance of 1310.57 feet;

Thence, South 00 Degrees 25 Minutes 32 Seconds East, a distance of 1320.60 feet;

Thence, South 89 Degrees 52 Minutes 20 Seconds West, a distance of 1310.49 feet;

Thence, North 89 Degrees 58 Minutes 36 Seconds West, a distance of 2612.18 feet;

Thence, North 00 Degrees 23 Minutes 06 Seconds West, a distance of 1321.04 feet;

Thence, North 89 Degrees 57 Minutes 22 Seconds West, a distance of 2620.60 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 75.00 feet;

Thence, North 64 Degrees 43 Minutes 42 Seconds East, a distance of 2699.25 feet;



Thence, North 74 Degrees 31 Minutes 20 Seconds East, a distance of 344.72 feet;

Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2782.50 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

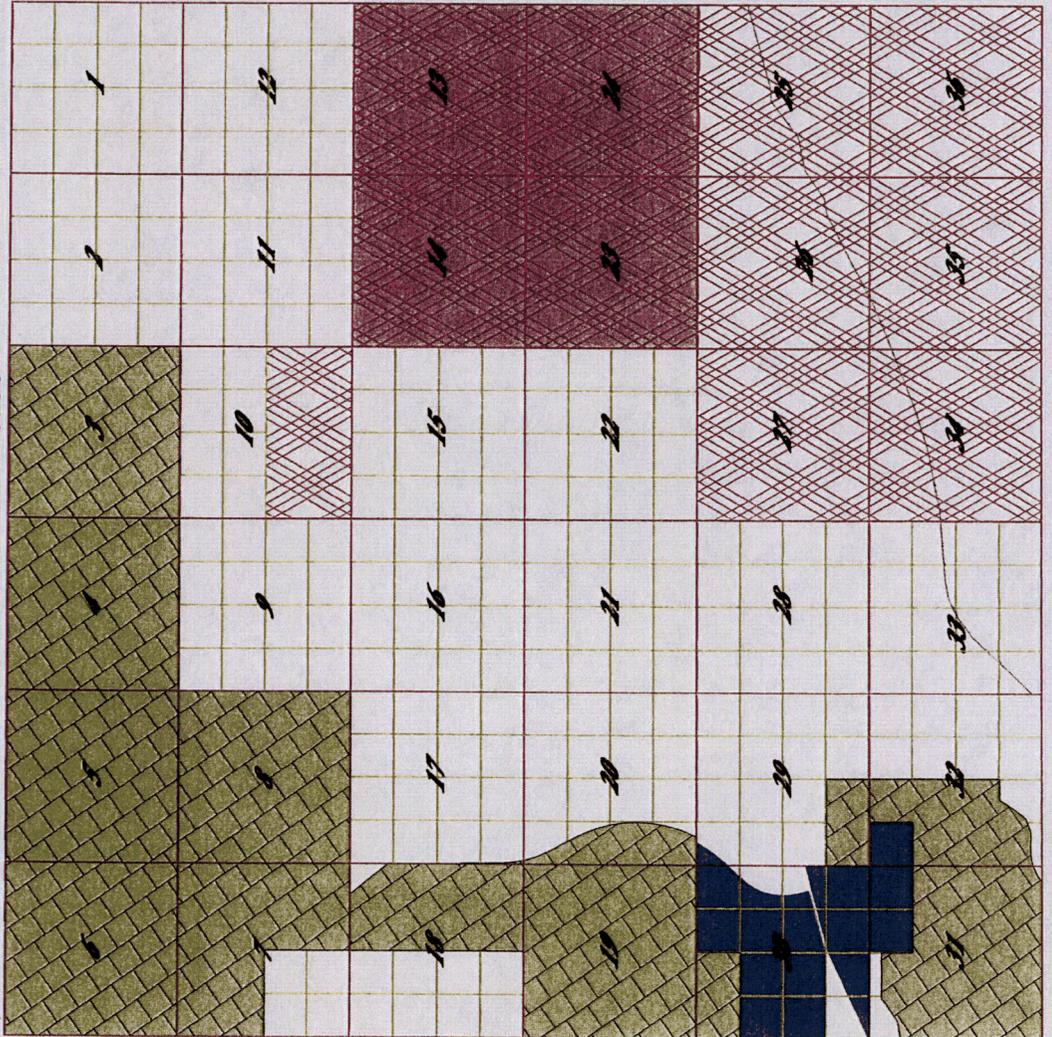
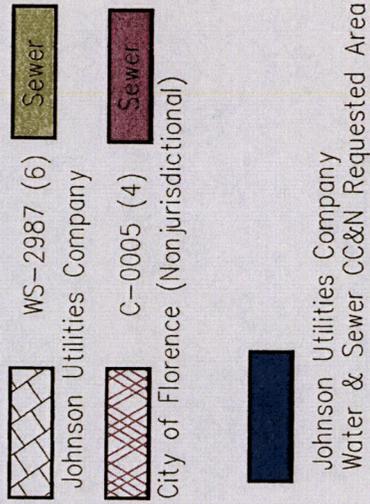
Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

Containing 607.41 acres, more or less.

COUNTY: Pinal

RANGE 9 East

TOWNSHIP 4 South



JOHNSON UTILITIES COMPANY

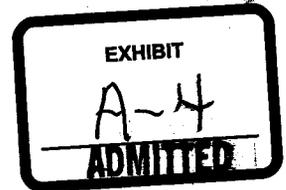
5230 East Shea Boulevard, Suite 200 * Scottsdale, Arizona
PH: (480) 998-3300; FAX: (480) 483-7908

ORIGINAL

RECEIVED
AZ CORP COMMISSION
DOCKET CONTROL

26 July 2012

2012 JUL 27 PM 1 58



Robert G. Gray
Executive Consultant III
Utilities Division
Arizona Corporation Commission
1200 W Washington Street
Phoenix AZ 85007-2927

Re: Docket No. WS-02987A-12-0136; Johnson Utilities, L.L.C. Application for Approval of an Extension of its Certificate of Convenience and Necessity

Dear Mr. Gray:

To further support Johnson Utilities CC&N Application mentioned above, I have attached the Developer's Preliminary Engineering Analysis for Bella Vista Farms as Attachment 1, and the Developer's Preliminary Engineering Analysis for Merrill Ranch Expansion 1 as Attachment 2.

Please feel free to contact me should you need any further information.

Regards,

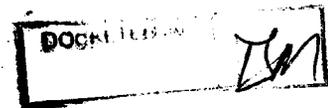
A handwritten signature in black ink, appearing to read "Daniel R. Hodges".

Daniel R. Hodges
JOHNSON UTILITIES, L.L.C.

cc: Docket Control
Del Smith, Engineering Supervisor
Brian Bozzo, Compliance Manager
Lyn Farmer, Chief, Hearing Division
Jeffrey W. Crockett, Brownstein Hyatt Farber Schreck

Arizona Corporation Commission
DOCKETED

JUL 27 2012



Attachment 1

BELLA VISTA FARMS PINAL COUNTY, ARIZONA

WATER ANALYSIS JOHNSON UTILITIES SERVICE AREA

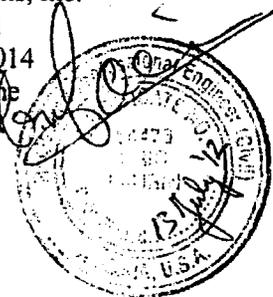
July 13, 2012

Prepared for:

Harvard Investments
17700 W. Pacesetter Way
Scottsdale, Arizona 85255
(480) 348-1118 Phone
(480) 348-8976 Fax

Prepared by:

Coe & Van Loo Consultants, Inc.
4550 N. 12th Street
Phoenix, Arizona 85014
(602) 264-6831 Phone
(602) 264-0928 Fax



Engineer: 3130115

CVL Project No. 1.01.0149702



PHOENIX
4550 N. 12th St.
Phoenix, AZ 85014
Phone: 602.264.6831
Fax: 602.264.0928

DENVER
7901 E. Belleview, Ste. 150
Englewood, CO 80111
Phone: 720.482.9526
Fax: 720.482.9546

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1.0 INTRODUCTION

1.1 General

Bella Vista Farms (BVF) consists of approximately 1,309 acres of the Bella Vista Farms Planned Unit Development located in portions of Sections 09, 10, 15, and 16 of Township 3 South, Range 8 East, Pinal County, Arizona. See Figure 1. The property is a mixed-use development planned for a target of 4,430 residential dwelling units and will include commercial, education, and open space parcels. The northeast corner of Bella Vista and the Southern Pacific Railroad will serve as a 200-acre Community College campus for the Central Arizona College.

This report will serve to quantify the water demands and water infrastructure needs for that portion of the development within the contemplated expansion of the Johnson Utilities (JU) water service area. See Figure 2.

1.2 Land Use Plan

The Land Use Plan for BVF is summarized in Table 1 below. The initial development phase consists of developing parcels A and B, the Community College Campus and a 17.90-acre commercial site located adjacent to the college campus on the southern boundary of BVF, fronting Bella Vista Road.

Table 1 – Bella Vista Farms Land Use (Johnson Utilities Expansion Area Only)

Parcel Letter	Use	Parcel Acreage	Target Density	Dwelling Units
A	C	208.26	0	0
B	C	17.90	0	0
C	MD	103.68	3.9	404
D	MLD	51.76	2.9	150
E	MD	174.27	3.9	680
F	MLD	36.18	2.9	105
Total		592.05		1,339

From Hadley Design Group – Exhibit II-3; Bella Vista Farms Conceptual Land Use, May 25, 2012.

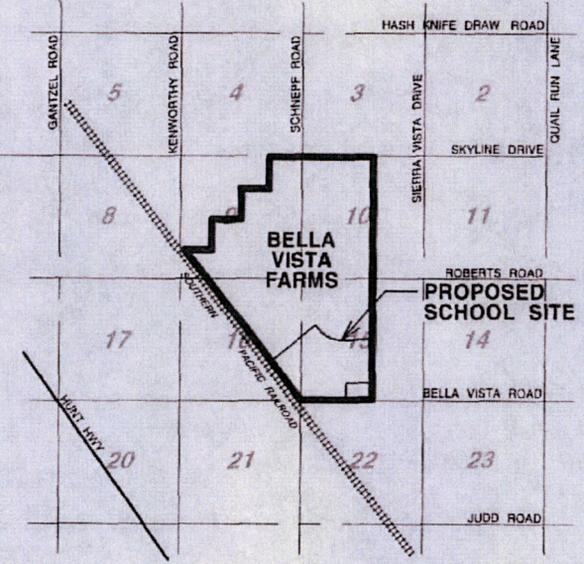
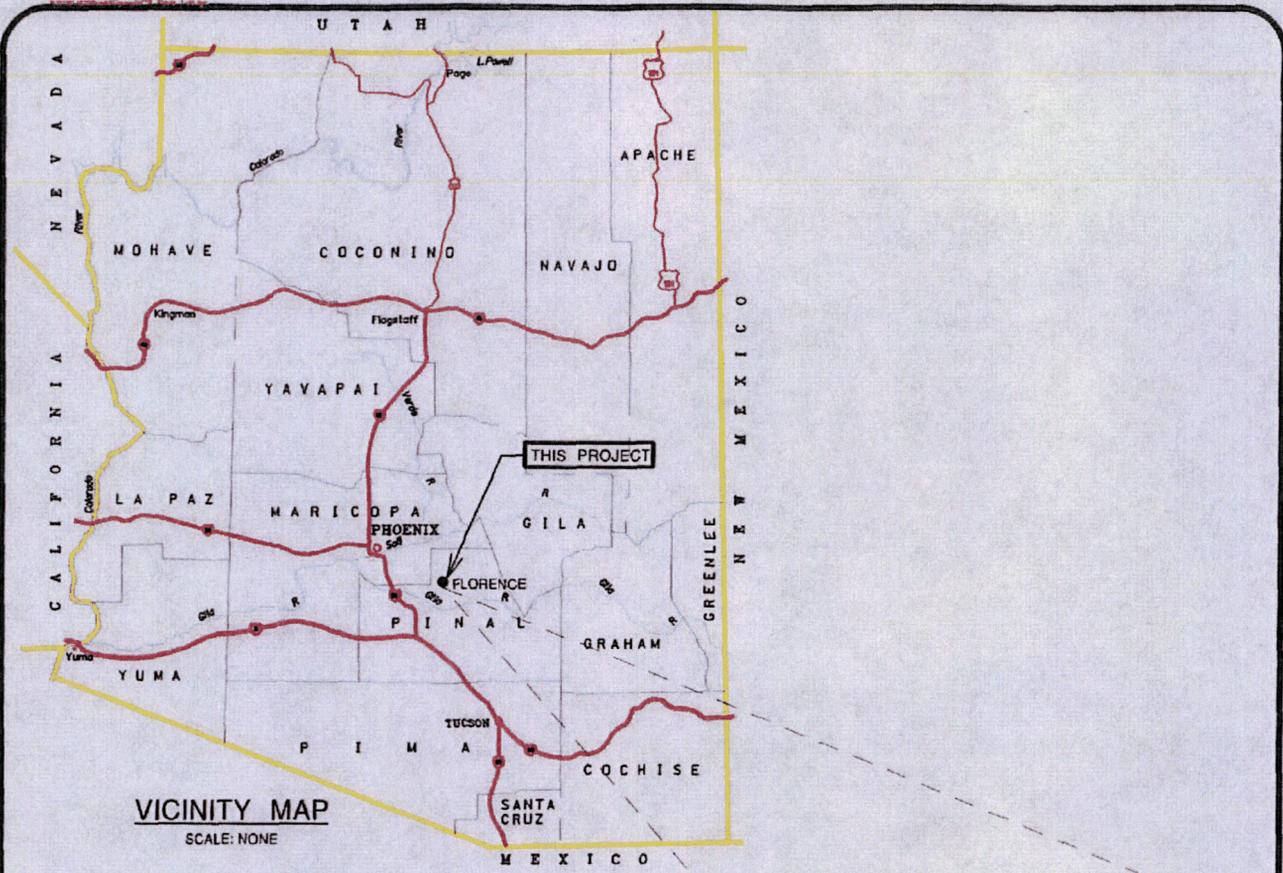
See Figure 3 for a land use map obtained from Harvard Investments.

1.3 Site Conditions

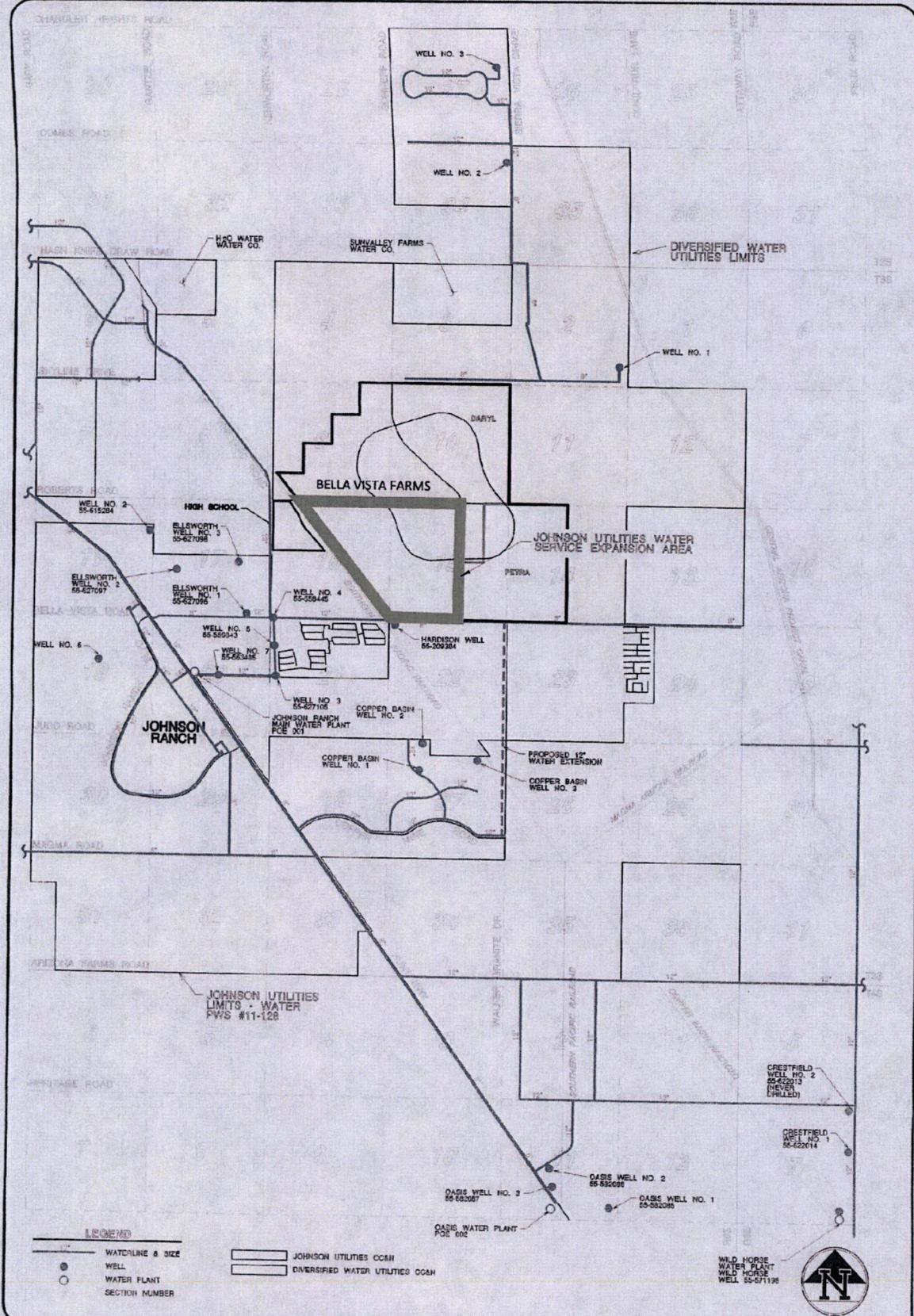
The 1,309-acre parcel is currently undeveloped and under active cultivation with the exception of two-small areas on the northwest boundary of the site in Section 9. The Southern Pacific Railroad forms the boundary of the development.

