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BEFORE THE ARIZONA CORPORATION COM

2 Commissioners

- 3 KRISTIN K. MAYES, Chairman
- 4 GARY PIERCE
- 5 PAUL NEWMAN
- 6 SANDRA D. KENNEDY
- 7 BOB STUMP

DOCKET NO. W-O2824A-07-0388

10 IN THE MATTER OF THE APPLICATION OF ICR WATER USERS ASSOCIATION, AN
 11 ARIZONA CORPORATION, FOR A DETERMINATION OF THE CURRENT FAIR VALUE
 12 OF ITS UTILITY PLANT AND PROPERTY AND FOR INCREASES IN ITS RATES AND
 13 CHARGES FOR UTILITY SERVICE.

**NOTICE OF FILING OF
 COMPLIANCE ITEM IN ACCORDANCE
 WITH DECISION #70977**

14
 15 ICR Water Users Association, Inc. is hereby filing a copy of its Best Management
 16 Practices implemented in accordance with Decision #70977. Included with the filing are
 17 (1) a description of each of the Best Management Practices implemented (2) associated
 18 attachments which support or supplement those descriptions.

20 **RESPECTFULLY SUBMITTED** this 24th day of August, 2009.

21
 22 By:

23 Robert M. Busch
 24 Manager, ICR Water Users Association
 25 P.O Box 5669
 26 Chino Valley, Az, 86305
 27

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Arizona Corporation Commission
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AUG 25 2009

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**ICR WATER USERS ASSOCIATION (ICRWUA)
CONSERVATION EFFORTS REPORT
AUGUST 24, 2009**

Pursuant to ACC Decision # 70977, (Docket No. W-02824A-07-0388), ORDER, p.37, lines 23-27, which states as follows:

“IT IS FURTHER ORDERED that ICR Water Users Association, Inc. shall implement, within 120 days of the effective date of this Decision, at least ten Best Management Practices (as outlined in ADWR’s Modified Non-Per Capita Conservation Program) and submit those BMPs to Docket Control within 120 days of the effective date of this Decision. Only one of these BMPs shall come from the “Public awareness/PR’ or “Education and Training” categories of the BMPs....”

ICRWUA submits the following list of its Best Management Practices (BMP’s)

Background:

ICR Water Users Association, (ICRWUA) is a member-owned, non-profit water company with approximately 445 customers in Yavapai County. Its largest customer, Talking Rock Golf Club, (TRGC) uses over 350 acre feet of water from ICRWUA, in addition to treated effluent from the ICR Sanitary District to water the Talking Rock Golf Course. TRGC used over 70% of the 430 acre feet of water delivered to all its customers in 2008. Significant effort has been directed by TRGC toward conservation and efficient use of water. As a result, its use of water in 2008 declined by 19.8% from its previous 3-year average. Use in 2009 is down substantially from 2008. TRGC is a major portion of ICRWUA’s BMP Program.

Section 1. Public Education Program

1. Development of Website.

A major project for ICRWUA’s all-volunteer board was to implement the ICRWUA website (www.icrwua.com). The website reaches full and part-time residents. Monthly water use by category is provided and company documents too bulky and too costly to reproduce are now available to all members. These include basics such as the Articles of Incorporation and By-Laws, as well as comment on one-time events such as our recent rate case. The website is a work in progress and we hope to use it to educate our members on conservation.

Section II Additional BMPs

Category 1. Public Awareness/Public Relations

2. (sec. 1.2) Special Events Programs & Community Presentations

ICRWUA participated in the "Talking Green Fair" sponsored by Talking Rock Ranch on July 18, 2009. (see Exhibit #1 attached) The event, attended by 20 vendors and approximately 150 people, provided "green ideas" for new construction and landscape as well as ways to improve older construction and landscape. Harvesting gray water, drip irrigation, and low water plants were just a few of the demonstrations. (a copy of vendor business cards are attached as Exhibit #2.) Talking Rock will present two fairs per year, the next in October 2009. ICRWUA will participate in these future events.

Category 3. Outreach Services

3. (sec. 3.8) Water Waste Investigations and Information

Fire Hydrants in the ICRWUA district were being wrongfully used by some contractors and ranchers to avoid paying for water. A zero tolerance policy was adopted by the Board. Members were asked to report incidents to the Board, which were then followed up with notice to the offenders of relevant statutes, a demand for payment for water taken, and an agreement to pay for future use. The zero tolerance policy is ongoing. (It should be noted that this is a rural area, and the need to provide water is different from the city where sources are more readily available).

Category 4. Physical System Evaluation & Improvement

4. (sec. 4.1) Leak Detection Program

In order to eliminate water loss from infrastructure owned and operated by ICRWUA, an annual program of inspecting all valves and fire hydrants for leaks has been implemented effective September 1, 2009. The program consists of the following:

- a. All valves will be inspected and exercised in a 12 month period.
- b. Leaking valves will be identified and repaired
- c. A written record of the test/exercise will be made for each valve, showing date of inspection and the results.
- d. All fire hydrants will be checked using a stethoscope to determine if the hydrant is leaking below grade.
- e. Leaking hydrants will be identified and repaired.
- f. An inventory and record of each test will be made, including date of test, location of hydrant, and results of test.

5. (sec. 4.2) Meter Repair/Replacement

In order to systematically evaluate and identify under-registering meters ICRWUA has implemented the following program effective September 1, 2009:

- a. All Residential, Commercial and Well Head meters within ICRWUA will be checked for accuracy. Those found to be reading incorrectly will be replaced.
- b. A Master List of meter locations will be used as a basis for meter tests.
- c. Older meters will be tested first to the extent practical.
- d. Each summer season, approximately 1/10 of the meters in service will be tested for accuracy.
- e. Meter tests will be recorded on the Master Record, showing date of the test, address, meter number, and test results.
- f. Meters not registering within + or - 3% accuracy will be replaced.
- g. Testing will be conducted using a device with two known accurate meters in series.

6 sec. (4.3) Comprehensive Water System Audit

This audit has been addressed in the sec, 4.1 and sec. 4.2 above. By replacement of the meter at the ICR transfer station, we have already begun to implement the audit. All water loss issues will be identified and corrected on a case by case basis.

Category 5. Ordinances/conditions of service/tariffs

7. (sec.5.1) Low water use landscaping requirements for residential and or common areas.

Landscape Guidelines at Talking Rock are strictly enforced. Each home site has a building envelope, a transition area, and a natural area.

- a. The natural area must remain untouched. Any damage during construction must be repaired with plants indigenous to the area.
- b. The transitional Area is within the Building Envelope, but outside of the residence or site walls. All plant material used in this area must be selected from the approved low water list in the guidelines. (see copy of Talking Rock Guidelines attached as Exhibit #3).

Category 7. Research / Innovation

- 8 (sec. 7.1) Implement an Emerging Technology

Use of Wastewater is an emerging and improving technology. Talking Rock collects wastewater from houses in all of its member developments. It treats this wastewater and returns high quality effluent to water the Golf Course. At the present time, the effluent is blended with ground water.

As more houses are built, less ground water will be required to maintain the golf course.

9 New fixtures utilize water saving technologies. Talking Rock Golf has installed 20 low flow, dual flush toilets that save up to 80% of annual water use per toilet. In addition, 10 low flow urinals have been installed.

10. (sec. 7.4) Conduct quantitative analysis of a conservation measure (for water savings results).

Talking Rock Golf eliminated 10 acres (11%) of turf and replaced it with native vegetation. This represents upwards of 30 acre feet (9.78 million gallons) of water reduction per year.

11. (sec. 7.5) Implementation of Smart Irrigation technology.

The Talking Rock golf course irrigation system has been upgraded, and is computer controlled. Daily water use is calculated by a main weather system that takes into account current temperature conditions, evaporation rates (water loss through the air), transpiration rates (water loss through the plant), precipitation, and other factors. This enables the Superintendent to use 20% less water than is recommended without this system.



TALKING ROCK

VISIT OUR SITE REQUEST INFO

*You're Invited to Talking Rock's Talking Green Fair
July 18 from 10 a.m. to 2 p.m. at the Ranch Compound.*

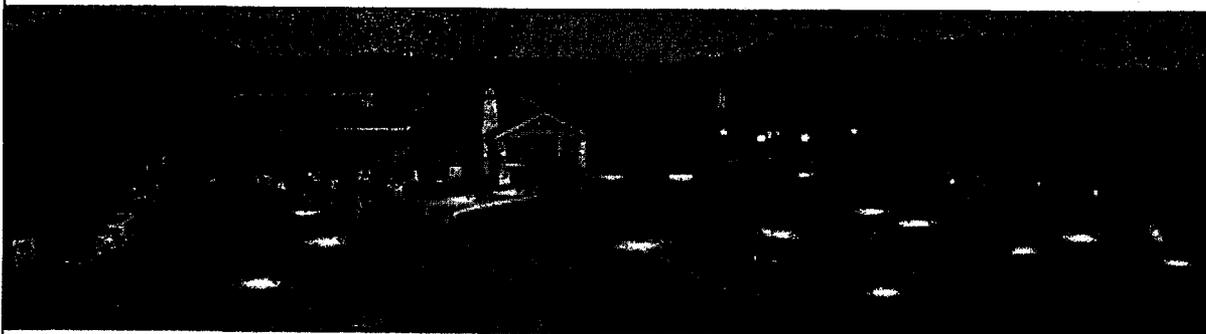
Talking Rock in Prescott was designed with architecture inspired by the generations of ranchers who came before and to be in total harmony with the land. An important part of Talking Rock is a respect for the land that translates in to Living Green.

To help people who want to build a green and environmentally sensitive home, Talking Rock is holding its first annual **Talking Green fair on July 18 from 10 a.m. to 2 p.m. at the Ranch Compound**. There will be booths with builders, architects, building materials suppliers and more. **And there will be a drawing for a round of golf and lunch for four people.**

So if you ever wondered how to build a great new home that has everything you want while staying true to the respect for the land that we all share, come to Talking Green. You will be amazed at how you can save on energy while maximizing the design of your home with materials such as reclaimed wood and rock materials.

- What: Talking Green Fair – A fair with information on how to build an environmentally sensitive home, with information from builders, architects, and building material suppliers
- When: Saturday July 18th, 10a-2p
- Where: Ranch Compound at Talking Rock

Come join us at Talking Green on July 18 and learn firsthand how you can build your own home that shows as much respect for the environment as our community. No RSVP is necessary, but if you have questions please call: 928-830-0866.



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Talking Rock's Talking Green Fair
 July 18, 2009
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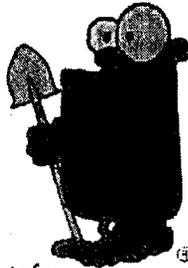
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Talking Rock's Talking Green Fair
 July 18, 2009
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Talking Rock's Talking Green Fair
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2001

Design Guidelines



TALKING ROCK

Design Guidelines

October 1, 2008

Revised September 1, 2006

Revised October 1, 2004

Revised April 9, 2004

Revised March 31, 2003

August 13, 2001



TALKING ROCK

“Talking Rock is a one-of-a-kind celebration of early Arizona at its most beautiful and best. A natural setting of prehistoric rock art, sculptural land forms and distant views has been enhanced with old Arizona ranch architecture, rich sheltered porches and outdoor living. It is a place in which the mystery and legend of rural Arizona is given new life. It is the grandeur of the old, with the comfort of the new.”

8.5 LEED Architects

New owners may want to hire a LEED Architect to design their home. The definition of LEED is as follows:

- “LEED (Leadership in Energy and Environmental Design) is an ecology-oriented building certification program run under the auspices of the U.S. Green Building Council (USGBC). LEED concentrates its efforts on improving performance across five key areas of environmental and human health: energy efficiency, indoor environmental quality, materials selection, sustainable site development, and water savings”.

LEED certification provides independent, third-party verification that a building project meets the highest green building and performance measures. All certified projects receive a LEED plaque, which is the nationally recognized symbol demonstrating that a building is environmentally responsible, profitable and a healthy place to live and work.

There are both environmental and financial benefits to earning LEED certification.

LEED- certified buildings:

- Lower operating costs and increased asset value.
- Reduce waste sent to landfills.
- Conserve energy and water.
- Healthier and safer for occupants.
- Reduce harmful greenhouse gas emissions.
- Qualify for tax rebates, zoning allowances and other incentives in hundreds of cities.
- Demonstrate an owner’s commitment to environmental stewardship and social responsibility.

8.6 Green Product Listings

Green buildings include all components of design, materials and equipment. The green building industry provides an exhaustive product list in the following categories. Go the web site of www.BuildingGreen.com to learn more about Building Green.

- Site work & Landscaping
- Decking
- Outdoor Structures
- Foundations, Footers, and Slabs
- Structural Systems & Components
- Sheeting
- Exterior Finish & Trim
- Roofing
- Windows

- Doors
- Insulation
- Flooring & Floor coverings
- Interior Finish & Trim
- Paints & Coatings
- Caulks and Adhesives
- Mechanical Systems/HVAC
- Plumbing
- Lighting
- Electrical
- Appliances
- Furniture & Furnishings
- Renewable Energy

This list is by no means complete, but it is a place to start thinking. Go to bookstores or websites which daily have more information on building green houses and incorporate as many of the concepts as you can. In so doing, Talking Rock will be a better place for you and all future generations.

Green Environmental

Talking Rock has implemented a "Green Section" in its' design guidelines in order to expand the commitment in conservation. Talking Rock continues to work with LEED Architects "Leadership in Energy and Environmental Design" in order to promote environmentally friendly designs and construction techniques for current and future residences.

Throughout the Ranch Compound various items were installed and procedures have been implemented to maximize efficiencies and conservation such as:

- Installed dual-flush toilets that have two levers were installed — one for urine (one gallon per flush) and one for solid waste (1.6 gallons).
- Installed sensors-operated faucets to limit the amount of time the water runs, resulting in tremendous water savings up to 70 percent less than manual faucets, in all of the Ranch Compound Buildings. By shutting off during the lather cycle of 20 seconds (according to U.S. Food and Drug Administration's recommended hand-washing procedures), sensor-operated faucets can save as much as a gallon of water each use.
- Cooling and heating systems that are computer programmed, by room, allowing us to lower and raise temperatures in off hours to increase efficiency and save up to 30% on annual heating and cooling energy usage and costs.
- Motion-detecting light sensors and timers have been installed in a variety of low use areas to minimize energy use.
- Replacement of incandescent bulbs with compact fluorescents wherever possible.
- Connecting office, computer equipment and work stations to energy saving power strips.