The topography may be characterized as gently sloping from the east to west. The highest point of the property is located on the northwest corner of the development with elevation 1,530 feet above MSL. The lowest point is located at the southwest corner of Section 9, near the intersection of the railroad and Roberts Road, with an elevation of 1,495 feet. The cross slope is approximately 0.45 percent.

Block
3/15/01
3:30 PM



VICINITY MAP	BELLA VISTA FARMS	JOB NO 1.01.0149702
4550 NORTH 12TH STREET PHOENIX, ARIZONA 85014 TELEPHONE (602) 264-6831	COE & VAN LOO PLANNING • ENGINEERING • LANDSCAPE ARCHITECTURE	FIGURE 1



LEGEND

- WATERLINE & SIZE
- WELL
- WATER PLANT
- SECTION NUMBER
- JOHNSON UTILITIES OCM
- DIVERSIFIED WATER UTILITIES OCM

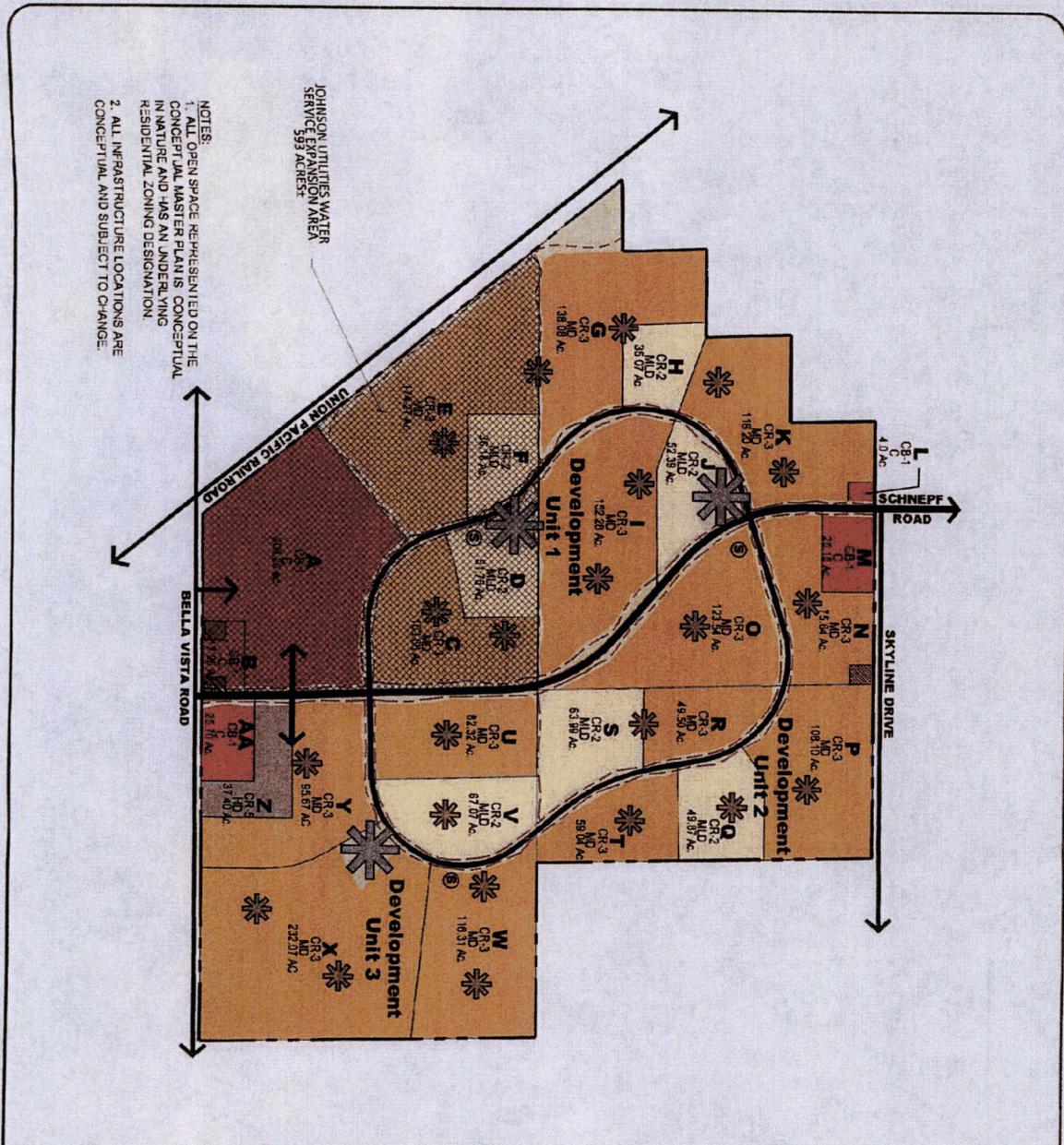
NOTE: SUBDIVISION MAPS NOT SHOWN FOR CLARITY.

WILD HORSE WATER PLANT
 WILD HORSE WELL 55-571198



SCALE: NONE

FIGURE 2	JOB NO. 1.01.04.8702	REGIONAL WATER DISTRIBUTION SYSTEM	
		BELLA VISTA FARMS	
4550 NORTH 12TH STREET PHOENIX, ARIZONA 85014 TELEPHONE (602) 264-6831			



NOTES:
 1. ALL OPEN SPACE REPRESENTED ON THE CONCEPTUAL MASTER PLAN IS CONCEPTUAL IN NATURE AND HAS AN UNDERLYING RESIDENTIAL ZONING DESIGNATION.
 2. ALL INFRASTRUCTURE LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE.

Bella Vista Farms

CONCEPTUAL LAND USE & OPEN SPACE PLAN EXHIBIT II-3

LEGEND

- PEDESTRIAN PATH OR TRAIL
- G** PARCEL DESIGNATION
- CR-3 ZONING CATEGORY
- M.D. LAND USE
- Ac. NUMBER OF ACRES
- COMMUNITY PARK (1-0.20 ACRES)
- FOCAL PARK (1/2-1 ACRES)
- LINEAR PARK / OPEN SPACE
- CR-2 - MEDIUM LOW DENSITY RESIDENTIAL (1.6 - 4.0 DU/AC, 2.9 DU/AC TARGET)
- CR-3 - MEDIUM DENSITY RESIDENTIAL (3.1 - 5.6 DU/AC, 3.9 DU/AC TARGET)
- CR-4 - HIGH DENSITY RESIDENTIAL (10.1 - 20.0 DU/AC, 15.1 DU/AC TARGET)
- CB-1 - COMMUNITY COMMERCIAL
- POTENTIAL K-8 SCHOOL LOCATION
- POTENTIAL SRP SUBSTATION LOCATION

Note:
 *The total units allowed within the Bella Vista Farms PAID is capped at 7,505 Units.

DATE: 25-MAY-2012
 1400' 2800'
 HADLEY DESIGN GROUP
 7400 E MCGRAW AVE, SUITE 100
 PHOENIX, ARIZONA 85014
 TEL: 602.998.1234
 FAX: 602.998.1235
 WWW.HADLEYDESIGN.COM
 PAGE 11

2.0 WATER SYSTEM REQUIREMENTS

Water system demands for BVF were calculated using unit factor and design criteria presented in the Johnson Utilities, LLC, Design Guide and Standard Details, November 2005.

Population Density	2.6 people/ DU
Average Day Demand	260 gals/DU-day
Maximum Day Demand	ADD x 2.0
Peak Hour Demand	ADD x 3.0
Commercial/Schools	1,500 gal/day-acre
Park	1,800 gal/day-acre
Fire Flow (Residential)	1,000 gpm/2 hrs
Fire Flow (Commercial)	1,500 gpm/3 hrs
Storage Domestic	0.48 x MDD
Storage Fire	Highest Flow + duration (e.g., 1,500 gpm x 3 hrs = 270,000 gal)

Expected demands for the area to be served by an expansion of the Johnson Utilities service area are summarized in Table 2.

Table 2 – Water Demands

Parcel Letter	Acreage	Dwelling Units	Unit Factor	ADD (gpd)	MDD (gpd)	PH (gpd)
A	208.26	-	1,500 gpad	312,390	624,780	937,170
B	17.90	-	1,500 gpad	26,850	53,700	80,550
C – F	365.89	1,339	260 gal/du-day	348,140	696,280	1,044,420
Totals	592.05	1,339	-	687,380 (477.3 gpm)	1,374,760 (954.7 gpm)	2,062,140 (1,432.0 gpm)

The above demands must be met by the installation of additional water production, storage, pumping, and distribution infrastructure and by connection to the Johnson Utilities water distribution system. The infrastructure requirements are summarized below as taken from Johnson Utilities design criteria.

BVF + Full Campus

Well Production (gpm)	955 gpm
Storage (gal)	930,000 gal
Booster Pump Capacity ¹	2,460 gpm

¹ Taken as the greater of MDD + 1,500 gpm Fire Flow or PH Demands, from Table 2.

3.0 EXISTING WATER SYSTEM INFRASTRUCTURE

3.1 Johnson Utilities

A portion of JU water system infrastructure is shown in Figure 2. It is noted that a collection of wells have been installed throughout the distribution system that pumps directly into the distribution system. The Johnson Ranch Main Water Plant (POE 001) is located on Hunt Highway, approximately one-half mile south of Bella Vista Road. The JU water system within the Johnson Ranch area has one pressure zone. Low pressures are noted in the Cooper Mine Road area and high pressures in the Circle Cross subdivision located in the vicinity of Hash Knife Draw and Gantzel Roads. JU has indicated that a zonal split will be made at this location in the near future to reduce current line pressures of 100+ psi.

JU has indicated that it will shortly begin distribution system improvements in the eastern portion of its service area along Attaway Road, south of Bella Vista Road, to complete the looping of its distribution system. Also under consideration is a new water plant in the southwest corner of Section 23 consisting of a well and 1 MG storage with booster pumps.

It is also noted that a new 12-inch waterline will parallel an existing 8-inch main along Bella Vista Road from Tourmaline Drive, east, to the proposed entrance to the Central Arizona Campus entrance and the realigned Schnepf Road. This line will provide water service to the development.

4.0 WATER SERVICE IMPROVEMENTS

4.1 Line Extension

There currently exists an 8-inch waterline in Bella Vista Road along the south side of the BVF property. See Figure 4. The line extends east to Attaway Road and west to Hunt Highway (12-inch main west of the Southern Pacific Railroad). Waterline pressures in this line are reputed to be approximately 80 psi.

For this development, a new 12-inch main will be installed in Bella Vista Road from the College Campus west, across the railroad, connecting to the existing 12-inch main west of the railroad as shown in Figure 4. A single 12-inch main is capable of delivering the proposed demands with the following hydraulic characteristics:

	Demand	Velocity	Head Loss@ C=130	Total Head Loss ¹
MDD + FF	2,460	6.98 fps	1.39 ft/100 ft	48.2 psi
PII	1,432	4.07 fps	0.51 ft/100 ft	17.7 psi

¹ Computed from Kenworthy/Bella Vista, the point at which the system is looped. Approximately 8,000 feet.

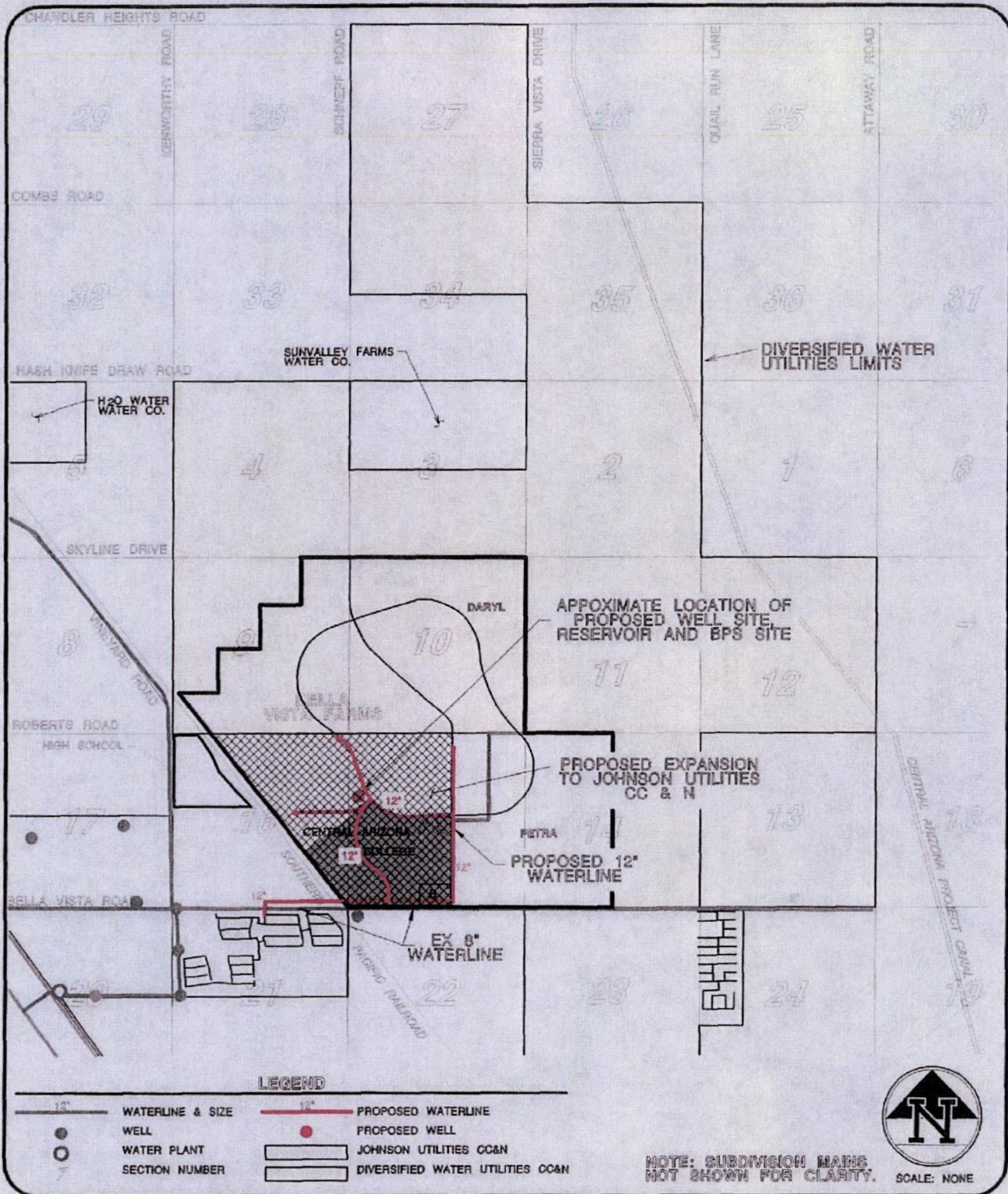
Given a normal static system pressure of approximately 80 psi, as reported above, the residual pressures during MDD plus fire flow conditions would be well above the required 20 psi at the property and delivery of water of sufficient quantity and pressure from JU appears feasible given the information provided.

4.2 System Improvements Within Parcel

The proposed improvements are shown in Figure 4. Ultimate service to BVF would require the establishment of 12-inch looping connection to the JU system. Our analysis indicates the following requirements:

- Production must be provided by the development by the drilling of at least one 500 gpm well, provided the JU system is capable of supplying spare capacity should the BVF well be out of service.
- Provide a water campus with a 1.00 MG storage reservoir with 2,500 gpm of booster pumping capacity.
- Integrating the BVF system with JU's system will require a modeling effort.

The costs of this alternative are estimated to be approximately \$3,744,000 as shown in Table 3.



<p>PROPOSED WATER SERVICE</p>	<p>BELLA VISTA FARMS</p>	<p>JOB NO 1.01.0149702</p>
<p>4550 NORTH 12TH STREET PHOENIX, ARIZONA 85014 TELEPHONE (602) 264-6831</p>	<p>COE & VAN LOO PLANNING • ENGINEERING • LANDSCAPE ARCHITECTURE</p>	<p>FIGURE 4</p>

Table 3 – System Improvements Johnson Utilities Portion

Description	Quantity	Unit	Unit Cost	Total Cost	Remarks
Connection to Exist	1	LS	LS	\$210,000	See Figure 4
12" Water Extension	5,280	LF	\$50/LF	\$264,000	Class 350 DIP
500 gpm Wells	1	EA	\$1,500,000	\$1,500,000	
1.00 MG Steel Tank	1	LS	LS	\$950,000	Coated, Cathodic Protection
Package Booster Pump Station + Controls	1	LS	LS	\$400,000	3,200 gpm – 4 Pumps
Emergency Generator	1	LS	LS	\$80,000	Diesel Powered
			<i>Subtotal</i>	\$3,404,000	
			10% Contingency	\$340,000	
			TOTAL	\$3,744,000	

Attachment 2



**Mr. Daniel Hodges
Johnson Utilities
5230 E. Shea Blvd Suite #200
Scottsdale, AZ 85254**

July 17, 2012

Subject: Johnson Utilities Water & Sewer CC&N Request
Preliminary Engineering Analysis

Mr. Hodges:

Baxter Design has been requested by the South West Valley Partners to perform a preliminary engineering analysis of an area in Florence, AZ that is proposed to be serviced by Johnson Utilities for both drinking water and sanitary sewer services (see attached Exhibit "A").

The area for the proposed CC&N expansion is a 348(±) acre mixed use residential and commercial development located in south central Pinal County, Arizona approximately 6 miles northwest of Florence, Arizona. The area is located adjacent to the Anthem at Merrill Ranch Planned Unit Development (P.U.D.) in the Northwest quarter of Section 29 and Section 30, Township 4 South, Range 9 East of the Gila and Salt River Meridian.

The area consists of approximately 227 acres of single-family residential lots (900 lots) and 121 acres of commercial development.

Drinking Water Service

Currently, the adjacent area is serviced by the Johnson Utilities water tanks and well sites in the Anthem at Merrill Ranch Master Planned Development (see attached Exhibit "B"). It is anticipated that the existing infrastructure has the required capacity to serve the expanded area or can be upgraded to provide the necessary drinking water and fire flow requirements for the area that is proposed to be included in the CC&N expansion.