Talking Rock continue to stay committed to recycling as we continue to add recycling bins for a variety of waste product throughout the Club facilities.

- Talking Rock recycle paper, plastic, aluminum, cardboard and glass.
- Transitioning, with a goal of 100%, use of recycled paper, plastic, toners and office supplies for all Club communication and disposables.
- Recycling of food prep bi-products such as coffee grounds for compost and cooking grease for alternative fuel.

A majority of our daily cleaning supplies are supplied by Ecolab the industry leader in environmentally sensitive sanitation and cleansing products. We also use high pressure blowers and mops for daily surface cleaning verses wide spray water hoses to minimize water use and waste.

Summary

Talking Rock is committed to manage the short and long term water management programs. The following spread sheets of the Talking Rock Water Balancing Report illustrate the demand of water, the management of water, the management of effluent storage and distribution, utilizing the existing three wells through build out. As stated above, Talking Rock has implemented several conservation components to assist in the overall water management program. Although additional water resources are part of the future Talking Rock commitment, with the addition of the effluent lake, the management of the well field production by reducing flows to 650 gal/min for golf course maximum demand, the water tank fill line modifications, Talking Rock and Southwest Groundwater maintains its' position of adequate water supply.

Talking Rock maintains the position to incorporate the ICR and TR water systems. The benefits are logical as listed below:

- A homogeneous Water District to better serve all of its residents.
- Additional emergency backup supply to ICR/TR due to pump/motor failure.
- Reduced operational maintenance with gravity connection.
- Additional fire protection.



TALKING ROCK

Design Guidelines

August 13, 2001

Revised March 31, 2003

Revised April 9, 2004

Revised October 1, 2004

Revised December 15, 2004

Revised September 1, 2006



TALKING ROCK

"Talking Rock is a one-of-a-kind celebration of early Arizona at its most beautiful and best. A natural setting of prehistoric rock art, sculptural land forms and distant views has been enhanced with old Arizona ranch architecture, rich sheltered porches and outdoor living.

It is a place in which the mystery and legend of rural Arizona is given new life. It is the grandeur of the old, with the comfort of the new."

Talking Rock Design Guidelines

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1. The Design Philosophy

Talking Rock sits in the heart of a quintessential Arizona landscape that has been inhabited since pre-history by Native Americans seeking the beauty of this land. As we come to the point in time when more people will begin to occupy this land, we all bear a great responsibility to the heritage of the land. What is built in the future becomes a positive contribution to the fragile natural setting.

The land varies dramatically from open grassland to a dense piñon and juniper forest with rugged soil. Each site within Talking Rock will require a separate and thoughtful solution that responds to the individual natural character of the site. The overriding goal of Talking Rock is to make the environment, not the buildings, the overriding focus of the community.

The first buildings at Talking Rock use historical precedents to provide a continuous reference to the history of the region. The elements of early Arizona ranch compounds are woven throughout the fabric of the community. Low one story roof lines, deep meaningful porches running the full length of the building, stone and other natural materials, rugged detailing, roofs with multiple slopes, a dominance of wood and weathered metal make up a palette that will be strongly encouraged throughout the community.

Talking Rock is a community where we strive for, in fact require, small human scale building elements. Buildings need to be delicately placed within their sites so as to become one with their setting, rather than out of scale houses that dominate over their natural setting.

Architecture and landscape in all their subtle detail must work in harmony with Talking Rock's natural setting. The development of homesites at Talking Rock begins with a respect and consideration for this natural environment. We intend that Talking Rock be a large scale work of art where the subtle blending of people, structures, and the native landscape meld into a harmonious and aesthetically pleasing community.

These Design Guidelines have been created to help our residents share in this philosophy. They are to be used in conjunction with the Talking Rock Character Book and the CC&R's to begin the design process. Particularly, the Design Guidelines are intended to provide specific direction to homesite Owners for the design of their

residences, and to ensure compatibility within the unique environment of Talking Rock. It is not the purpose of these Design Guidelines to create look-alike dwellings or suggest that they all have identical colors and materials, but to create a *harmonious architectural* approach that is sympathetic to the incredible natural setting.

The Architectural Standards and Design Criteria set forth in these Design Guidelines may be viewed by the individual homesite Owner, as the tool that will protect, preserve, and enhance this special environment over time.

It is expected that the design of each residence will be tailored to the unique features of each individual homesite. As such, these Design Guidelines address special character requirements for the differing topography of Talking Rock's sloping hillsides and open meadowlands. Each home design must address the special needs of its site. No preconceived designs suited for other environments or landscape will be permitted. Each design must begin with a thorough site evaluation and take into account the site's topography, sun angles, view corridors, relationships to ridgelines, native landscape, common areas, and other homes. It is only after a complete understanding of these natural characteristics that a homesite Owner and their architect can commence a homesite design.

In order to assist each Owner in an environmentally sound and aesthetically compatible design of their dwelling, a comprehensive Architectural Review Process has been established pursuant to these Design Guidelines. This process provides each Owner the opportunity to draw upon the expertise and knowledge which has been developed during the planning and building of Talking Rock. Since the preservation and enhancement of the unique landscape at Talking Rock is of primary concern, the Architectural Review Committee has been established and charged with the responsibility of ensuring that these principles are adhered to throughout all phases of development. For this reason, the Architectural Review Process has been structured, encompassing the following five phases:

1. **The Pre-Design Conference**, during which each homesite Owner along with their architect may review their ideas and the natural characteristics specific to their homesite with a representative of the Architectural Review Committee before any plans are prepared. It is required that this meeting take place at the homesite and that the Owner's architect and contractor (if selected) be present.
2. **The Preliminary Submittal**, at which time the Architectural Review Committee will review conceptual plans to ensure conformance with the Design Guidelines, before the Owner finalizes the design.

3. The **Final Submittal**, at which time the Architectural Review Committee will review final construction documents to confirm that they are consistent with the previously approved preliminary plans and the Design Guidelines.
4. The **Pre-Construction Conference**, during which each Owner and Builder will review the construction regulations with a representative of the Architectural Review Committee to ensure understanding of, and future compliance with, these regulations.
5. The **Final Inspection** of the improvements by a representative of the Architectural Review Committee, to assure that actual construction of the structures and the landscaping has been completed in strict compliance with the approved plans and Design Guidelines.

The Architectural Review Process was developed to provide adequate checkpoints throughout the design and development phases, so that time and money are not wasted on plans and designs which do not adhere to the Design Guidelines or to the overall principles of Talking Rock, or which may be inappropriate or of improper configuration for the specific homesite setting. Therefore, it is extremely important that the design steps of the review process be followed in their entirety, and in correct sequence. This process is a proven and streamlined one and will not result in time delays, or unnecessary additional costs, provided each Owner adheres to the intended spirit of the Design Guidelines, namely, a site-sensitive approach to the development of his or her homesite within the Talking Rock community.