Sanitary Sewer

Currently, the adjacent area is serviced by the Johnson Utilities – Anthem at Merrill Ranch Water Reclamation Plant in the Anthem at Merrill Ranch Master Planned Development (see attached Exhibit "B"). It is anticipated that the existing Water Reclamation Plant and the corresponding sanitary sewer trunk lines have the required capacity for the expansion area.



BAXTER DESIGN GROUP

The projected sanitary sewer flow produced by the expansion area is 308,200 gpd (gallons per day) or 0.35 MGD (million gallons per day) based on 4 lots/per acre with an ADF/Lot of 208 (gpd) and commercial flows of 1000 gpd (gallons per day) per acre.

Approximately 59% of residential area (137 acres) are planned to be conveyed by gravity sewer line to an existing trunk line located in American Way. The remainder of the residential and the commercial area will be conveyed by gravity sewer to a lift station to be located near Hunt Highway and then lifted to the trunk line in American Way (see attached Exhibit "A").

In summary, Baxter Design Group has reviewed the existing conditions and topography of the proposed expansion area along with the existing infrastructure that currently serves that Anthem at Merrill Ranch Community. We anticipate that the wet utility infrastructures that Johnson Utilities provides in the area are viable solutions to serve the proposed CC&N expansion area.

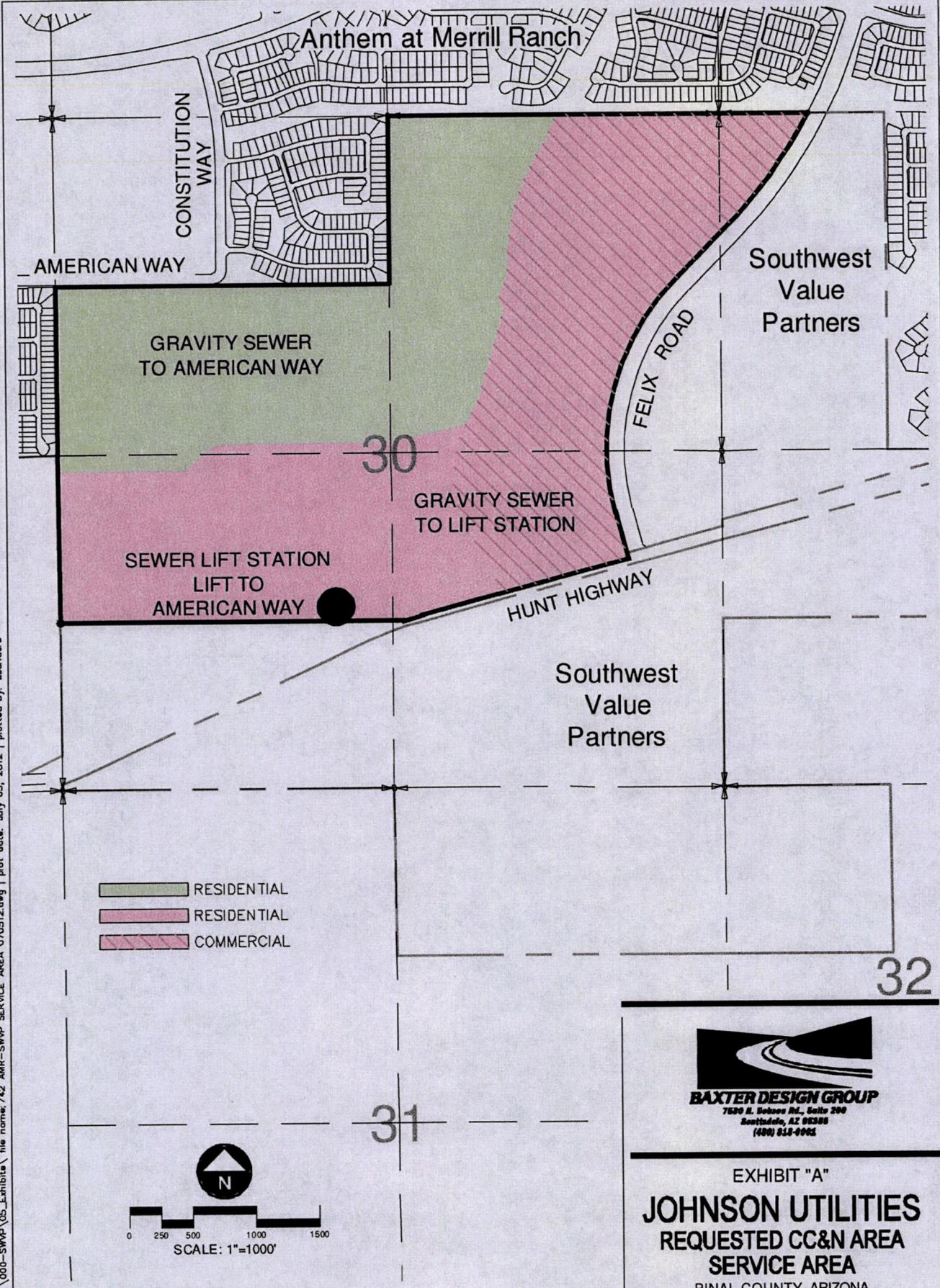
Feel free to contact me with any questions regarding this preliminary engineering review.

Sincerely,



Jared Baxter, P.E.





path: R:\000-SWVP\05_Exhibits\ file name: 742 AMR-SWVP SERVICE AREA 070512.dwg | plot date: July 05, 2012 | plotted by: asondara

ISSUE DATE: JULY 5, 2012

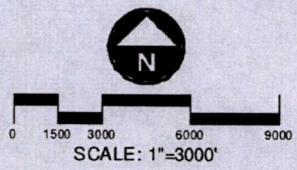
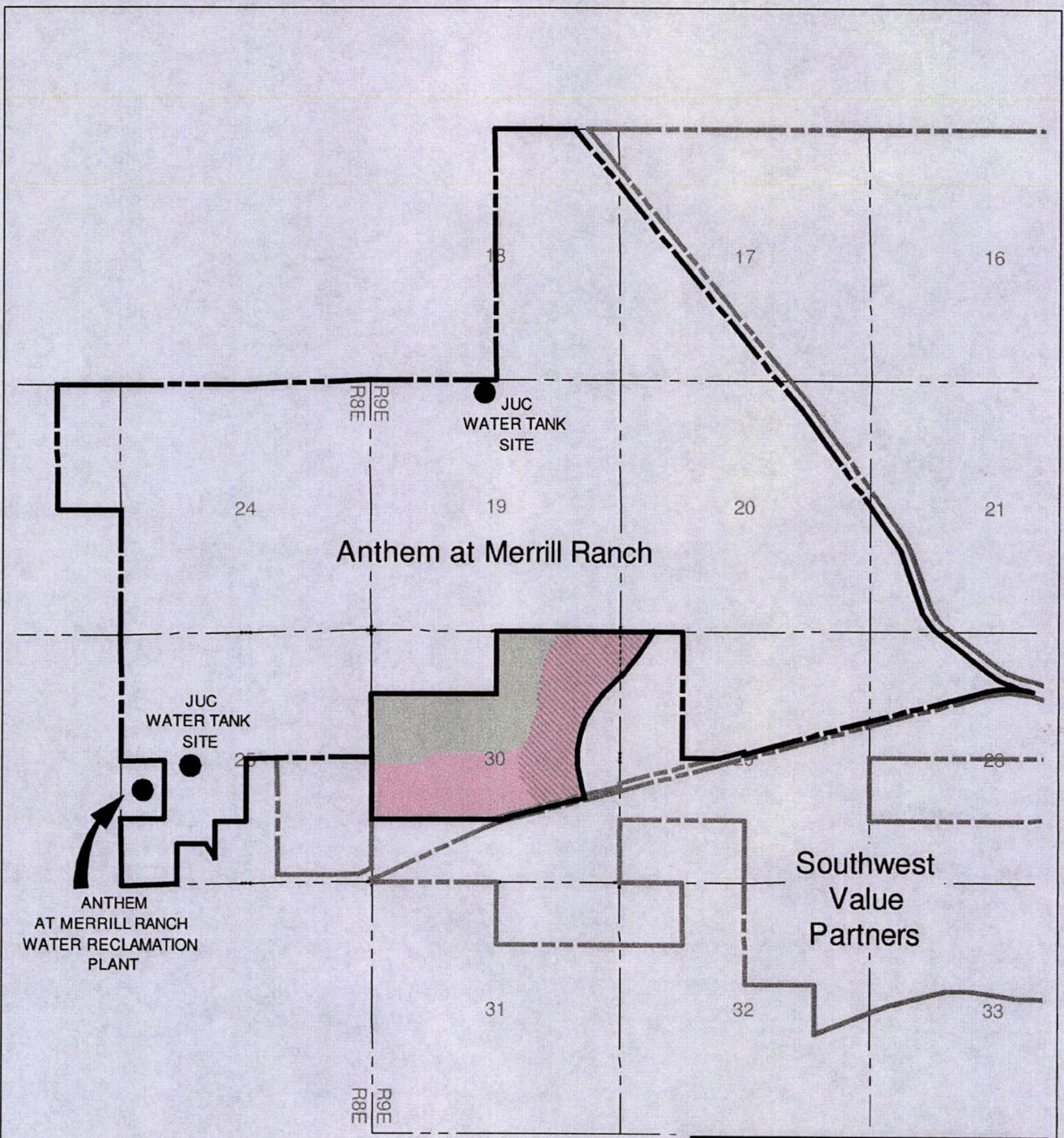


BAXTER DESIGN GROUP
 7530 N. Dobson Rd., Suite 200
 Scottsdale, AZ 85268
 (480) 918-4962

EXHIBIT "A"

JOHNSON UTILITIES
 REQUESTED CC&N AREA
 SERVICE AREA
 PINAL COUNTY, ARIZONA

path: R:\000-SWMP\05_Exhibits\ file name: 742 AMR-SWMP SERVICE AREA 070512.dwg | plot date: July 05, 2012 | plotted by: saunders



ISSUE DATE: JULY 5, 2012



EXHIBIT "B"
JOHNSON UTILITIES
 REQUESTED CC&N AREA
 SERVICE AREA
 PINAL COUNTY, ARIZONA

JOHNSON UTILITIES, L.

ORIGINAL

5230 East Shea Boulevard, Suite 200 * Scottsdale, Arizona
PH: (480) 998-3300; FAX: (480) 483-7908

30 November 2012

Arizona Corporation Commission
DOCKETED

NOV 30 2012

DOCKETED BY *JM*

Robert G. Gray
Executive Consultant III
Utilities Division
Arizona Corporation Commission
1200 W Washington Street
Phoenix, AZ 85007-2927

EXHIBIT
A-5
ADMITTED

Re: JOHNSON UTILITIES, L.L.C. APPLICATION FOR APPROVAL OF AN
EXTENSION OF ITS CERTIFICATE OF CONVENIENCE AND NECESSITY
(DOCKET NO. WS-02987A-12-0136)

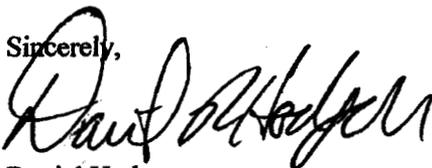
Dear Mr. Gray:

At the request of the Anthem at Merrill Ranch developer, we are removing portions of the original CC&N request. Included as **Attachment 1** are the revised map and legal description for the change to the TR4, S9E portion of the Merrill Ranch Expansion #1.

Please see the Request for Service letter from Patano Development Bella Vista, LLC. in support of our application, and which is included as **Attachment 2**.

If you have further questions or concerns, please feel free to contact me at (480) 998-3300.

Sincerely,



Daniel Hodges
JOHNSON UTILITIES, L.L.C.

DH:meb

cc: Docket Control
Del Smith, Engineering Supervisor
Brian Bozzo, Compliance Manager
Lyn Farmer, Chief, Hearing Division
Jeffrey W. Crockett, Brownstein Hyatt Farber Schreck

ARIZONA CORPORATION COMMISSION
DOCKET CONTROL

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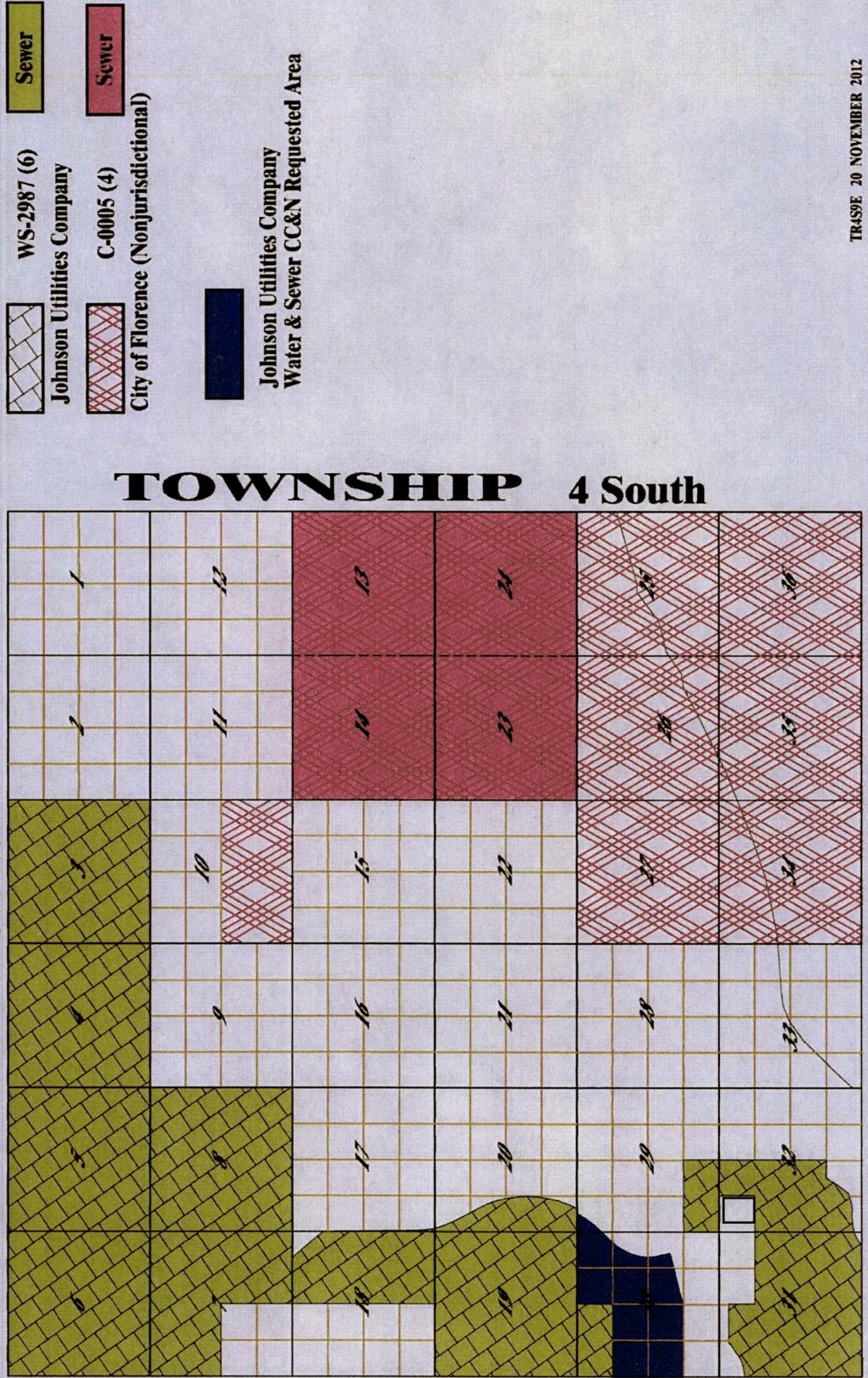
RECEIVED

Attachment 1

COUNTY: Pinal

RANGE 9 East

TOWNSHIP 4 South





Johnson Utilities
Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29 and Section 30, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the POINT OF BEGINNING from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds (Radial Bearing North 61 Degrees 52 Minutes 32 Seconds West);

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds (Radial Bearing South 45 Degrees 28 Minutes 02 Seconds East);

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, South 75 Degrees 16 Minutes 42 Seconds West, a distance of 1688.93 feet;

Thence Westerly, an arc distance of 148.89 feet along a curve to the Left having a radius of 2864.79 feet and a central angle of 02 Degrees 58 Minutes 40 Seconds (Radial Bearing South 14 Degrees 43 Minutes 18 Seconds East);

Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2720.62 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

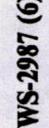
Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

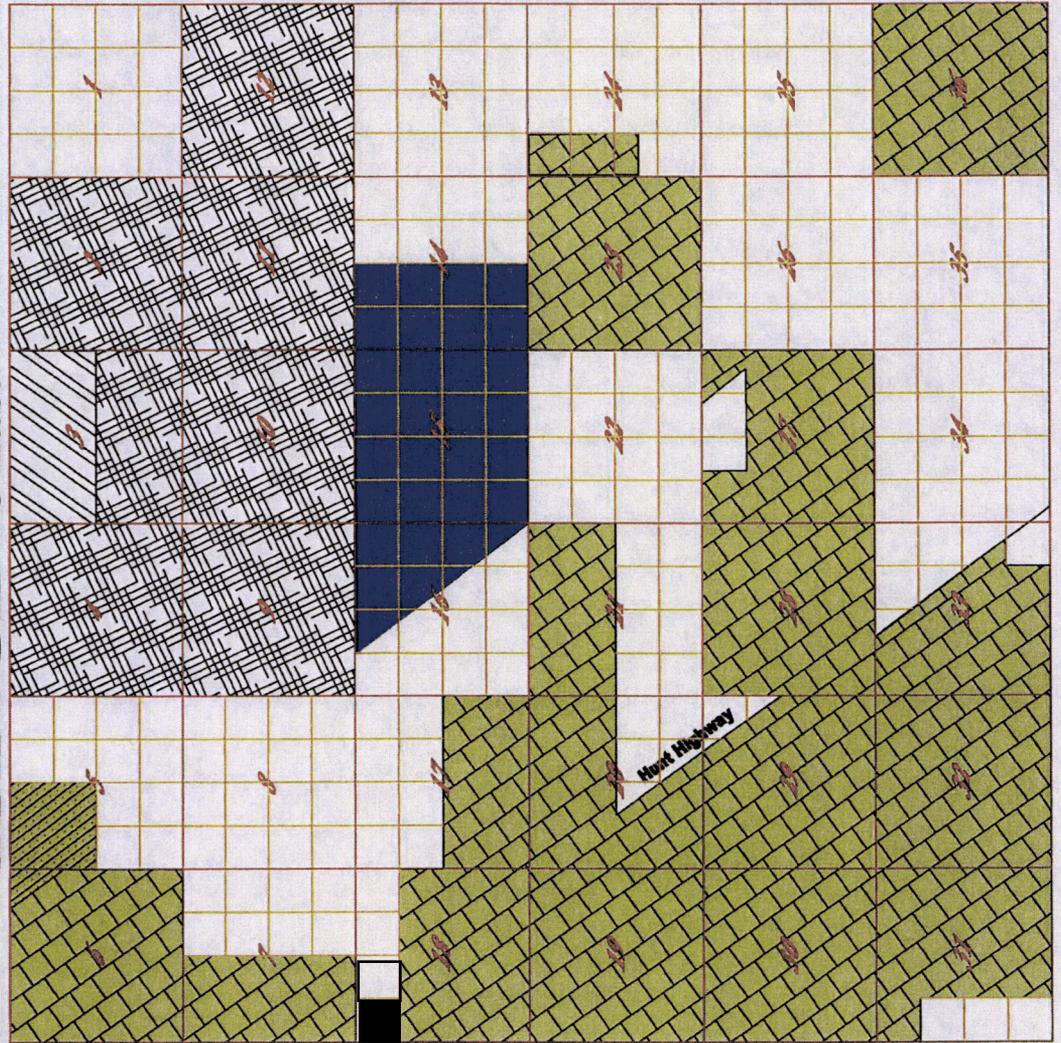
Containing 348.19 acres, more or less.