It is required that an Owner retain a licensed Architect for planning and design to ensure a thorough analysis and understanding of a particular homesite as well as the Owner's special needs, desires, and living patterns. Doing so also provides the owner the ability to effectively communicate to the Architectural Review Committee the concept and design of a proposed residence or improvement. At the sole discretion of the committee, unlicensed residential designers may be allowed to submit a design should the work of that individual be judged by the committee to be of a sufficiently high quality of design.

The Architectural Review Committee specifically reserves the right to make subjective, as well as objective, determinations of whether the goals of the Architectural Standards and Design Criteria have been met by a particular design. These Design Guidelines may include requirements and limitations which are more restrictive than the provisions of the Declaration of Covenants, Conditions and Restrictions for Talking Rock, and the Notes

which are included on the recorded plats for Talking Rock. In such instances, the terms, provisions, restrictions and procedures of the Design Guidelines shall control.

The Architectural Review Process is intended to operate concurrently with the plan review process required by Yavapai County for obtaining a building permit. The Talking Rock Architectural Review Process is independent of the Yavapai County technical plan review process and is solely intended to enforce the Design Guidelines. Each homesite Owner bears the responsibility for the proposed residence's adherence to Talking Rock's Design Guidelines, and bears the additional responsibility for the proposed structure's adherence to all county, zoning and building codes as well.

The ultimate goal is to create and maintain Talking Rock as the finest community of its time.

2. Site Planning Guidelines

The climate, terrain and natural landscape at Talking Rock are all important factors which must be considered in the design of any building or site modification within the community. It is the intent of the following guidelines to ensure environmentally sound and aesthetically pleasing development at Talking Rock for the mutual benefit and enjoyment of all its Owners.

2.1 Site Analysis

Site planning for individual homesite improvements at Talking Rock relies heavily on site analysis efforts. The analysis is a method to evaluate the existing conditions on and around the homesite through the use of a topographic survey prepared by a registered Civil Engineer or a licensed Land Surveyor and on-site verification by the Architect. The location and design of proposed structures must relate to existing terrain and preserve the natural features of the site. The design process must take into account rock outcroppings, grade changes, slope, locations of both existing and planned trees, and orientation of the proposed improvements to sun, wind, and viewsheds. Privacy, to and from, and the impact on adjacent neighbors, nearby rights-of-way, common open space areas and golf course should be considered, both in site planning and in designing the architectural elements of the structure.

A design that grows from the findings of a thorough Site Analysis helps to shape a building that is well designed, is sensitive to its natural surroundings, and will enhance the community.

Every project shall begin with a Site Analysis prepared by the Architect and landscape designer. The Analysis is used at the Pre-Design Conference to aid in the establishment of the home location on the site.

At a minimum, the following items must be identified and sketched onto a copy of the survey. Those with an asterisk * will be provided to the Owner by the Talking Rock Architectural Review Committee. All information should be verified by the Owner.

- Topography and landform @ 1/8" = 1'-0" with one foot contours
NOTE: Homeowners will be given a small scale topography map, but a new one must be prepared showing one foot contours, trees, and rock outcroppings.
- Aspect and orientation (sun and shadow patterns)
- Property boundaries *
- Required setbacks from all boundaries *
- Building envelopes *
- Location of utilities serving the site *
- Views both onto the site and from the site
- Contextual setting (neighboring land uses and adjacent Building Envelopes) *
- Any "No Access Zones" along street frontage *

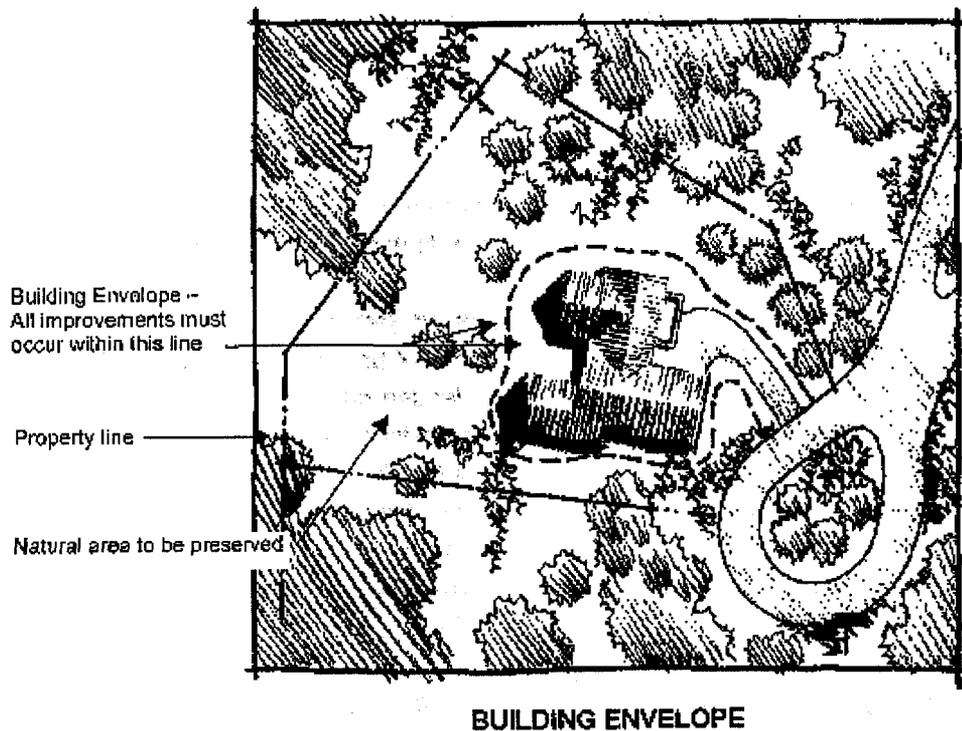
The analysis of each of these elements should be further evaluated in terms of design opportunities and design constraints. Design opportunities are those situations where the element in question will positively contribute to the overall project, while design constraints are situations where a specific element will detract or conflict with the overall vision for Talking Rock. The opportunities and constraints identified in the Site Analysis should be used as design determinants in the design and development stages of the planning process.

2.2 The Building Envelope

The Building Envelope concept is a major component of the philosophy for site planning each individual homesite. The Building Envelope is that portion of each homesite within which all improvements, including structures, porches, decks, walks, landscape improvements, grading, drainage swales, driveways, parking, garage back up area, fencing, and all mechanical equipment must be located, and is the only area of the homesite where alterations of, or disturbance to, the natural landscape may occur. The Building Envelope for each homesite is indicated on the **Homesite Map**, which is included in the Talking Rock Contract Document Book, and is designed to help protect and preserve the landscape features of the homesite. In all cases the area of the residence must be within the Building Envelope shown on

the Homesite Map as well as within the required Yavapai County building setbacks which could be more restrictive than the building envelope.

Building Envelopes may be adjusted only by authorization from the Architectural Review Committee and Yavapai County and only for the purpose of integrating the house better with the natural contours of the site or other appropriate issues as determined by the Architectural Review Committee and Yavapai County. Building setbacks as determined by the County can only be adjusted by the County. All costs associated with any Building Envelope modification shall be at the sole expense of the homesite owner including costs to the Architectural Review Committee.