COUNTY: Pinal

RANGE 8 East

TOWNSHIP 3 South

	W-2859 (3) Diversified Water Utilities, Inc.		Sewer
	W-2234 (2) H ₂ O, Inc.		WS-2987 (6) Johnson Utilities Company
	W-2425 (2) Sun Valley Farms Unit VI Water Company		Johnson Utilities Company Water CC&N Requested Area



CC & N Legal Description for T3S, R8E

All of the West Half of Section 14;

All of Section 15;

All of the Eastern portion of Section 16 presently within the Johnson Utilities Co.

Sewer C.C. & N.; all in Township 3 South, Range 8 East, being more particularly described as follows:

Beginning at the Southeast Corner of Section 16;

Thence North $37^{\circ} 07' 25''$ West along the Sothern Pacific Railroad Right-of-Way, a distance of 6619.56 feet to a point on the North line of Section 16;

Thence North $89^{\circ} 59' 17''$ East along the North Line of Section 16, 15, and 14, a distance of 11,915.14 feet to the North Quarter Corner of Section 14;

Thence South $00^{\circ} 00' 00''$ East, along the North-South Mid-Section Line of Section 14 a distance of 5280.00 feet to the South Quarter Corner of Section 14;

Thence South $89^{\circ} 59' 47''$ West along the South Section Lines of Sections 14, 15, and 16 a stance of 7920.00 feet the Southeast Corner of Section 16 and the TRUE POINT OF BEGINNING;

Attachment 2

February 23, 2012

Mr. Daniel Hodges
Johnson Utilities
5230 E. Shea Blvd, Suite 200
Scottsdale, AZ 85254

Re: Sewer and Water Request Letter

Dear Daniel,

The intent of this letter is to request that Johnson Utilities add our property to the CC&N expansion for water and sewer and ultimately provide these utility services to our +/- 574 acres (see exhibit A). Our property is located north of Bella Vista Road and both sides of the Sierra Vista Drive alignment.

The current approved Planned Area Development (PAD) has approved 2,356 units and a portion of commercial. We are currently going through the rezone process and are requesting additional units to add apartments due to the forthcoming community college. If we are successful in amending our zoning, we will add more units to our requested service area.

Thank you


Petra Schadeberg-Herrmann

Vice President
See your schedule.

Pantano Development Bella Vista, LLC
PB Bella Vista, LLC

Exhibit "A"

Pantano Development Bella Vista, LLC Parcel

PARCEL NO. 1:

The Northwest quarter of Section 14, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT the South 31 acres thereof; and

EXCEPT 1/16th of all gas, oil, metals and mineral rights as reserved by the State of Arizona in the Patent to said land.

PARCEL NO. 2:

The Southwest quarter of Section 14, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT 1/16th of all gas, oil, metals and mineral rights as reserved by the State of Arizona in the Patent to said land.

PARCEL NO. 3:

The South 31 acres of the Northwest quarter of Section 14, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT 1/16th of all gas, oil, metals and mineral rights as reserved by the State of Arizona in the Patent to said land.

PB Bella Vista, LLC Parcel

PARCEL NO. 1:

The East half of the Northeast quarter of Section 15, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT 1/16th of all gas, oil, metals and mineral rights as reserved by the State of Arizona in the Patent to said land.

PARCEL NO. 2:

The Southeast quarter of Section 15, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

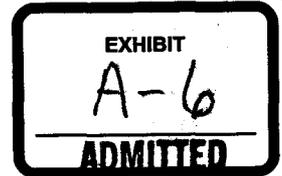
EXCEPT 1/16th of all gas, oil, metals and mineral rights as reserved by the State of Arizona in the Patent to said land.



ORIGINAL
JOHNSON UTILITIES, L.

5230 East Shea Boulevard, Suite 200 * Scottsdale, Arizona 85254
PH: (480) 998-3300; FAX: (480) 483-7908

20 December 2012



Robert G. Gray
Executive Consultant III
Utilities Division
Arizona Corporation Commission
1200 W Washington Street
Phoenix AZ 85007-2927

Re: JOHNSON UTILITIES, L.L.C. APPLICATION FOR APPROVAL OF AN
EXTENSION OF ITS CERTIFICATE OF CONVENIENCE AND NECESSITY
(DOCKET NO. WS-02987A-12-0136)

Dear Mr. Gray:

We have made some corrections to the legal description on the CC& N request in
Township 3 South and Ranch 9 East.

Included as Attachment 1 are the legal descriptions for our requested CC&N extension.

If you have further questions or concerns, please feel free to contact me
at (480) 998-3300.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel R. Hodges".

Daniel R. Hodges
JOHNSON UTILITIES, L.L.C.

DH:meb

cc: Docket Control
Del Smith, Engineering Supervisor
Brian Bozzo, Compliance Manager
Lyn Farmer, Chief, Hearing Division
Jeffrey W. Crockett, Brownstein Hyatt Farber Schreck

ARIZONA CORPORATION COMMISSION
DOCKET CONTROL

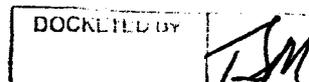
2012 DEC 20 P 4: 59

RECEIVED

Arizona Corporation Commission

DOCKETED

DEC 20 2012



Attachment 1

CC & N Legal Description for T3S, R8E for water only

All of the West Half of Section 14;

All of Section 15;

All of Section 16 not presently certificated for water to Johnson Utilities Co.; all in Township 3 South, Range 8 East, being more particularly described as follows:

Beginning at the Southeast Corner of Section 16;

Thence North $37^{\circ} 07' 25''$ West along the Southern Pacific Railroad Right-of-Way, a distance of 6619.56 feet to a point on the North line of Section 16;

Thence North $89^{\circ} 59' 17''$ East along the North Line of Section 16, 15, and 14, a distance of 11,915.14 feet to the North Quarter Corner of Section 14;

Thence South $00^{\circ} 00' 00''$ East, along the North-South Mid-Section Line of Section 14 a distance of 5280.00 feet to the South Quarter Corner of Section 14;

Thence South $89^{\circ} 59' 47''$ West along the South Section Lines of Sections 14, 15, and 16 a stance of 7920.00 feet the Southeast Corner of Section 16 and the TRUE POINT OF BEGINNING;



Johnson Utilities
Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29 and Section 30, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the POINT OF BEGINNING from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds (Radial Bearing North 61 Degrees 52 Minutes 32 Seconds West);

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds (Radial Bearing South 45 Degrees 28 Minutes 02 Seconds East);

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, South 75 Degrees 16 Minutes 42 Seconds West, a distance of 1688.93 feet;

Thence Westerly, an arc distance of 148.89 feet along a curve to the Left having a radius of 2864.79 feet and a central angle of 02 Degrees 58 Minutes 40 Seconds (Radial Bearing South 14 Degrees 43 Minutes 18 Seconds East);

Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2720.62 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

Containing 348.19 acres, more or less.

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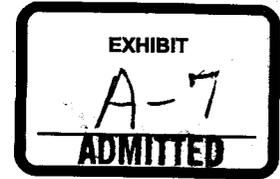
BEFORE THE ARIZONA CORPORATION COMMISSION

COMMISSIONERS

BOB STUMP – Chairman
GARY PIERCE
BRENDA BURNS
BOB BURNS
SUSAN BITTER SMITH

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IN THE MATTER OF THE APPLICATION
OF JOHNSON UTILITIES, L.L.C. FOR AN
EXTENSION OF ITS CERTIFICATE OF
CONVENIENCE AND NECESSITY FOR
WATER AND SEWER SERVICES.

DOCKET NO. WS-02987A-12-0136

COMMENTS OF JOHNSON UTILITIES
ON STAFF REPORT

Pursuant to the Procedural Order dated March 12, 2013, Johnson Utilities, L.L.C. ("Johnson Utilities" or the "Company") submits the following comments on the Staff Report dated April 2, 2012, in the above-captioned docket.

1. Staff Recommendation No. 1—Order Preliminary.

Utilities Division Staff ("Staff") recommends that the Arizona Corporation Commission ("Commission") grant an order preliminary to the issuance of a certificate of convenience and necessity ("CC&N") for the various phases within the requested extension areas for Bella Vista Farms and Merrill Ranch Expansion One.¹ Pursuant to the process proposed by Staff, Johnson Utilities would make a compliance filing for each separate phase of the developments and Staff would, within 30 days of each filing, docket a response in the form of a proposed order that would then be scheduled for a Commission vote.² However, Johnson Utilities believes the proposed process is overly administrative and cumbersome.

Merrill Ranch Expansion One encompasses approximately one-half square mile and includes 13 planned phases. The development is part of the Anthem at Merrill Ranch master-planned development, portions of which are already included in the Company's CC&N. In fact, Johnson Utilities has existing certificated territory adjacent to the Merrill Ranch Expansion One on the north and west, with additional certificated territory just south of the development. Thus,

¹ Staff Report at p. 5, Recommendation 1.

² Staff Report at p. 7, Recommendation 9.

1 it appears clear that this additional portion of the master-planned development would naturally
2 be served by Johnson Utilities.

3 Similarly, Bella Vista Farms encompasses approximately two square miles and includes
4 five planned phases with 13 parcels. Bella Vista Farms is already in the Company's CC&N for
5 wastewater, and Johnson Utilities has existing certificated territory on three sides of Bella Vista
6 Farms. Thus, like Merrill Ranch Expansion One, it appears clear that the Bella Vista Farms
7 development would naturally be served by Johnson Utilities.

8 Under Staff's proposed process, Staff would be required to prepare 18 separate orders to
9 be considered and approved by the Commission at 18 Open Meetings in order to include the
10 Merrill Ranch Expansion One and Bella Vista Farms developments. With a requested extension
11 area of only 2.5 square miles, this works out to one order per 89 acres.³ This will create an
12 undue burden on the Company, Staff and the Commission. Johnson Utilities believes that a
13 more efficient way to ensure compliance with all of Staff's recommendations is to issue a
14 conditional CC&N and require that the Company demonstrate compliance with each Staff
15 recommendation before the Company can begin serving a customer in a new phase of a
16 development. For example, Staff recommendation 2 already calls for the issuance of a
17 conditional CC&N with regard to the submission of an Approval to Construct for the water and
18 wastewater facilities needed to serve the first parcel in each of the requested extension areas.⁴

19 For the reasons set forth above, Johnson Utilities requests that the Commission approve a
20 conditional CC&N for the entire requested extension area as opposed to an order preliminary as
21 proposed by Staff.

22 **2. Staff Recommendations Nos. 4, 5 and 7—ADEQ Compliance Status Reports.**

23 Staff Recommendations 4, 5 and 7 are substantially the same and require that Johnson
24 Utilities "file updated ADEQ Compliance Status Reports indicating that all water systems are in
25 compliance with ADEQ regulations by December 31, 2014." The Company does not oppose
26 this recommendation, and reports that its water systems are fully compliant with the rules and

27 ³ Calculated as follows: 2.5 square miles times 640 acres per square mile divided by 18 orders equals 89
28 acres per order.

⁴ Staff Report at 5, Recommendation 2.

1 regulations of the Arizona Department of Environmental Quality (“ADEQ”) at this time. Thus,
2 Johnson Utilities is providing safe and reliable drinking water.

3 This Staff recommendation arises out of a Notice of Violation (Case ID # 133837) dated
4 October 9, 2012, (“NOV”) for the Johnson Ranch water system. According to ADEQ, an NOV
5 serves the following purpose:

6 [An NOV] is an informal compliance assurance tool used by ADEQ to put a
7 responsible party (such as a facility owner or operator) on notice that the
8 Department believes a violation of an environmental requirement has occurred. It
9 describes the facts known to ADEQ at the time of issuance and cites the
10 requirement that ADEQ believes the party has violated.

11 Although ADEQ has the authority to issue appealable administrative orders
12 compelling compliance, an NOV has no such force or effect. Rather, and NOV
13 provides the responsible party an opportunity to do any of the following before
14 ADEQ takes formal enforcement action: (1) meet with ADEQ and discuss the
15 facts surrounding the violation, (2) demonstrate to ADEQ that no violation has
16 occurred, or (3) document that the violation has been corrected.⁵

17 Johnson Utilities met twice with ADEQ to discuss the facts surrounding the NOV, and
18 the Company documented that no violations occurred in six letters to ADEQ dated November 5,
19 2012, November 21, 2012, December 5, 2012, December 10, 2012, December 17, 2012, and
20 January 2, 2013. Thus, contrary to the statement in the Staff Report,⁶ there are no major
21 deficiencies in the Company’s operations or maintenance. Johnson Utilities anticipates that
22 ADEQ will shortly close the NOV without any further action.

23 With regard to the Emergency Response Plan (“ERP”)⁷ referenced in the Staff Report,⁸
24 Johnson Utilities has made minor updates to the ERP and submitted the plan to ADEQ for
25 approval. ADEQ reviewed the ERP in March and verbally informed Johnson Utilities that the
26 ERP complies with ADEQ’s requirements and no other updates are required at this time.

27 **3. Open Notices of Violation for the Pecan and Sections 11 WTPs.**

28 The Staff Report notes in Conclusion “E” on page 5 that “the Pecan and Section 11
wastewater systems are not in compliance due to five (5) open Notice of Violations.” However,

⁵ Letter dated October 9, 2012, from ADEQ to Johnson Utilities re Case ID 133837.
⁶ Staff Report at p. 5, Conclusion “C.”
⁷ ADEQ misidentifies the Emergency Response Plan as the Emergency Operations Plan in the NOV,
which Staff then picks up in the Staff Report. The plan is called the Emergency Response Plan.
⁸ *Id.*

1 there does not appear to be a Staff recommendation associated with this conclusion. For the
2 reasons discussed below, Johnson Utilities does not believe there need be a recommendation or
3 condition associated with notices of violation.

4 The Commission previously addressed the compliance status of the Company's
5 wastewater treatment plants in Decision 73236 (June 26, 2012) in Docket WS-02987A-09-0083.
6 Decision 73236 states, in relevant part, as follows:

7 36. Staff submitted evidence which included updated ADEQ Compliance
8 Reports (dated March 3, 2012 and April 4, 2012) for all of Johnson's
9 WRPs. The updated reports show that the Pecan WRP had met the
10 compliance conditions of the NOVs, but that ADEQ is in discussions with
11 the Company to resolve the Company's liabilities for the violations cited
12 in the NOVs, and that the NOVs will remain in the open status until a
13 resolution is reached. The report also indicated that there are no on-going
14 environmental issues for the San Tan WRP and that the Anthem WRP is
15 in compliance with ADEQ.

16 37. Regarding the Section 11 WRP, the updated ADEQ Compliance Reports
17 indicated that the system has not met the compliance conditions for two
18 NOVs and that ADEQ is in discussions with Johnson regarding the
19 assessment of liabilities related to the violations. The report also stated
20 the NOVs would remain open until a determination as to liabilities is
21 resolved, but that there are no other ongoing environmental regulatory
22 issues concerning maintenance and operations for the Section 11 WRP
23 facility.

24 38. Based on the updated ADEQ Compliance Reports, Staff stated it believes
25 the Company's water and wastewater systems are currently in compliance
26 with ADEQ. Therefore, Staff eliminated its recommendation that
27 approval of Johnson's application for a CC&N extension be conditional on
28 the Company filing updated ADEQ Compliance Status Reports.⁹

Further, footnote 56 of Decision 73236 provided this additional information:

On July 25, 2011, the Commission issued Decision No. 72502, amending
Decision No. 70849 (March 17, 2009), which required Johnson to file, among
other things, documentation from ADEQ demonstrating that the Pecan WRP was
in full compliance by December 31, 2009, and that the NOVs issued on March 4,
2008 and June 5, 2008, had been closed. Based on documentation submitted by
the Company, Decision No. 72502 deemed the above conditions to have been
satisfied.¹⁰

⁹ Decision 73236 at pp. 8-9, Findings of Fact 36-38 (citations omitted).

¹⁰ *Id.* at p. 8.

1 Based upon Staff's findings, the Commission included the following ordering paragraph
2 in Decision 73236:

3 IT IS FURTHER ORDERED that Johnson Utilities, LLC shall file, as a
4 compliance item in this docket, within 30 days of said event, a notice to the
5 Commission that Johnson Utilities, LLC's negotiations with the Arizona
6 Department of Environmental Quality have concluded, the amount of any fines
7 and/or penalties assessed by Arizona Department of Environmental Quality,
8 Johnson's plan for paying such fines and/or penalties, and updating the
9 Commission on the status of the Notices of Violations issued on March 4, 2008
10 and June 5, 2008.¹¹

11 Johnson Utilities is obligated to comply with this requirement of Decision 73236
12 regarding the resolution of the outstanding notices of violations. Thus, the Company submits
13 there is no need for a recommendation or condition regarding the compliance status of its Pecan
14 or Section 11 wastewater treatment plants in this docket.

15 **4. Staff Recommendation 3—Separate Wastewater Descriptions.**

16 Staff Recommendation 3 requires Johnson Utilities to provide separate wastewater
17 descriptions for each wastewater system (for example, separate wastewater flows including peak
18 flow and average flow) in future Commission Annual Reports, beginning with the 2013 Annual
19 Report filed in 2014. The Company does not oppose this recommendation and will comply, but
20 the Staff Report is not clear whether the recommendation is part of a conditional CC&N or an
21 order preliminary, or simply a requirement that is not a condition attached to the granting of the
22 requested CC&N extensions. Because Johnson Utilities opposes the grant of an order
23 preliminary in this case for the reasons discussed above, the Company requests that Staff
24 Recommendation 3 be included as part of a conditional CC&N if, in fact, it is Staff's intention
25 that the recommendation be a condition of granting the requested CC&N extensions.
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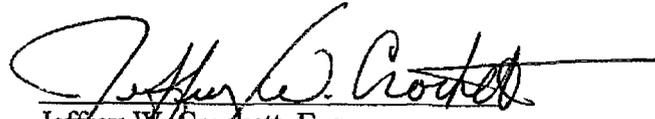
¹¹ *Id.* at p. 11, lines 16-21.

Brownstein Hyatt Farber Schreck, LLP
One East Washington, Suite 2400
Phoenix, AZ 85004

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RESPECTFULLY submitted this 12th day of April, 2013.

BROWNSTEIN HYATT FARBER SCHRECK LLP



Jeffrey W. Crockett, Esq.
One East Washington Street, Suite 2400
Phoenix, Arizona 85004
Attorneys for Johnson Utilities, L.L.C.

ORIGINAL and thirteen (13) copies of the
foregoing filed this 12th day of April, 2013, with:

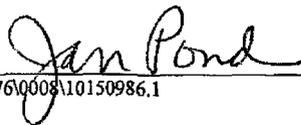
Docket Control
ARIZONA CORPORATION COMMISSION
1200 West Washington Street
Phoenix, Arizona 85007

Copy of the foregoing hand-delivered
this 12th day of April, 2013, to:

Lyn Farmer, Chief Administrative Law Judge
Hearing Division
ARIZONA CORPORATION COMMISSION
1200 West Washington Street
Phoenix, Arizona 85007

Janice Alward, Chief Counsel
Legal Division
ARIZONA CORPORATION COMMISSION
1200 West Washington Street
Phoenix, Arizona 85007

Steve Olea, Director
Utilities Division
ARIZONA CORPORATION COMMISSION
1200 West Washington Street
Phoenix, Arizona 85007



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AZ CORP COMMISSION
DOCKET CONTROL

MEMORANDUM

TO: Docket Control
FROM: Steven M. Olea
Director
Utilities Division

EA for SMD

DATE: April 2, 2013

RE: STAFF REPORT FOR JOHNSON UTILITIES, L.L.C. – APPLICATION FOR AN EXTENSION OF ITS CERTIFICATE OF CONVENIENCE AND NECESSITY FOR WATER AND WASTEWATER SERVICES (DOCKET NO. WS-02987A-12-0136)

Attached is the Staff Report for Johnson Utilities, L.L.C.'s application for an extension of its Certificate of Convenience and Necessity for water and wastewater service. Staff recommends approval of an Order Preliminary for this application.

SMO:RGG:tdp\BH

Originator: Robert Gray

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EXHIBIT
5-1
ADMITTED

Service List for: JOHNSON UTILITIES, L.L.C.
Docket No. WS-02987A-12-0136

Mr. Daniel Hodges
Johnson Utilities, LLC
5230 East Shea Boulevard
Scottsdale, AZ 85254

Mr. Jeffrey W. Crockett
Attorney for Johnson Utilities, LLC
One East Washington Street, Suite 2400
Phoenix, Arizona 85004

**STAFF REPORT
UTILITIES DIVISION
ARIZONA CORPORATION COMMISSION**

JOHNSON UTILITIES, L.L.C.

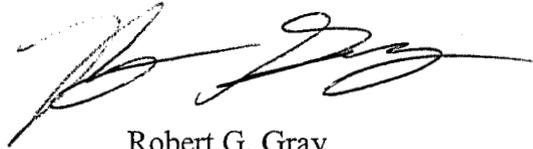
DOCKET NO. WS-02987A-12-0136

**APPLICATION FOR AN EXTENSION OF ITS CERTIFICATE OF CONVENIENCE
AND NECESSITY FOR WATER AND WASTEWATER SERVICE**

APRIL 2, 2013

STAFF ACKNOWLEDGMENT

The Staff Report for Johnson Utilities, L.L.C., Docket No. WS-02987A-12-0136, was the responsibility of the Staff members listed below. Robert Gray prepared the Staff Report. Jian Liu prepared the Engineering Report.



Robert G. Gray
Executive Consultant



Jian Liu
Utilities Engineer



Trish Meeter
Consumer Analyst II

**EXECUTIVE SUMMARY
JOHNSON UTILITIES, L.L.C.
DOCKET NO. WS-02987A-12-0136**

On April 6, 2012, Johnson Utilities, L.L.C. ("Johnson" or "Company") filed an application for Commission approval of an extension of Johnson's Certificate of Convenience and Necessity ("CC&N") for water and wastewater service. On April 18, 2012, Johnson filed an amendment to its application. On May 7, 2012, Staff issued an insufficiency letter in this proceeding. On May 23, 2012, Johnson filed responses to Staff data requests in this proceeding. On July 27, 2012, Johnson filed additional information. On November 30, 2012, Johnson filed another amendment to its application. On December 20, 2012, Johnson filed an additional amendment to its application. On February 6, 2013, Staff found Johnson's application to be sufficient. On February 12, 2013, a procedural order was issued in this proceeding, setting a hearing date of April 18, 2013. On March 8, 2013, Johnson filed a request to modify the procedural order to provide Johnson additional time to provide information to Staff prior to Staff's filing of its Staff Report in this proceeding. On March 12, 2013, a second procedural order was issued, extending the due dates for filing the Staff Report and objections to the Staff Report and maintaining the April 18, 2013 hearing date.

Staff recommends inclusion of the Bella Vista Farms area requested by Johnson within Johnson's CC&N for water service. Staff further recommends inclusion of Merrill Ranch Expansion One area requested by Johnson within Johnson's CC&N for water and wastewater service. These recommendations would be subject to conditions that Johnson file an Arizona Department of Environmental Quality Approval to Construct for each expansion area and provide separate wastewater descriptions for each wastewater system in future Commission Annual Reports. These recommendations would also be subject to Order Preliminary conditions regarding Johnson coming into compliance with ADEQ regulations and providing additional information for phases 3, 4, and 5 of Bella Vista Farms and for Merrill Ranch Expansion One.

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Introduction

On April 6, 2012, Johnson Utilities, L.L.C. (“Johnson” or “Company”) filed an application for Commission approval of an extension of Johnson’s Certificate of Convenience and Necessity (“CC&N”) for water and wastewater service. On April 18, 2012, Johnson filed an amendment to its application. On May 7, 2012, Staff issued an insufficiency letter in this proceeding. On May 23, 2012, Johnson filed responses to Staff data requests in this proceeding. On July 27, 2012, Johnson filed additional information. On November 30, 2012, Johnson filed another amendment to its application. On December 20, 2012, Johnson filed an additional amendment to its application. On February 6, 2013, Staff found Johnson’s application to be sufficient. On February 12, 2013, a procedural order was issued in this proceeding, setting a hearing date of April 18, 2013. On March 8, 2013, Johnson filed a request to modify the procedural order to provide Johnson additional time to provide information to Staff prior to Staff’s filing of its Staff Report in this proceeding. On March 12, 2013, a second procedural order was issued, extending the due dates for filing the Staff Report and objections to the Staff Report and maintaining the April 18, 2013 hearing date.

The Company’s Johnson Ranch system provides water service to approximately 20,170 service connections as of December 2012. The Company’s Anthem at Merrill Ranch system provided water service to approximately 2,000 service connections in December 2012. Johnson’s most recent rate proceeding was decided by the Commission in Decision No. 71854 (August 25, 2010), with subsequent amendments. Attached as Exhibit 1 is the Engineering Report regarding this matter.

Proposed Extension Areas

Bella Vista Farms

The Bella Vista Farms proposed extension area consists of two square miles. Johnson already provides wastewater service to this area, so the Company is seeking to extend only its water CC&N to Bella Vista Farms. The Bella Vista Farms extension area involves a number of parcels owned by the following entities: Pantano Development Bella Vista LLC, PV Bella Vista LLC, El Dorado Holdings Inc., BVF Opportunity LLC/BVF Land LLC, Pinal County Community College District dba Central Arizona College, and Salt River Project. Johnson has received requests for service from all of the landowners with the exception of Salt River Project. The Salt River Project parcel is very small, 2.27 acres, and is surrounded by parcels that have requested service from Johnson in this proceeding. Salt River Project has affirmed to Staff that it has no objection to its parcel being included in the area Johnson is seeking to extend its CC&N to in this proceeding.

Johnson operates two water systems, Johnson Ranch and Anthem at Merrill Ranch. The Bella Vista Farms area would be served by the Johnson Ranch system. The Bella Vista Farms area is currently served by Johnson’s Section 11 wastewater system.

Merrill Ranch Expansion One

The area being requested by Johnson in the Merrill Ranch Expansion One area has been reduced several times by Johnson subsequent to Johnson's initial application in this proceeding. The reduced area now in question has a single owner and is also in the process of changing ownership. Johnson has indicated to Staff that the transaction is waiting for the CC&N to be granted in this proceeding before being completed. Both the current owner, SWVP-GTIS MR LLC ("Southwest Value Partners") and the prospective future owner, Pulte Group, have provided requests for service to Johnson for the area in question.

The Merrill Ranch Expansion One area would be served by the Anthem at Merrill Ranch water system. Johnson operates four wastewater systems, Pecan, San Tan, Section 11, and Anthem. The Merrill Ranch Expansion One area would be served by Johnson's Anthem wastewater system.

The Merrill Ranch Expansion One area is located within the town of Florence. Johnson filed a letter dated April 12, 2012, from the Town of Florence, indicating it supports the application by Johnson to provide water and wastewater service to Merrill Ranch Expansion One.

Attached as Exhibit 2 is a memorandum containing a map and legal description for the areas where Johnson is requesting an extension of its CC&N in this proceeding. Also attached as Exhibit 3 is a map showing the location of phases 1 and 2 of the Bella Vista Farms area requested by Johnson. As discussed below, Staff is recommending an Order Preliminary for phases 3, 4, and 5 of the Bella Vista Farms area (as well as for the Merrill Ranch Expansion One), reflecting the balance of the Bella Vista Farms area not shown in Exhibit 3.

Water and Wastewater Facilities

The existing Johnson Ranch water system entails 17 wells producing approximately 10,600 gallons per minute, a distribution system, and 12 storage tanks totaling 6.25 million gallons as of December 2012. Johnson's operates four wastewater systems; Pecan, San Tan, Section 11, and Anthem, comprising a total of over 29,200 service laterals as of December 2012. Exhibit 1, Staff's Engineering Report, discusses the water and wastewater systems and notes that the current systems and reasonably expected additional facilities should be adequate to serve existing customers and the proposed CC&N extension areas.

Arizona Department of Environmental Quality (“ADEQ”) Compliance

Water

1. Johnson Ranch Water System

Based on ADEQ Compliance Status Reports, dated February 5, 2013, April 12, 2011, the Johnson Ranch water system had an acute violation of the total coliform rules from August 2012, and did not issue a Public Notice within 10 days as required. After several months of testing, the system is back in compliance for monitoring and reporting. The Johnson Ranch Water system has major deficiencies for operation and maintenance and the Emergency Operations Plan needs updating. On October 9, 2012, ADEQ issues a Notice of Violation (“NOV”) to the water system.

2. Anthem at Merrill Ranch Water System

Based on ADEQ Compliance Status Reports, dated February 26, 2013, the Anthem at Merrill Ranch water system has no deficiencies and ADEQ has determined that this water system is currently delivering water that meets water quality standards required by Arizona Administrative Code, Title 18, Chapter 4.

Wastewater

According to ADEQ Compliance Status Reports, dated February 4, 2013, ADEQ has reported that the Anthem and San Tan wastewater systems are in compliance with ADEQ regulations and the Pecan and Section 11 wastewater systems are not in compliance due to five (5) open Notice of Violations.

Certificate of Approval to Construct

The ADEQ Certificate of Approval to Construct (“ATC”) for water and wastewater facilities needed to serve the requested area has not been submitted by the Company.

Arizona Department of Water Resources (“ADWR”) Compliance

The Johnson Ranch water system is located in the Phoenix Active Management Area (“AMA”) and ADWR has reported that this system is in compliance with requirements governing water providers and/or community water systems. The Anthem water system is located in the Pinal AMA and ADWR has reported that this system is in compliance with requirements governing water providers and/or community water systems.

Arizona Corporation Commission Compliance

On February 29, 2013 the Utilities Division Compliance Section reported that the Company has no delinquent ACC compliance issues.

Arizona Corporation Commission Complaints

According to a review of complaints from customers filed with the Consumer Services section, there have been no opinions or complaints from customers regarding this application. In 2010, there were 39 complaints, in 2011 there were 45 complaints, in 2012 there were 28 complaints and five opinions, and in 2013 there have been twelve complaints. Currently there are two complaints that remain open pending investigation.

Curtailment Tariff

The Company has an approved curtailment tariff that became effective on July 9, 2005.

Backflow Prevention Tariff

The Company has an approved backflow prevention tariff that became effective on June 30, 1997.

Best Management Practice (“BMP”) Tariffs

The Company has approved BMP tariffs that became effective on August 17, 2011.

Conclusions

- A. Staff concludes that the Company’s existing water and wastewater systems will have adequate well production, storage and wastewater treatment capacities or can be upgraded to serve the existing customers and proposed CC&N extension areas and it can reasonably be expected that the Company will develop additional production, storage and wastewater treatment as required in the future.
- B. Staff concludes that the estimated cost for the proposed water and wastewater plant facilities is reasonable. The approval of this CC&N extension application does not imply any particular future treatment for rate base. No “used and useful” determination of the proposed water and wastewater plant facilities was made and no conclusions should be inferred for rate making or rate base purposes.
- C. According to ADEQ Compliance Status Reports, dated February 5, 2013, the water system (PWS #11-128) had an acute violation for the total coliform rule from August 2012 (Twenty five samples collected on August 13, 2012 were analyzed as positive for the presence of total coliform bacteria of the 60 samples required each month. Three of

the 25 total coliform positive samples collected on August 13, 2012, tested positive for the presence of E. coli bacteria.) The water system did not properly issue a Public Notice within 10 days required period. After several months of proper sampling, the system is back in compliance for monitoring and reporting. This water system has major deficiencies for operation and maintenance. Emergency Operations Plan needs updating. On October 9, 2012, ADEQ issued a Notice of Violation ("NOV") to the water system.

- D. According to ADEQ Compliance Status Reports, dated February 26, 2013, the water system (PWS #11-136) has no deficiencies and ADEQ has determined this water system is currently delivering water that meets water quality standards required by CFR 141/ Arizona Administrative Code, Title 18, and Chapter 4.
- E. According to ADEQ Compliance Status Reports, dated February 4, 2013, ADEQ has reported that the Anthem and San Tan wastewater systems are in compliance with ADEQ regulations and the Pecan and Section 11 wastewater systems are not in compliance due to five (5) open Notice of Violations.
- F. ADWR has reported that Company's water systems are in compliance with its requirements governing water providers and/or community water systems.
- G. On February 29, 2013, the Utilities Division Compliance Section reported the Company had no delinquent ACC compliance issues.

Recommendations

1. Staff recommends the Commission grant an Order Preliminary for the Bella Vista Farms areas requested by Johnson for water service and for the Merrill Ranch Expansion One area requested by Johnson, for water and wastewater service, with the following conditions:
2. Staff recommends that the Company docket, as a compliance item in this docket, within two years of the effective date of an order granting a conditional CC&N, a copy of the ADEQ-ATC for water and wastewater facilities needed to serve the first parcel in the requested extension areas.
3. Staff recommends that the Company be required to provide separate wastewater descriptions for each wastewater system (for example, separate wastewater flows including peak flow and average flow) in future Commission Annual Reports, beginning with the 2013 Annual Report filed in 2014.

Bella Vista Farms Phases One and Two

4. For Bella Vista Farms Phases One and Two, Staff recommends that the Company file updated ADEQ Compliance Status Reports indicating that all water systems are in compliance with ADEQ regulations by December 31, 2014.

Bella Vista Farms Phases Three, Four, and Five

5. For Bella Vista Farms Phases Three, Four, and Five, Staff recommends that the Company file updated ADEQ Compliance Status Reports indicating that all water systems are in compliance with ADEQ regulations by December 31, 2014.
6. Staff recommends that the Company docket as a compliance item in this docket no later than January 1, 2015 for Phase Three, January 1 2018 for Phase Four, and January 1, 2022 for Phase Five of Bella Vista Farms (as shown in the table on page 4 of Staff's engineering report), a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water system and the principal components of each water system (e.g., source, storage, transmission lines, distribution lines, etc.) to allow verification of the estimated costs provided under the Arizona Administrative Code R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.