Should a homeowner purchase two or more homesites the Building Envelopes may be combined subject to the approval of the Architectural Review Committee and Yavapai County.

The procedure for modifying a building envelope or an individual lot is outlined below. A \$750.00 application fee is required for any building envelope change request.

Minor Modifications are defined as changes to a Building Envelope of 12 square feet or less in any outward direction beyond the original Building Envelope, that will not incorporate the structure of the residence within the modification. Such modification shall not result in any increase in the total area of the envelope.

Reconfiguration of a Building Envelope to accommodate a Driveway, requiring building envelope changes greater than 12 feet, may at the discretion of the Architectural Review Committee be considered as minor modifications, unless, in the sole opinion of the Committee, the modification to accommodate the driveway would cause a materially adverse impact upon the views, privacy or character of adjacent lots, streets or other common areas.

Submittals requesting minor modification of a Building Envelope will be considered in the context of the review of a preliminary submittal, and shall not require a separate submittal. When reviewed, the Committee shall consider the impact upon the views, privacy, natural features and plant life on the lot, the overall characteristics of Talking Rock and any written comments from owners of adjacent lots received by the Committee before the date of the review. Should the Committee determine the adjacent lot may be impacted, the Committee can request the applicant to get letters of support for the request from those neighbors before the Committee will consider the request.

Major Modifications are defined as changes to a Building Envelope that exceed 12 feet in any outward direction beyond the original Building Envelope, or and (i) modifications required to accommodate the structure of the residence within the modification or (ii) modifications required to accommodate a driveway that are deemed major by the Architectural Review Committee. Such modification shall not result in any increase in the total area of the Envelope. Major modification approval shall be requested and received before preliminary plan preparation has proceeded beyond the earliest conceptual stage. Before a major modification can even be considered by the Committee, the applicant must supply letters of support from all adjacent neighbors as determined by the Committee.

- A. Major Modification Review Procedure:** The owner, or the owner's representative, shall make the major modification submittal request. It is also required that the owner cause the boundaries of the proposed modification, and the location of the residence structure proposed to be placed therein, to be staked by a licensed surveyor prior to making the major modification submittal.

- B. Posting and Notification.** Upon receipt of a complete major modification submittal request, the Architectural Review Committee shall establish a date for the review of the submittal, not less than 15 days subsequent to the receipt. Notice shall then be posted on the lot concerned, advising: (i) that a major modification submittal request has been made for that lot, (ii) the date scheduled by the Architectural Review Committee for the review of the submittal and, (iii) the location and times when the submittal can be reviewed by interested owners.

The Architectural Review Committee shall also cause notice to be mailed to the owners of adjacent lots containing the same information as that contained in the posting.

- C.** The Architectural Review Committee shall review the submittal on the scheduled date, or any postponement or reschedule thereof. That review shall include any reports from the Architectural Representative and the Design Review Coordinator, and any written comments from owners received prior to the date of the review.

The review shall also include all required documentation, and a physical visit to the lot that is the subject of the submittal.

The Architectural Review Committee may approve or disapprove the major modification request in its sole discretion. Approval must be based upon the resolve of the Committee that the modification does not materially affect the view corridors from surrounding lots, privacy of neighboring lots, natural features and vegetation on the Lot and the overall design character of Talking Rock.

- D.** All building envelope modifications must also be approved by the county.

2.3 Site Work

A very limited amount of excavation or fill will be permitted on any homesites except where specifically allowed by the Architectural Review Committee due to terrain considerations; every attempt should be made to minimize the use of engineered building pads.

Removal of vegetation within any Building Envelope will be permitted on a limited basis; however, it is understood that some selective pruning or removal of trees and shrubs will be necessary for the development of any homesite. Owners are strongly encouraged to transplant all significant vegetation within the building area elsewhere on their homesite. Your Landscape Architect can advise you on this process. Any cutting of trees or vegetation, either inside or outside of the building envelope, must first be approved by the Architectural Review Committee.

Great care must be taken in designing the site improvements around the existing vegetation so the root system remains intact and that its supply of water is maintained. Under no circumstances can any site work begin before final approval is complete.

2.4 Grading and Drainage

Site grading and drainage must be in accordance with the approved hydrologic study which will be available to your architect and civil engineer. **A grading and drainage plan, sealed by an Arizona licensed civil engineer is a requirement of the submittal process to the Architectural Review Committee.** Talking Rock requires that lot purchasers complete a grading and drainage analysis prior to commencement of the design of their residence and the preliminary submitted to the Architectural Review Committee. Site grading and drainage must occur with minimum disruption to the homesite without altering natural drainage patterns as runoff leaves the homesite, and without creating conditions that could lead to soil erosion.

In some cases, the Architectural Review Committee may allow the re-routing of a portion of a drainage way within the boundaries of the Building Envelope. This will be considered on a case-by-case basis, and it should not be assumed it will be allowed in all cases. In order to be approved, the relocated drainage way must take into account the possible loss of vegetation, the visual quality of the drainage way, and the master drainage plan.

Surface drainage upon and across any homesite must be addressed through the implementation of sound construction and grading practices. Any improvement which creates an obstruction to surface flows, snow melt, or groundwater discharge resulting in a back-up of storm waters or an increasing or moving of predevelopment flow onto a neighboring homesite or common area parcel is strictly prohibited.

Ground floor levels should be established at a vertical elevation such that the final placement of backfill, walks, drives, and porches will produce a positive drainage away from the structure in all directions. The inclusion of foundation waterproofing and a perforated pipe foundation drainage system is recommended. Where necessary to produce the desired results and in accordance with Yavapai County requirements, the Architectural Review Committee may approve minimal grading as well as the use of multiple small retaining walls. However, grading that produces awkward or steep slopes that are not natural in their final appearance will not be approved. Cut and fill slopes must have a maximum ratio of 3:1 horizontal to vertical unless supported by an approved retaining wall.

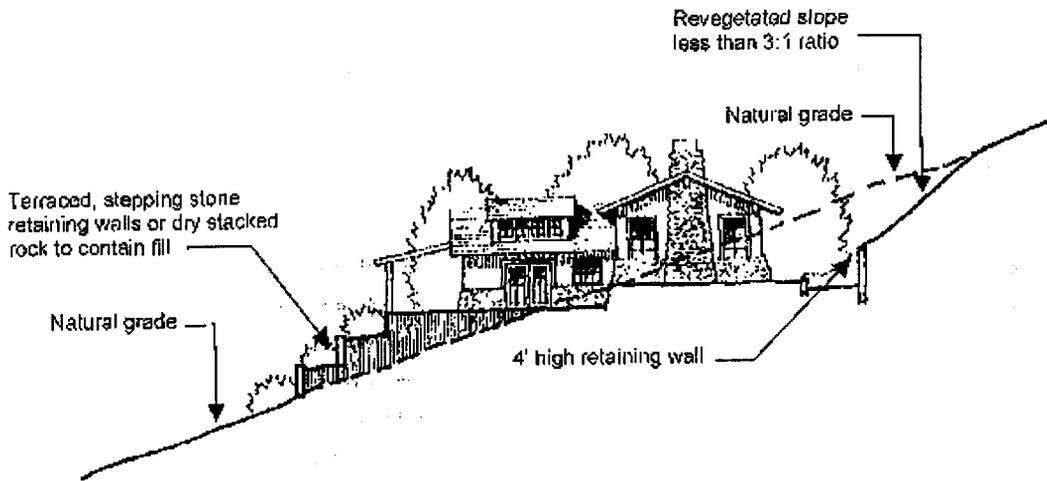
In addition to basic grading, sloping sites should employ designs that take up the full impact of grading within the dwelling's footprint; the location and design of the proposed structures must relate to the existing terrain. Grade transitions from the house to the edge of the Building Envelopes must appear natural. All homesite grading must be limited to construction of driveways and other grading necessary for authorized construction. No grading is allowed outside the Building Envelope of any homesite.