Merrill Ranch Expansion One

7. For Merrill Ranch Expansion One, Staff recommends that the Company file updated ADEQ Compliance Status Reports indicating that all water systems are in compliance with ADEQ regulations by December 31, 2014.
8. Staff recommends that the Company docket as a compliance item in this docket no later than January 1, 2015 for Unit 53A, January 1, 2015 for Unit 53B, January 1, 2016 for Unit 55A, January 1, 2016 for Unit 55C, January 1, 2017 for Unit 55B, January 1, 2017 for Unit 57A, January 1, 2018 for Unit 57B, January 1, 2018 for Unit 59B, January 1, 2019 for Unit 59A, January 1, 2019 for Unit 59D, January 1, 2020 for Unit 59C, January 1, 2020 for Unit 59E, and January 1, 2017 for Phase 3 of Merrill Ranch Expansion One (as shown in the table on page 5 of Staff's engineering report), a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water/waste system and the principal components of each water/waste system to allow verification of the estimated costs provided under the Arizona Administrative Code R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.

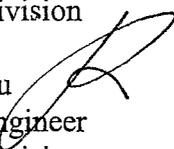
9. Staff further recommends that Staff be required to file, within thirty days of the Company's filings for each Phase or Unit described in recommendations 4, 5, 6 7, and 8 above, a Staff response to the filings for each Phase or Unit, in the form of a Proposed Order confirming compliance and granting a conditional CC&N for an extension to include the areas included in the Order Preliminary; and that the Proposed Order confirming compliance should then be scheduled as soon as possible for a Commission vote.

10. Staff further recommends that if Johnson does not timely comply with the requirements contained in Staff recommendations 4, 5, 6, 7, and 8 for any Phases or Units, that the Order Preliminary approved herein shall be deemed null and void for those Phases or Units.

MEMORANDUM

DATE: March 18, 2013

TO: Bob Gray
Executive Consultant III
Utilities Division

FROM: Jian W. Liu 
Utilities Engineer
Utilities Division

RE: Johnson Utilities Company – Water and Wastewater Divisions
Docket No. WS-02987A-12-0136 (CC&N Extension)

Introduction

On April 6, 2012, Johnson Utilities L.L.C. dba Johnson Utilities Company (“Company”) filed an application to extend its Certificate of Convenience and Necessity (“CC&N”) for its water and wastewater divisions. After several revisions, Company’s application met the sufficiency requirements on February 6, 2013. The requested extension areas will add approximate 2.54 square-miles¹ to the Company’s water and wastewater CC&N service areas. The Company’s existing water CC&N covers 72.3 square miles and its wastewater CC&N covers 87.4 square miles. The Company serves the community between Queen Creek and Florence in Pinal County.

Utility Plant Capacities

Existing Water Utility Plants

The Company operates two water systems; Johnson Ranch (Public Water System (“PWS”) #11-128) and Anthem at Merrill Ranch (PWS #11-136). The Company’s requested extension area for Bella Vista Farms will be served by the Johnson Ranch water system, and area for Merrill Ranch Expansion One will be served by the Anthem at Merrill Ranch water system.

Johnson Ranch Water System

The Johnson Ranch water system consists of 17 wells producing approximately 10,600 gallons per minute (“GPM”), 12 storage tanks totaling 6.25 million gallons, and a distribution system serving approximately 20,170 service connections as of December 2012. Based on the

¹ The Bella Vista Farms Development would add two square miles of service area (water only) and the Merrill Ranch Expansion One Development would add approximately one-half square-mile of service area (water and wastewater).

historical growth rate, it is anticipated that the Johnson Ranch water service area could grow to approximately 23,000 connections at the end of five years. Based on the existing well production and storage capacities, the Johnson Ranch system has adequate capacity or can be upgraded to serve existing customers and reasonable growth, including growth in the proposed extension area.

Anthem at Merrill Ranch Water System

The Anthem water system consists of four wells producing over 2,500 GPM, two storage tanks totaling to 1.5 million gallons and a distribution system serving approximately 2,000 service connections as of December 2012. Based on the historical growth rate, it is anticipated that the Anthem at Merrill Ranch water service area could grow to approximately 2,500 connections at the end of five years. Based on the existing well production and storage capacities, the Anthem at Merrill Ranch water system has adequate capacity or can be upgraded to serve existing customers and reasonable growth, including growth in the proposed extension area.

Existing Wastewater Utility Plants

The Company operates four wastewater systems; Pecan, San Tan, Section 11, and Anthem. The Company records plant and flow data for the four systems as if they were one integrated system. The four systems served a total of approximately 29,240 service laterals (or service connections) as of December 2012. Based on the historical growth rate, it is anticipated that the wastewater service areas could grow to approximately 34,000 service laterals at the end of five years.

San Tan Wastewater System

The San Tan system has a 2.0 million gallon per day ("MGD") extended aeration WRP that served approximately 7,275 service laterals as of December 2012.

Section 11 Wastewater System

The Section 11 system has a 1.6 MGD anaerobic lagoon wetland WRP that served approximately 6,750 service laterals as of December 2012.

Pecan Wastewater System

The Pecan system has a 2.0 MGD extended aeration WRP that served approximately 10,515 service laterals as of December 2012.

Anthem Wastewater System

Anthem system has a 1.5 MGD extended aeration WRP that served approximately 4,700 service laterals as of December 2012.

Staff recommends that Company be required to provide separate wastewater descriptions for each wastewater system (for example, wastewater flows including peak flow and average flow) in future Commission Annual Reports, beginning with the 2013 Annual Report filed in 2014.

Proposed Plant Facilities

The proposed plant facilities to serve these areas will be constructed as needed to include the following facilities:

A. Bella Vista Farms (*Water Facilities for Phase 1 and Phase 2 only*)

The Phase 1 consists of parcels A and B, including the Community College Campus and a 17.9 acres commercial site.

The Phase 2 consists of parcels C through F which are medium to medium-low density residential areas.

1. Source Development Infrastructure:	
a. One well	\$ 1,500,000
b. 1.0 MG storage tank	\$ 950,000
c. Other (12" mains, boosters, etc.)	\$ 1,294,000
	Total: \$ 3,744,000
2. On-site Water Distribution Infrastructure:	
a. 8" Waterline	\$ 2,158,000
b. 12" Waterline	\$ 575,000
c. 1300 1.5" Water Services	\$ 910,000
d. Other (Fire Hydrants, Valve, Box & Cover etc.)	\$ 1,619,290
	Total: \$ 5,262,290
	<hr/> <hr/>
Phase 1 and Phase 2 Total: \$9,006,290	

The Company provided the following phased development data with estimated development start dates (see attached figure 1):

Planning Areas	Estimated Development Start Dates
Phase 1 - parcel A - parcel B	Community College under development Fall 2014
Phase 2 - parcels C & D - parcels E and F	Fall 2014 Fall 2015
Phase 3 - parcels U, X & Y	3 rd Quarter in 2015
Phase 4 - parcels V & W	1 st Quarter of 2018
Phase 5 - parcels AA & Z	3 rd Quarter of 2022

Staff recommends that the Company docket as a compliance item in this docket at least one year before the Phase 3, Phase 4 and Phase 5 of the Bella Vista Farms construction start date provided, a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water system and the principal components of each water system (e.g., source, storage, transmission lines, distribution lines, etc.) to allow verification of the estimated costs provided under the Arizona Administrative Code R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.

B. Merrill Ranch Expansion One

1. Unit Budget:

- a. Water \$ 1,433,516
- b. Sewer \$ 1,716,059

Total: \$ 3,149,575

2. Road Budget:

- a. Water \$ 121,586
- b. Sewer \$ 145,639

Total: \$ 267,225

3. Lift Station \$ 1,000,000

The Company provided the following phased development data with estimated development start dates (see attached figure 2):

Planning Area	Estimated Development Start Date
- Unit 53A	June 2015
- Unit 53B	December 2015
- Unit 55A	June 2016
- Unit 55C	December 2016
- Unit 55B	June 2017
- Unit 57A	December 2017
- Unit 57B	June 2018
- Unit 59B	December 2018
- Unit 59A	June 2019
- Unit 59D	December 2019
- Unit 59C	June 2020
- Unit 59E	December 2020
Phase III	2017

Staff recommends that the Company docket as a compliance item in this docket at least one year before any Units (or Phases) of the Merrill Ranch Expansion One construction start date, a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water/wastewater system and the principal components of each water/wastewater system to allow verification of the estimated costs provided under the Arizona Administrative Code R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.

Conclusions

Staff concludes that the Company's existing water and wastewater systems will have adequate capacity to serve the existing customers and proposed CC&N extension areas or it can reasonably be expected that the Company will develop additional production, storage and wastewater treatment capacity as required in the future.

Staff concludes that the estimated cost for the proposed water and wastewater plant facilities is reasonable. The approval of this CC&N extension application does not imply any particular future treatment for rate base. No "used and useful" determination of the proposed water and wastewater plant facilities was made and no conclusions should be inferred for rate making or rate base purposes.

Arizona Department of Environmental Quality ("ADEQ") Compliance

Compliance Status

ADEQ regulates the Company's water and wastewater facilities under the following identification numbers:

Water:

1. Johnson Ranch Water System, PWS #11-128

According to ADEQ Compliance Status Reports, dated February 5, 2013, this water system had an acute violation for the total coliform rule from August 2012 (Twenty five samples collected on August 13, 2012 were analyzed as positive for the presence of total coliform bacteria of the 60 samples required each month. Three of the 25 total coliform positive samples collected on August 13, 2012, tested positive for the presence of E. coli bacteria). The water system did not properly issue a Public Notice within 10 days as required. After several months of proper sampling, the system is back in compliance for monitoring and reporting. This water system now has major deficiencies for operation and maintenance. Emergency Operations Plan needs updating. On October 9, 2012, ADEQ issued a Notice of Violation ("NOV") to the water system.

2. Anthem at Merrill Ranch Water System, PWS #11-136

According to ADEQ Compliance Status Reports, dated February 26, 2013, the water system has no deficiencies and ADEQ has determined this water system is currently delivering water that meets water quality standards required by CFR 141/ Arizona Administrative Code, Title 18, and Chapter 4.

Wastewater:

1. Pecan Wastewater System, Inventory #105324
2. San Tan Wastewater System, Inventory #105325
3. Section 11 Wastewater System, Inventory #103081
4. Anthem Wastewater System, Inventory #105646

According to ADEQ Compliance Status Reports, dated February 4, 2013, ADEQ has reported that the Anthem and San Tan wastewater systems are in compliance with ADEQ regulations, the Pecan and Section 11 wastewater systems are not in compliance due to five (5) open Notice of Violations.

Staff recommends that any CC&N extension approved in this proceeding be conditioned upon the Company's filing updated ADEQ Compliance Status Reports indicating that all water and wastewater systems are in compliance with ADEQ regulations.

Certificate of Approval to Construct

The ADEQ Certificate of Approval to Construct ("ATC") for water and wastewater facilities needed to serve the requested area has not been submitted by the Company. Staff recommends that the Company docket as a compliance item in this docket and within two years of the effective date of an order in this proceeding, a copy of the ADEQ-ATC for water and wastewater facilities needed to serve the first parcel in the requested extension areas.

Arizona Department of Water Resources ("ADWR") Compliance

Compliance Status

The Johnson Ranch water system is located in the Phoenix Active Management Area ("AMA"). ADWR has reported that this system is in compliance with its requirements governing water providers and/or community water systems.

The Anthem water system is located in the Pinal AMA. ADWR has reported that this system is in compliance with its requirements governing water providers and/or community water systems.

Arizona Corporation Commission ("ACC") Compliance

On February 29, 2013, the Utilities Division Compliance Section reported the Company had no delinquent ACC compliance issues.

Curtailement Tariff

The Company has an approved curtailement tariff that became effective on July 9, 2005.

Backflow Prevention Tariff

The Company has an approved backflow prevention tariff that became effective on June 30, 1997.

Best Management Practice (“BMP”) Tariffs

The Company has approved BMP Tariffs that became effective on August 17, 2011.

Summary

Conclusions

- A. Staff concludes that the Company’s existing water and wastewater systems will have adequate capacity to serve the existing customers and proposed CC&N extension areas or it can reasonably be expected that the Company will develop additional production, storage and wastewater treatment capacity as required in the future.
- B. Staff concludes that the estimated cost for the proposed water and wastewater plant facilities is reasonable. The approval of this CC&N extension application does not imply any particular future treatment for rate base. No “used and useful” determination of the proposed water and wastewater plant facilities was made and no conclusions should be inferred for rate making or rate base purposes.
- C. According to ADEQ Compliance Status Reports, dated February 5, 2013, the water system (PWS #11-128) had an acute violation for the total coliform rule from August 2012 (Twenty five samples collected on August 13, 2012 were analyzed as positive for the presence of total coliform bacteria of the 60 samples required each month. Three of the 25 total coliform positive samples collected on August 13, 2012, tested positive for the presence of E. coli bacteria). The water system did not properly issue a Public Notice within 10 days as required. After several months of proper sampling, the system is back in compliance for monitoring and reporting. This water system now has major deficiencies for operation and maintenance. Emergency Operations Plan needs updating. On October 9, 2012, ADEQ issued a Notice of Violation (“NOV”) to the water system.
- D. According to ADEQ Compliance Status Reports, dated February 26, 2013, the water system (PWS #11-136) has no deficiencies and ADEQ has determined this water system is currently delivering water that meets water quality standards required by CFR 141/ Arizona Administrative Code, Title 18, and Chapter 4.
- E. According to ADEQ Compliance Status Reports, dated February 4, 2013, ADEQ has reported that the Anthem and San Tan wastewater systems are in compliance with ADEQ regulations, the Pecan and Section 11 wastewater systems are not in compliance due to five (5) open Notice of Violations.

- F. ADWR has reported that Company's water systems are in compliance with its requirements governing water providers and/or community water systems.
- G. On February 29, 2012, the Utilities Division Compliance Section reported the Company had no delinquent ACC compliance issues.

Recommendations

1. Staff recommends that any CC&N extension approved in this proceeding be conditioned upon the Company filing updated ADEQ Compliance Status Reports indicating that all water and wastewater systems are in compliance with ADEQ regulations.
2. Staff recommends that the Company docket, as a compliance item in this docket, within two years of the effective date of an order in this proceeding, a copy of the ADEQ-ATC for water and wastewater facilities needed to serve the first parcel in the requested extension areas.
3. Staff recommends that the Company docket as a compliance item in this docket at least one year before the Phase 3, Phase 4 and Phase 5 of the Bella Vista Farms construction start date provided, a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water system and the principal components of each water system (e.g., source, storage, transmission lines, distribution lines, etc.) to allow verification of the estimated costs provided under the Arizona Administrative Code R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.
4. Staff recommends that the Company docket as a compliance item in this docket at least one year before any Units (or Phases) of the Merrill Ranch Expansion One construction date, a complete description of the facilities proposed to be constructed, including a preliminary engineering report with specifications in sufficient detail to describe each water/waste system and the principal components of each water/waste system to allow verification of the estimated costs provided under the Arizona Administrative Code R14-2-402 subsection (B)(5)(o) and verification that the requirements of the Commission and the Arizona Department of Environmental Quality can be met.
5. Staff recommends that Company be required to provide separate wastewater descriptions for each wastewater system (for example, wastewater flows including peak flow and average flow) in future Commission Annual Reports, beginning with the 2013 Annual Report filed in 2014.

Bella Vista Farms

CONCEPTUAL LAND USE & OPEN SPACE PLAN

EXHIBIT II-3

LEGEND

--- PEDESTRIAN PATH OR TRAIL

PARCEL
 PARCEL DESIGNATION
 ZONING CATEGORY
 LAND USE
 NUMBER OF ACRES

CR-3
 MD
 1.4 AC

COMMUNITY PARK (10-20 ACRES)

FOCAL PARK (1/4 ACRE - 1 1/2 ACRES)

LINEAR PARK / OPEN SPACE

CR-2 - MEDIUM LOW DENSITY RESIDENTIAL
 (1.6 - 4.0 DU/JAC., 2.9 DU/JAC. TARGET)

CR-3 - MEDIUM DENSITY RESIDENTIAL
 (3.1 - 5.6 DU/JAC., 3.9 DU/JAC. TARGET)

GR-5 - HIGH DENSITY RESIDENTIAL
 (10.1 - 20.0 DU/JAC., 19.1 DU/JAC. TARGET)

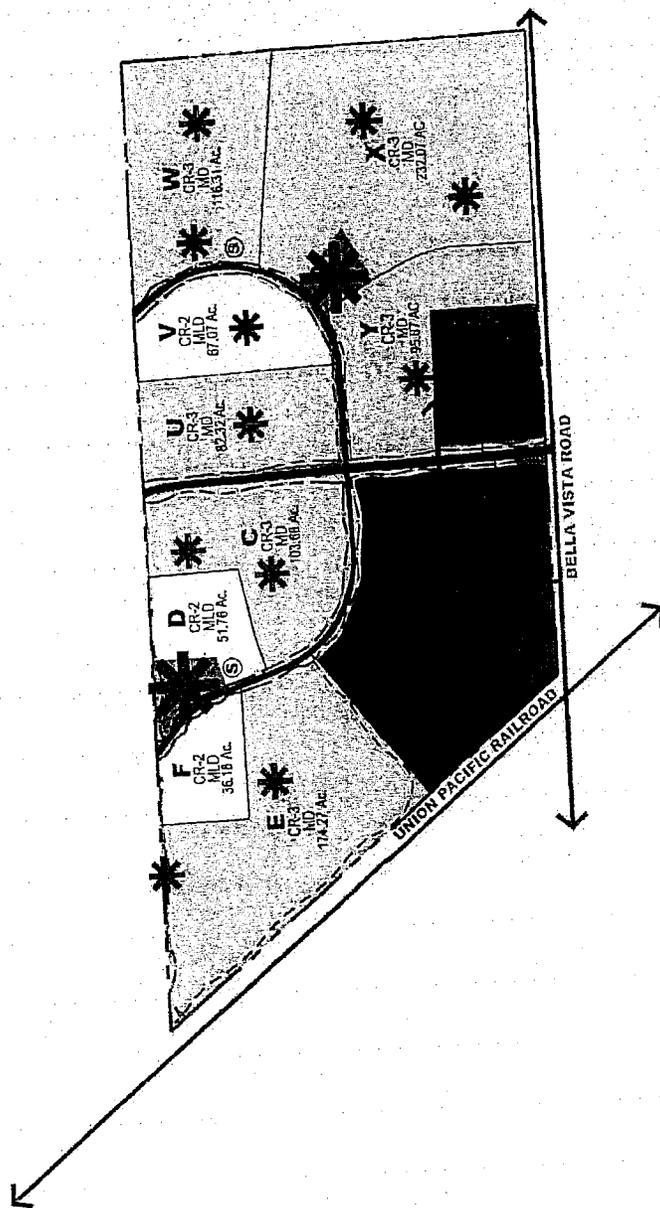
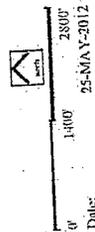
CB-1 - COMMUNITY COMMERCIAL

POTENTIAL K-8 SCHOOL LOCATION

POTENTIAL SRP SUBSTATION LOCATION

Note:

* The total units allowed within the Bella Vista Farms PAD is capped at 7,506 Units.



NOTES:
 1. ALL OPEN SPACE REPRESENTED ON THE CONCEPTUAL MASTER PLAN IS CONCEPTUAL IN NATURE AND HAS AN UNDERLYING RESIDENTIAL ZONING DESIGNATION.

2. ALL INFRASTRUCTURE LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE.

Figure 1



anthem
BY DEL WEBB

Units 53 - 59
Phasing Plan



Scale: 1" = 500'
March 18, 2013



HADLEY
DESIGN GROUP

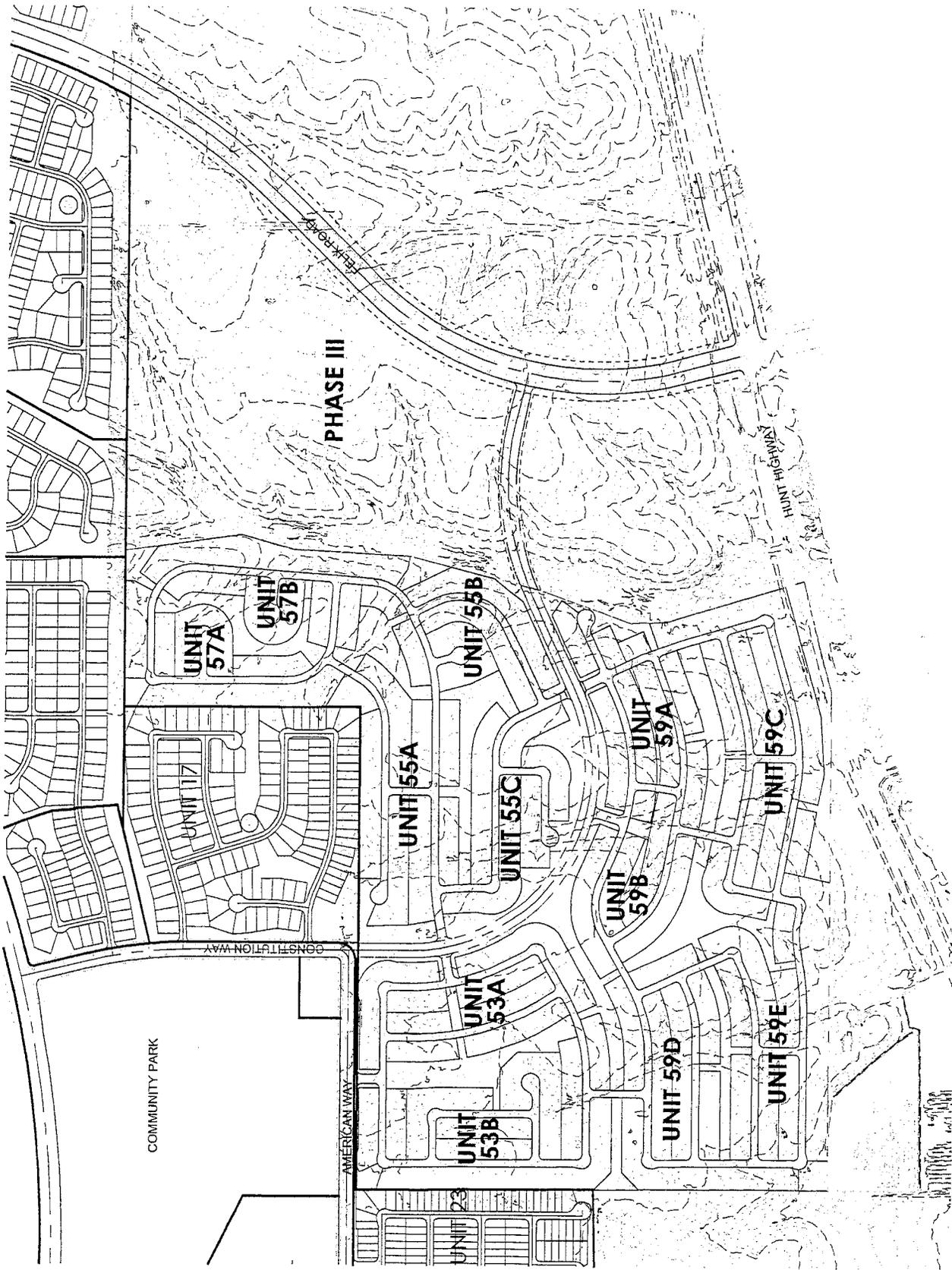


Figure 2

MEMORANDUM

TO: Bob Gray
Executive Consultant III
Utilities Division

FROM: Lori H. Miller 
GIS Technician
Utilities Division

THRU: Del Smith 
Engineering Supervisor
Utilities Division

DATE: January 2, 2013

RE: **JOHNSON UTILITIES COMPANY (DOCKET NO. WS-02987A-12-0136)**
SECOND AMENDED LEGAL DESCRIPTION

The area requested by Johnson for an extension for water and sewer service has been plotted with no complications using an amended legal description, which has been docketed. This legal description is attached and should be used in place of the original and all subsequent descriptions submitted with the application.

Also attached are copies of the maps for your files.

:lhm

Attachments

cc: Mr. Jeffrey Crockett
Mr. Daniel Hodges
Ms. Deb Person (Hand Carried)
Mr. Jian Liu
File

CC & N Legal Description for T3S, R8E for water only

All of the West Half of Section 14;

All of Section 15;

All of Section 16 not presently certificated for water to Johnson Utilities Co.; all in Township 3 South, Range 8 East, being more particularly described as follows:

Beginning at the Southeast Corner of Section 16;

Thence North $37^{\circ} 07' 25''$ West along the Southern Pacific Railroad Right-of-Way, a distance of 6619.56 feet to a point on the North line of Section 16;

Thence North $89^{\circ} 59' 17''$ East along the North Line of Section 16, 15, and 14, a distance of 11,915.14 feet to the North Quarter Corner of Section 14;

Thence South $00^{\circ} 00' 00''$ East, along the North-South Mid-Section Line of Section 14 a distance of 5280.00 feet to the South Quarter Corner of Section 14;

Thence South $89^{\circ} 59' 47''$ West along the South Section Lines of Sections 14, 15, and 16 a stance of 7920.00 feet the Southeast Corner of Section 16 and the TRUE POINT OF BEGINNING;



BAXTER DESIGN GROUP

Johnson Utilities

Water and Sewer CC&N Request – Boundary Description

A Parcel of Land lying within the Northwest Quarter of Section 29 and Section 30, Township 4 South, Range 9 East, of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

Commencing at the North Quarter Corner of Section 30 (#5 RB w/2" AC LS 21065, Found), said point being the POINT OF BEGINNING from which the Northeast Corner of Section 30 (#5 RB w/2" AC LS 21065) bears South 89 degrees 55 Minutes 26 Seconds East (Basis of Bearing), a distance of 2622.97 feet;

Thence, South 89 Degrees 55 Minutes 26 Seconds East, a distance of 2622.97 feet;

Thence, North 89 Degrees 54 Minutes 12 Seconds East, a distance of 698.65 feet;

Thence Southwesterly, an arc distance of 1126.18 feet along a curve to the Right having a radius of 3932.50 feet and a central angle of 16 Degrees 24 Minutes 30 Seconds (Radial Bearing North 61 Degrees 52 Minutes 32 Seconds West);

Thence, South 44 Degrees 31 Minutes 58 Seconds West, a distance of 550.46 feet;

Thence Southerly, an arc distance of 1983.37 feet along a curve to the Left having a radius of 1917.50 feet and a central angle of 59 Degrees 15 Minutes 50 Seconds (Radial Bearing South 45 Degrees 28 Minutes 02 Seconds East);

Thence, South 14 Degrees 43 Minutes 53 Seconds East, a distance of 375.12 feet;

Thence, South 75 Degrees 16 Minutes 42 Seconds West, a distance of 1688.93 feet;

Thence Westerly, an arc distance of 148.89 feet along a curve to the Left having a radius of 2864.79 feet and a central angle of 02 Degrees 58 Minutes 40 Seconds (Radial Bearing South 14 Degrees 43 Minutes 18 Seconds East);

Thence, North 89 Degrees 57 Minutes 08 Seconds West, a distance of 2720.62 feet;

Thence, North 00 Degrees 25 Minutes 48 Seconds West, a distance of 1321.69 feet;

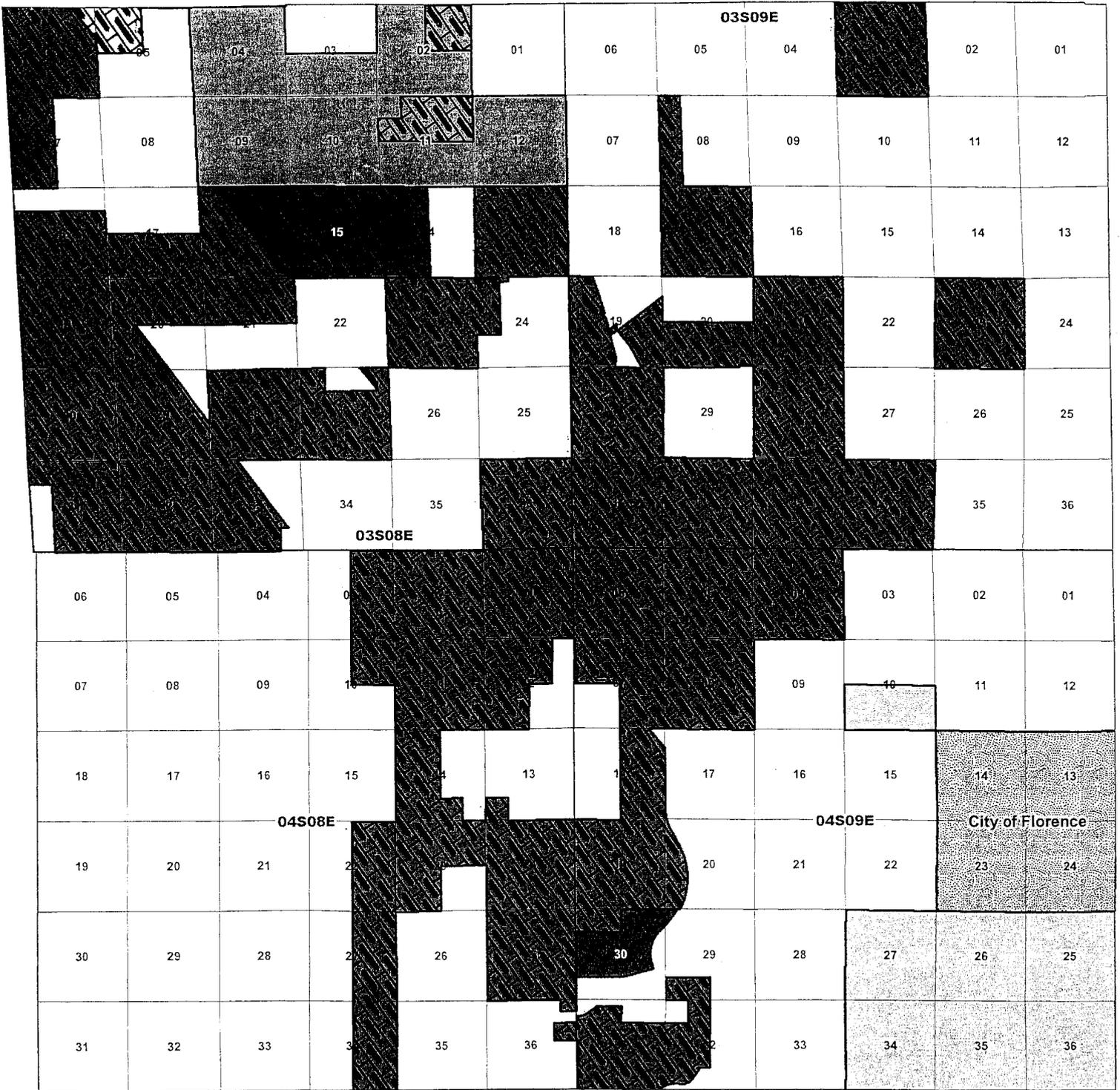
Thence, North 00 Degrees 25 Minutes 29 Seconds West, a distance of 1322.48 feet;

Thence South 89 Degrees 55 Minutes 50 Seconds East, a distance of 2641.28 feet;

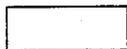
Thence North 00 Degrees 07 Minutes 47 Seconds West, a distance of 1321.63 feet to the POINT OF BEGINNING.

Containing 348.19 acres, more or less.

PINAL COUNTY 7



Diversified Water Utilities



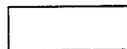
H2O, Inc.



Johnson Utilities, LLC



Sewer



Sun Valley Farms Unit VI Water Company



Johnson Utilities, LLC
Docket No. WS-02987A-12-0136
2nd Amended Application for Extension

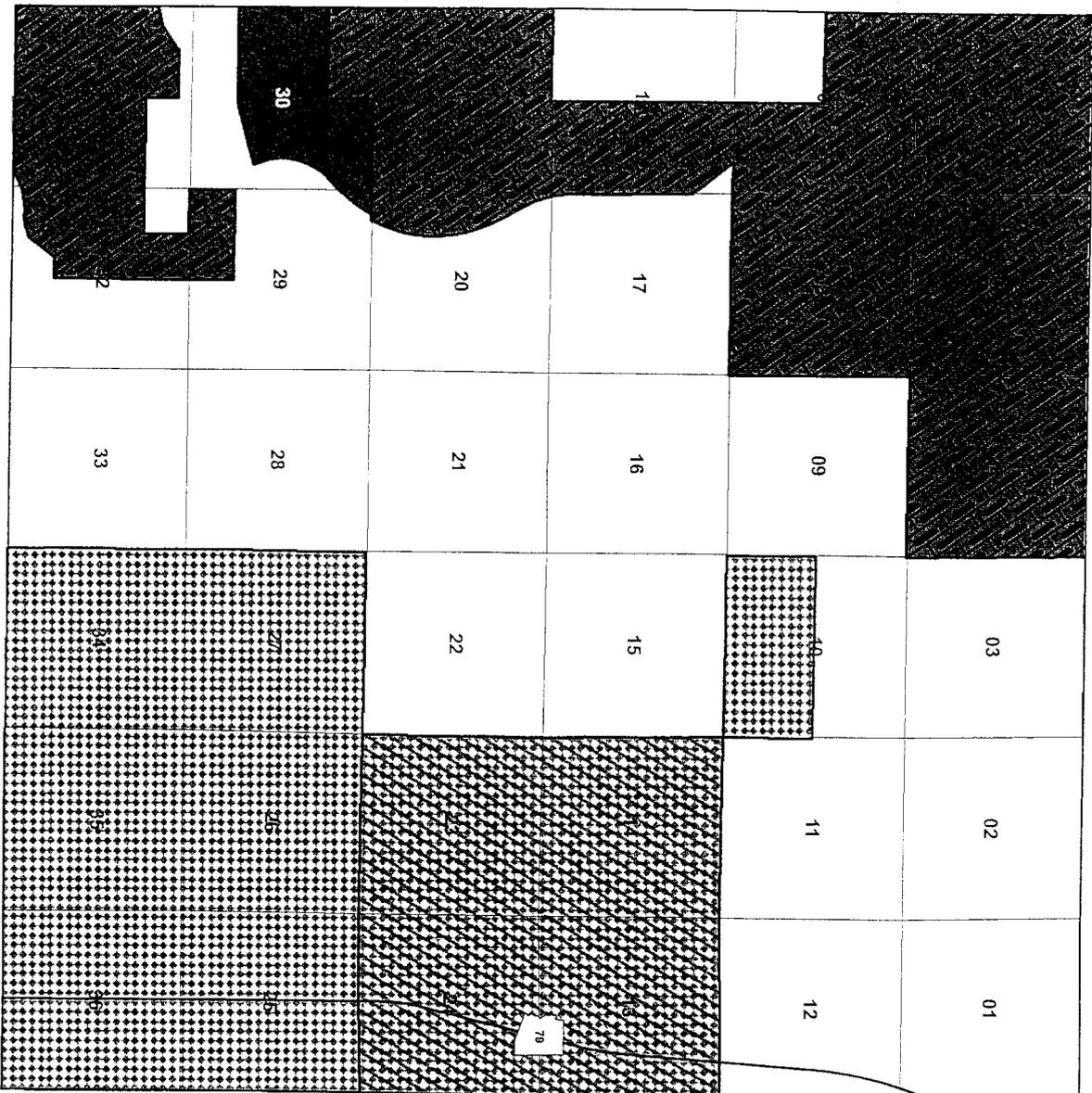


Sewer

PINAL COUNTY

Map No. 12

RANGE 9 East



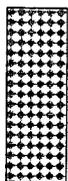
TOWNSHIP 4 South



WS-02987A (8)



Johnson Utilities, LLC



(4)



City of Florence (Nonjurisdictional)



(2)