No excessive excavation or fill will be permitted on any homesite. Every attempt must be made to minimize cut and fill necessary for the construction of a home. Excess fill may not be placed on a homesite, it must be legally disposed of outside of Talking Rock. Retaining walls and level building pads may be utilized only where necessary. Grading must be limited to that which is reasonably necessary for the construction of a home. Pad grading for the intention of providing concrete slab foundations is prohibited except for garages, terraces, outbuildings and basements.

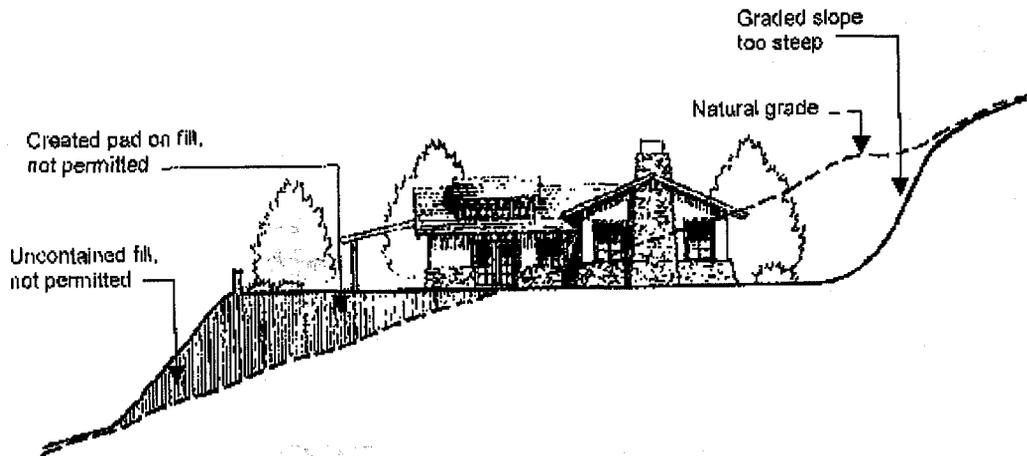
Excavation or fill must be limited to 2 feet vertically outside of structure where exposed to view. However, the Architectural Review Committee reserves the authority to disapprove of any exposed excavation or fill transition that is abrupt, awkward or unnatural in appearance.

All cut and filled areas must be revegetated with approved plant material or seed mix. Retaining systems are required at vertical cuts. No excavation, fill, or removal of trees and other vegetation will be permitted until the applicants' final Construction Documents have been approved in writing by the Architectural Review Committee and the Pre-Construction requirements have been fulfilled. Actual wall heights and ground slopes will vary by location. Multiple retaining wall systems with intermediate landscaping must be used wherever a single wall would exceed 4 feet or otherwise

appear excessively high. In some special cases high retaining walls may reduce the amount of disturbance to native vegetation and may be preferred. When constructing vertical retaining walls, consider sloping the base about 15 degrees from vertical to soften the impact of an otherwise vertical wall. Grading near the Building Envelope may result in abrupt transitions to adjacent homesites or streets and may not be allowed.



EXAMPLE OF GRADING PERMITTED



EXAMPLE OF GRADING NOT PERMITTED

When cuts and fills are required, the maximum slope must be 3 to 1 to allow for natural vegetation, anything steeper than that will require an approved retaining wall unless special conditions exist on the site. Some special soil conditions may require a shallower slope such as 4 to 1.

2.5 Driveways

Each homesite may be accessed by a single driveway only, which has been indicated by the building envelope. This access point should be reconfirmed in the pre-design conference. Access drives have been located to preserve and avoid important natural features, such as large or significant plant materials, drainage ways, rock outcroppings, and to minimize disruption of the existing landscape.

The graded or paved surface of an access drive shall not exceed 14 feet in width where it crosses the road right-of-way and the front setback of the homesite, and continue with the 14' width to the street paving. Driveways may widen once inside the Building Envelope to allow for proper maneuvering space. The proposed driving surface is subject to approval by the Architectural Review Committee. Driveways are encouraged to be colored exposed aggregate concrete, pavers, stamped or colored concrete, natural stone, or other patterned and textured methods. Asphalt drives will be permitted but must be constructed to Yavapai County road standards. Crushed gravel driveways are not allowed. No uncolored concrete is permitted. A metal culvert drainage pipe, shall be installed where necessary beneath each access driveway, between the road shoulder and the property line, unless otherwise approved by the Architectural Review Committee. This pipe should be shown on the site plan. Refer to the master drainage study, located at the sales center or available from the Architectural Review Committee, for pipe size and individual homesite requirements. In some cases the pipe size may be too large to install due to site conditions. If this is the case, the Architectural Review Committee will consider an alternative. The invert flow line of the pipe shall be aligned and sloped so that ditch/drainage way storm flows will continue smoothly and unimpeded beneath the driveway crossing. The exposed ends of the pipe shall be aesthetically finished with stone headwalls. Stone headwalls must be laid in accordance with the Talking Rock standards adopted by the Committee. A construction detail of the headwall will be supplied by the Committee. All stone headwalls shall be constructed of the stone type specified by the Committee.

9.6 *Garage Location*

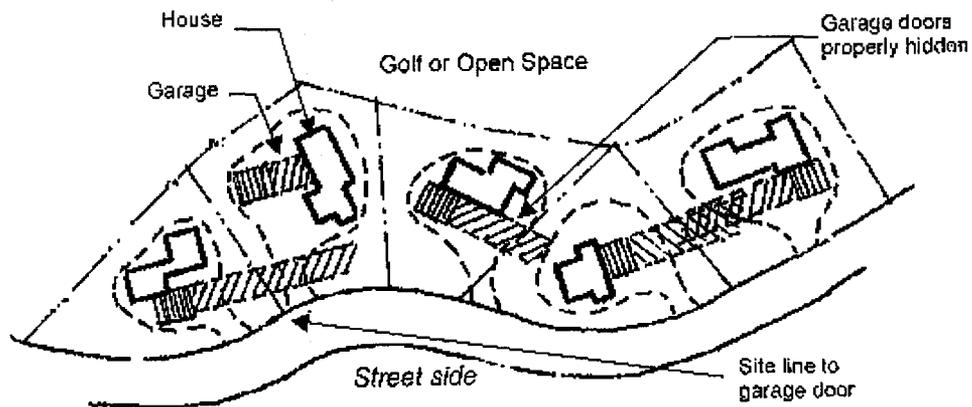
Driveway access and garage location lend significant shape to the design and placement of the home. One of the greatest contributors to negative feelings about residential subdivisions is the often-present row of garage doors aligned along the street with oversized driveways leading to them. Every effort must be made to keep this view from being prevalent at Talking Rock. In order to minimize the impact on the community, garage doors may not face the street, golf course, or any other common area. Two exceptions to this would be if a side entry garage would require grading that may have more impact than a front facing garage or if height restrictions limit building orientation. This issue needs to be resolved during the Pre-design Meeting. Where possible, locate the driveway where it requires the least amount of cut or fill.

In most cases, it is strongly encouraged that the garage be a separate mass from the main house connected only by an enclosed passage way or a roof form. This is to help reduce the overall mass of the house.

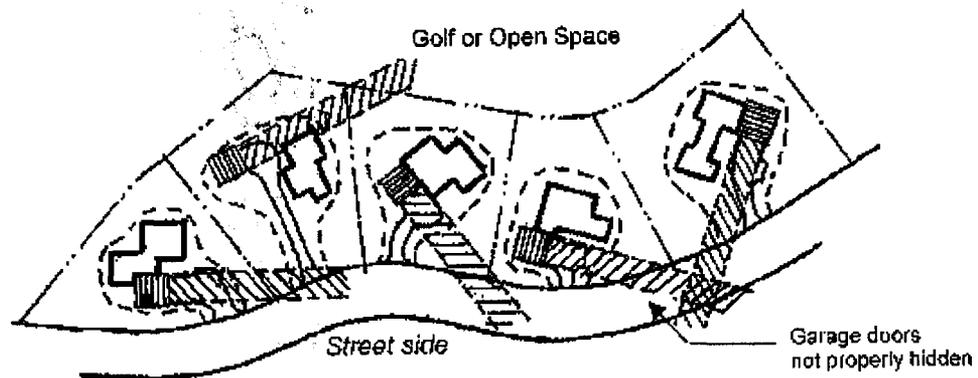
The test as to whether or not the orientation of a garage door is acceptable is as follows: Lines extended perpendicular from each side of all garage door openings may not project into any Talking Rock street, golf course or common area.

An exception to this rule may be made on homesites with insurmountable obstacles and for homesites which can accommodate a garage in the rear portion of the property. In these cases, the intent is to recall a carriage house behind the main house. Only those designs that clearly place the mass of the home significantly closer to the street than the garage will be considered. The front entry or entry for people should appear dominant over the entry for vehicles, but never appear excessive in height. Overhangs above the doors and significant architectural detailing also must mitigate the visual impact of the garage doors.

The intent of these requirements is to minimize and direct views from community areas away from vehicular components of the home. Homesites in prominent locations may have additional requirements on garage door placement. These requirements will be communicated to the Architect at the Pre-Design Conference.



**POTENTIAL DIRECTIONS
GARAGE DOOR MAY FACE**



**POTENTIAL DIRECTIONS
GARAGE DOOR MAY NOT FACE**

2.7 On-Site Parking

Each homesite must have an area for the parking of two guest automobiles within the Building Envelope and generally hidden from view from the street. Homeowners who possess trucks, buses, motor homes, campers, boats, trailers, motorcycles, or any other motorized vehicle other than a conventional automobile, must store or park such vehicles within an enclosed garage so as to be completely hidden from view.

2.8 Utility Extensions

Utility services are generally stubbed to the front property line of each homesite. In some cases, on downhill homesites, sewer may be located at one of the rear corners of the homesite within a utility easement. Sewer, electricity, telephone and cable television service locations are generally clustered (usually with those of one adjacent homesite) in a utility easement located on one of the front corners of each homesite. The extension of services from these stub locations to the residence shall be the responsibility of each Owner, and shall be routed to minimize disruption to the natural landscape. Utility trenches may not encroach into any required setback except where they cross the front natural area of the homesite between the service tap and the Building Envelope.

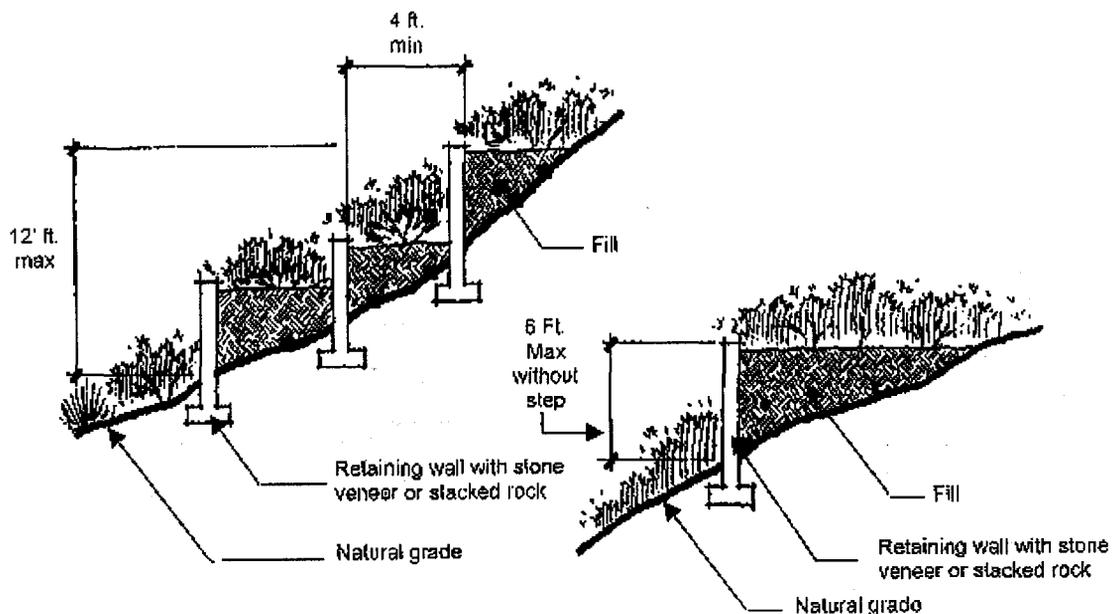
All disturbed areas of the site must be restored to their natural condition as nearly as possible. Information regarding connection procedures, may be obtained by contacting your Talking Rock sales person.