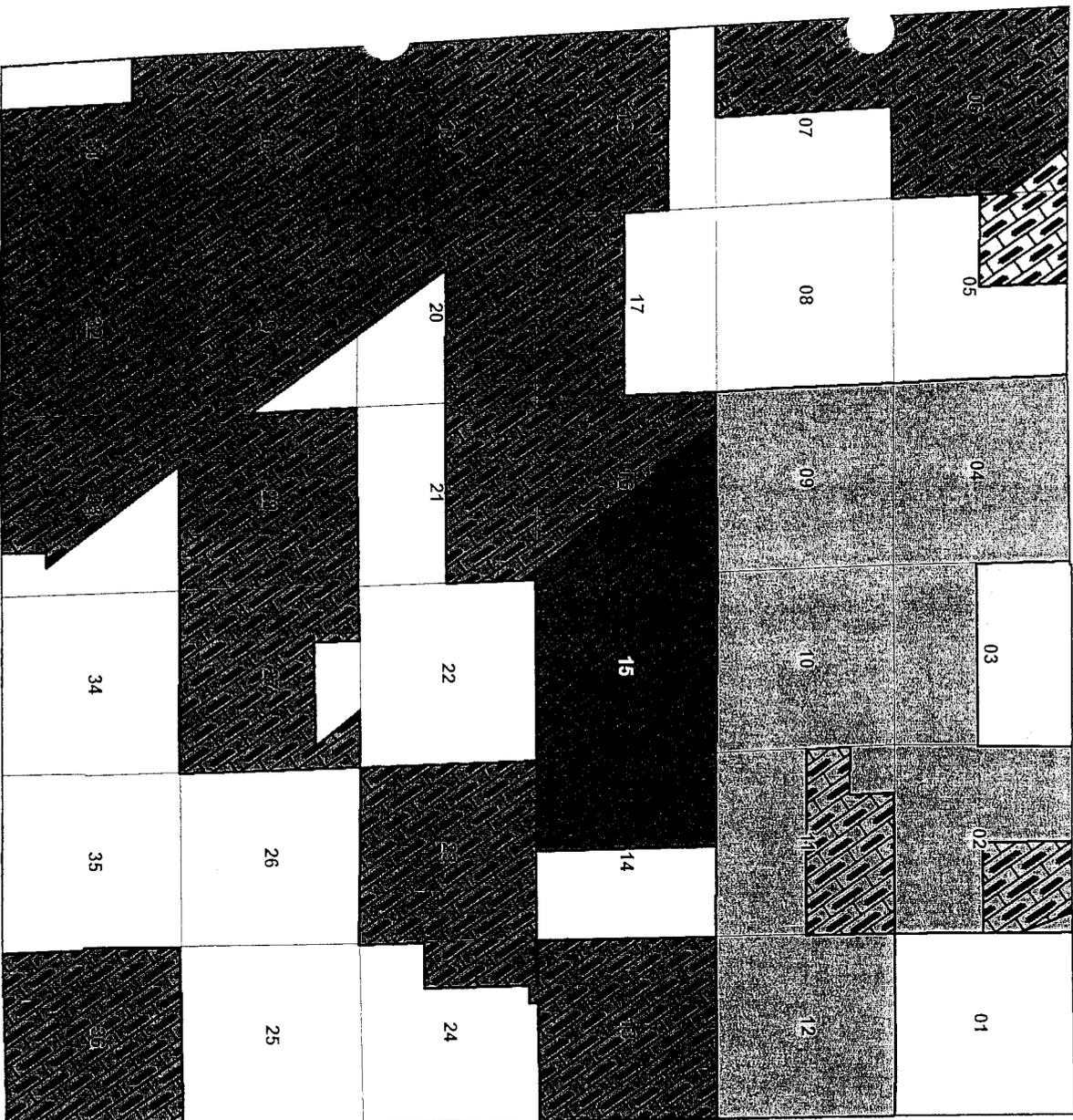


Johnson Utilities, LLC
 Docket No. WS-02987A-12-0136
 2nd Amended Application for
 Extension for Water & Sewer



PINAL COUNTY

RANGE 8 East



TOWNSHIP 3 South

Map No. 11



W-02859A (3)

Diversified Water Utilities, Inc.



W-02234A (2)

H2O, Inc.



WS-02987A (8)

Johnson Utilities, LLC



W-02425A (2)

Sun Valley Farms Unit VI Water Company



(2)

Johnson Utilities, LLC
 Docket No. WS-02987A-12-0136
 2nd Amended Application for Extension for
 Water Only



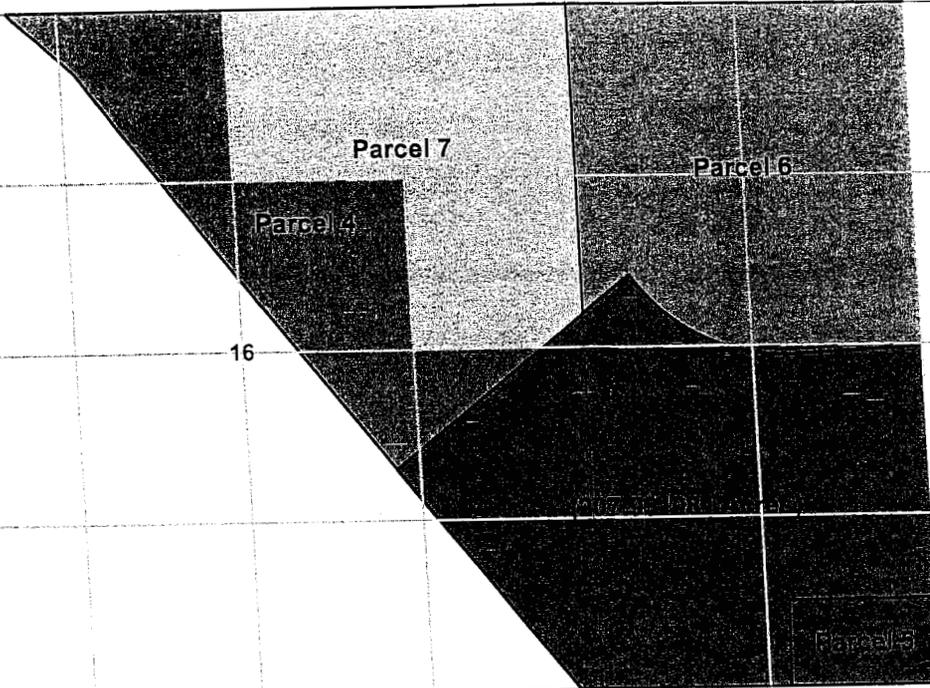
Prepared by:
 Arizona Corporation Commission
 Utilities Division
 Engineering Section/GIS Mapping
 602-542-4251

08

09

10

11



Parcel 7

Parcel 6

Parcel 4

Parcel 3

17

16

15

14

20

21

22

23

Arizona Department of Environmental Quality
 Drinking Water Monitoring and Protection Unit
 Mail Code 5415B-2
 1110 West Washington Street
 Phoenix, AZ 85007

Drinking Water Compliance Status Report

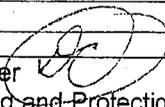
System Name	System Type	Is system consecutive?
JOHNSON UTILITIES	<input checked="" type="checkbox"/> Community	<input type="checkbox"/> Yes, to PWS #
System ID #	<input type="checkbox"/> Non-transient Non-community	
11128	<input type="checkbox"/> Transient Non-community	<input checked="" type="checkbox"/> No

Overall compliance status	<input type="checkbox"/> No major deficiencies	<input checked="" type="checkbox"/> Major deficiencies
Monitoring and Reporting status	<input checked="" type="checkbox"/> No major deficiencies	<input type="checkbox"/> Major deficiencies
Comments: The system had an acute violation for the total coliform rule from August 2012 (Twenty five samples collected on August 13, 2012 were analyzed as positive for the presence of total Coliform bacteria of the 60 samples required each month. Three of the 25 total Coliform positive samples collected on August 13, 2012, tested positive for the presence of E. coli bacteria 40 CFR § 141.63(b) / A.A.C. R18-4-109.). The system did not properly issue a Public Notice within the 10 day required period which violated 40 CFR § C 141.205 / A.A.C. R18-4-119. After several months of proper sampling, the system is back in compliance.		

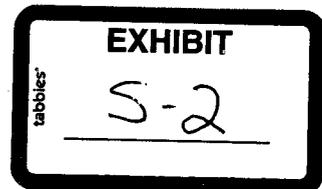
Operation and Maintenance status	<input type="checkbox"/> No major deficiencies	<input checked="" type="checkbox"/> Major deficiencies
Date of last Sanitary Survey	8-24-12	Inspector
		Deborah Schadewald-Kohler, PHX
Major unresolved/ongoing operation and maintenance deficiencies: <input type="checkbox"/> unable to maintain 20psi <input type="checkbox"/> inadequate storage <input type="checkbox"/> cross connection/backflow problems <input type="checkbox"/> surface water treatment rule <input type="checkbox"/> treatment deficiencies <input type="checkbox"/> ATC/AOC <input type="checkbox"/> certified operator <input type="checkbox"/> other =		
Comments: Recommendations made at time of inspection: Source - cracked well slab needs repaired and clean up well site, O&M - Emergency Operations Plan needs updating, Finished Water Tank - install locks on tank hatches. Corrections were made in the maintenance of the system but ADEQ has not received an updated emergency operations plan, or been provided information on training staff. The PWS is under an NOV issued 10-9-12 and has not complied with the requirements in the NOV.		

Is an ADEQ administrative order in effect?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Comments: None		

System Information	
Population Served	54717
Service Connections	19542
Number of Entry Points to the Distribution System	10
Number of Sources	14
Initial Monitoring Year	2000
Monitoring Assistance Program (MAP) System	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Evaluation completed by	Donna Calderon, Manager  Drinking Water Monitoring and Protection Unit		
Phone	602-771-4641	Date	February 5, 2013
<input type="checkbox"/>	Based upon data submitted by the water system, ADEQ has determined that this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and PWS is in compliance.		
<input type="checkbox"/>	Based upon the monitoring and reporting deficiencies noted above, ADEQ cannot determine if this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and/or PWS is not in compliance.		
<input checked="" type="checkbox"/>	Based upon the operation and maintenance deficiencies noted above, ADEQ cannot determine if this system is currently delivering water that meets water quality standards required by 40 CFR 141/Arizona Administrative Code, Title 18, Chapter 4, and/or PWS is not in compliance.		

This compliance status report does not guarantee the water quality for this system in the future, and does not reflect the status of any other water system owned by this utility company.





Janice K. Brewer
Governor

ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY

1110 West Washington Street • Phoenix, Arizona 85007
(602) 771-2300 • www.azdeq.gov



Henry R. Darwin
Director

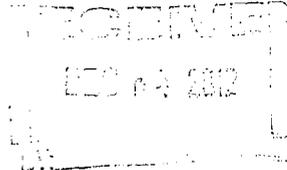
CERTIFIED MAIL 7012 1010 0001 8068 8652

Return Receipt Requested

November 29, 2012

Case ID: 134234

Johnson Utilities, LLC
Attn: Ken Watkins
5230 E Shea Blvd.
Scottsdale, AZ 85254-5750



Re: Notice of Violation issued to Johnson Utilities

Dear Mr. Watkins:

This letter constitutes the monthly update on the status of Arizona Department of Environmental Quality ("ADEQ") action resulting from ADEQ's inspection of the above-referenced site on August 24, 2012, as required by A.R.S. § 41-1009(H).

The attached Notice of Violation ("NOV") is an informal compliance assurance tool used by ADEQ to put a responsible party (such as a facility owner or operator) on notice that the Department believes a violation of an environmental requirement has occurred. It describes the facts known to ADEQ at the time of issuance and cites the requirement that ADEQ believes the party has violated.

Although ADEQ has the authority to issue appealable administrative orders compelling compliance, an NOV has no such force or effect. Rather, an NOV provides the responsible party an opportunity to do any of the following before ADEQ takes formal enforcement action: (1) meet with ADEQ and discuss the facts surrounding the violation, (2) demonstrate to ADEQ that no violation has occurred, or (3) document that the violation has been corrected.

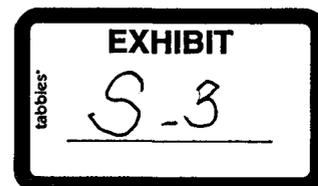
ADEQ reserves the right to take a formal enforcement action, such as issuing an administrative order or filing a civil lawsuit, regardless of whether the Department has issued an NOV. Neither ADEQ's issuance of an NOV nor its failure to do so precludes the Department from pursuing these remedies. However, the timeliness of a complete response to this notice will be considered by ADEQ in determining if and how to pursue such remedies.

Sincerely,

Daniel L. Czecholinski, Manager
Water Quality Utility Field Service Unit

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

Printed on recycled paper



cc: Donna Calderon, Manager, Drinking Water Monitoring and Protection Unit
WQCFSU Reading File ~~R4~~ #4FS13-368
PWS File AZ0401128



Janice K. Brewer
Governor

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1110 West Washington Street Phoenix, Arizona 85007
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Henry R. Darwin
Director

CERTIFIED MAIL
Return Receipt Requested

Case ID #: 134234

November 29, 2012

Johnson Utilities, LLC
Attention: Ken Watkins
5230 E Shea Blvd
Scottsdale, AZ 85254-5750

Subject: Johnson Utilities, Place ID 18613
968 E Hunt Hwy / Queen Creek, AZ 85143-7450

NOTICE OF VIOLATION

The Arizona Department of Environmental Quality (ADEQ) has reason to believe that Johnson Utilities, LLC as the owner/operator of Johnson Utilities has violated a requirement of the Arizona Revised Statutes (A.R.S.), a rule within the Arizona Administrative Code (A.A.C.), or an applicable permit/license, administrative order or civil judgment. ADEQ discovered the violations alleged below during an inspection completed on August 24, 2012.

I. LEGAL AUTHORITY and NATURE OF ALLEGED VIOLATION(S)

1. **A.R.S. § 49-241(B)(1)**

Operation of a surface impoundment without an aquifer protection permit.

At the time of the inspection, ADEQ staff observed evidence of water backwashed from the sand filter at the Circle Cross Well (55-599026) in an unlined impoundment. Johnson Utilities does not have a Type 3 general permit to discharge the backwash water to this impoundment.

II. DOCUMENTING COMPLIANCE

1. Within 10 calendar days of receipt of this Notice, please submit documentation that the violation(s) never occurred, or contact the Water Quality Utility Field Service Unit inspector to schedule a pre-application meeting to obtain an Aquifer Protection Permit from Groundwater Section.
2. Within 120 calendar days of receipt of this Notice, please submit documentation that the violation(s) never occurred, or an administratively complete Aquifer Protection Permit application

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III. SUBMITTING COMPLIANCE DOCUMENTATION

Please send all compliance documentation and any other written correspondence regarding this Notice to ADEQ at the following address:

Arizona Department of Environmental Quality, Attention: Deborah L. Schadewald-Kohler, Water Quality Utility Field Service Unit, 1110 W Washington St, Phoenix, AZ 85007 MC: 5415B-1

IV. STATEMENT OF CONSEQUENCES

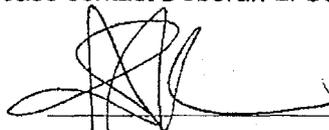
1. The time frames within this Notice for achieving and documenting compliance are firm limits. Failure to achieve or document compliance within the time frames established in this Notice will result in an administrative compliance order or civil action requiring compliance within a reasonable time frame, substantial civil penalties, and/or the suspension or revocation of an applicable permit/license. ADEQ will agree to extend the time frames only in a compliance schedule negotiated in the context of an administrative consent order or civil consent judgment.
2. Achieving compliance does not preclude ADEQ from seeking civil penalties, and/or suspending or revoking an applicable permit/license for the violation(s) alleged in this Notice as allowed by law.

V. OFFER TO MEET

ADEQ is willing to meet regarding this Notice. To obtain additional information about this Notice or to schedule a meeting to discuss this Notice, please contact Deborah L. Schadewald-Kohler at (602) 771-2225.



Daniel L. Czecholinski, Manager
Water Quality Utility Field Service Unit



Deborah L. Schadewald-Kohler
Water Quality Utility Field Service Unit



Janice K. Brewer
Governor

ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY

1110 West Washington Street • Phoenix, Arizona 85007
(602) 771-2300 • www.azdeq.gov



Henry R. Darwin
Director

February 4, 2013

Arizona Corporation Commission
Mr. Jian Liu, Utilities Engineer
1200 W. Washington
Phoenix, Arizona 85007

RE: Compliance Status for Pecan Water Reclamation Plant, Inventory number 105324,
Place ID 18583, Permit number 37771.

Dear Mr. Liu,

Your request for an evaluation of the compliance status for the above facility is completed. Our records indicate that above facility has Aquifer Protection Permit (APP) number 37771 issued on 02/04/2008.

Review of the APP reporting requirements and self-monitoring results that have been submitted for the period of 1/1/2012 through 9/30/2012 indicates there are monitoring or reporting violations during the period as follows:

1. Missing monthly results for monthly average flow to reuse and monthly average flow for month of July 2012 at monitoring point 91561, Phase II Effluent Pump Station.
2. Missing monthly results for groundwater monitoring at MW#1 for 3rd quarter of 2012.

In addition, there are three open Notice of Violation (NOV) associated with the Pecan Water Reclamation Plant. Detailed descriptions of these NOVs are provided in the Arizona Department of Environmental Quality's (ADEQ)'s compliance status letter for the Pecan Water Reclamation Plant to the Arizona Corporation Commission, dated July 12, 2011.

ADEQ confirms Johnson Utilities, LLC has met the "Compliance Conditions" of the NOVs with Case IDs 92021, 97512, and 120285. ADEQ is in discussions with Johnson Utilities, LLC to resolve the company's liabilities for the violations cited in the NOV, and will maintain the open status of the NOVs until a resolution is reached. ADEQ is not aware of any other on-going environmental regulatory issues concerning maintenance and operation of the facility. It should be understood that the compliance status of a facility may change at any time. This compliance review is based on the most current information available

It should be understood that the compliance status of a facility may change from time to time based upon monitoring results or a facility inspection. This compliance review is based on the most current information available at the time of the review.

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

EXHIBIT

tabbies

5.4

Sincerely,

A handwritten signature in black ink, appearing to read "Mindi Cross", with a long horizontal flourish extending to the right.

*Mindi Cross, Manager
Water Quality Compliance Section
1110 W Washington Street
Phoenix, AZ 85007
Phone: (602) 771-2209
Fax: (602) 771-4505*

cc: Greg Brown
Facility file