2.9 Walls and Fencing

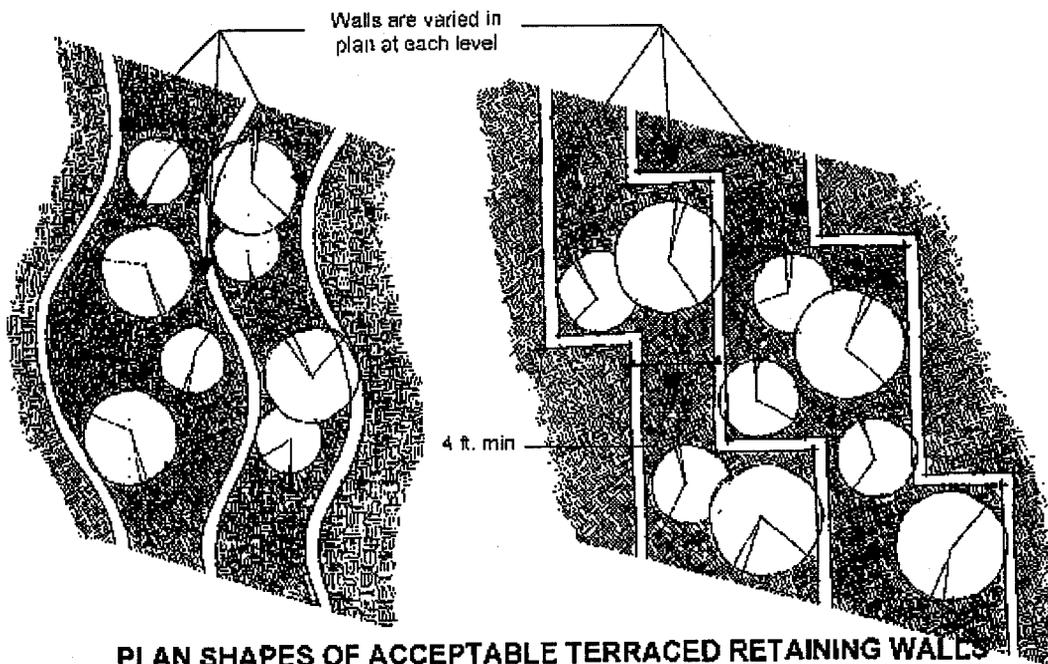
Site walls or fences must appear as a visual extension of the residence, using similar materials and finishes. In no case will site walls or fences be permitted to arbitrarily delineate the Building Envelope, although it is understood that such walls or fences may define pet runs or small yards, courtyards or terraces in close proximity to the residence for the purpose of privacy. No fence may outline the property line. Privacy or screen walls must not exceed 6 feet in height, measured from existing natural grade, and they may not encroach outside the Building Envelope. Fencing material must be of wood or stone.

The use of ornamental iron or other metal fencing is subject to approval by the Architectural Review Committee. Chain link, metal, plain concrete block, (unless veneered with stone) or wire fencing is prohibited.

Structural retaining walls may not exceed an above natural grade height of four feet unless otherwise approved. Multiple terraced retaining walls must be utilized where the overall height of retained earth exceeds 6 feet. Where multiple retaining walls are used, each tier must be separated by a 4 foot planting area unless otherwise approved. Tiered retaining walls cannot exceed 12 feet above natural grade. Exception to this would be in the case of uphill rear terraces where a cut is necessary. If the wall is fully screened by the house, the wall may not need to be terraced. This will be resolved on a case by case basis. Retaining walls may be constructed of cast concrete or concrete masonry units; however, all exposed surfaces and edges must be stone veneer, so as to blend unobtrusively with its natural surroundings and appear to grow out of the ground in an authentic way. Stacked rock retaining walls are strongly encouraged, but keystone type systems are not allowed. Maximum height of stack rock walls is 4 feet above finish grade unless otherwise approved by a licensed engineer in addition to the Architectural Review Committee.



RETAINING WALLS

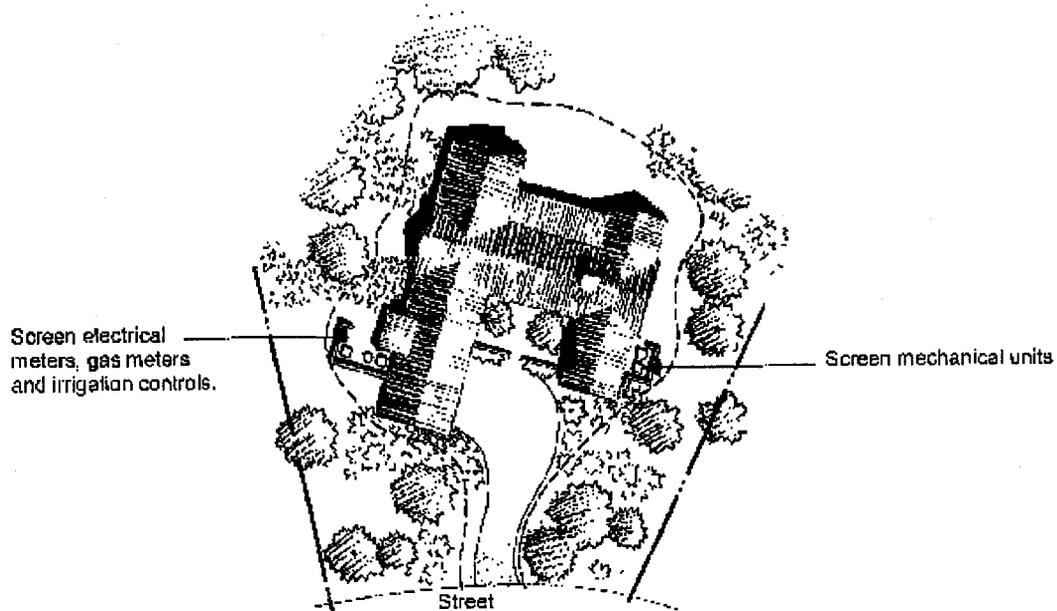


2.10 Outdoor Storage and Trash Receptacles

Outdoor areas housing trash receptacles, firewood storage, maintenance or service equipment or overflow storage shall be screened or concealed from all adjacent properties by a wall or fence conforming with Section 2.9.

2.11 Screening of Mechanical and Electrical Meter Equipment

No roof mounted or wall mounted mechanical equipment will be permitted. Any exterior mechanical equipment utilized must be ground mounted adjacent to the residence, and hidden from view by walls of sufficient height to fully screen it and buffer sound as well. The equipment and enclosure must be contained within the Building Envelope. Equipment must be placed with consideration to the adjacent homesite, so as to minimize noise intrusion on the outdoor living spaces. All electrical meters must be screened from the street, golf course, and adjacent homesite with a wall of sufficient height. Contact the utility companies for requirements concerning placement of the screen wall. All utilities must be located underground thus no overhead power lines are permitted.



EQUIPMENT AND METER SCREENING

2.1.2 Antenna and Satellite Receivers

No satellite dishes, television or radio aerials or antennas may be installed that are not fully screened from the road, adjacent homesites, golf course, or public areas. No satellite dish may be installed that is larger than 18" in diameter. This includes screening from view from anywhere within Talking Rock. Removal of trees to improve reception is prohibited. No tower type antennas (either for TV or radio) are allowed.

The screen wall is subject to Architectural Review approval and must be an integral component of the house design. In some cases, the enclosure may not be approved due to the location on the homesite and its visual effect on the overall street scene or as viewed from adjacent homesites, common areas, or the golf course. Umbrella covers over satellite dishes are prohibited.

2.13 Signage, Address, Identification and Mailboxes

All address identification will be standardized at Talking Rock. See Appendix H for the detailed drawings. Two types are allowed and the owner may make the choice. This will then need to be built at the Owners expense.

No additional signage of any kind will be permitted, except approved temporary construction signs by each builder. A standard sign detail will be provided to each builder should they choose to have a sign. For Sale signs are prohibited.

A central post office is being constructed at The Ranch Compound so no mailboxes are necessary or allowed.

2.14 Site Lighting

A low level uniform street lighting scheme, where needed, has been approved by the County. In order to help maintain the Yavapai County dark sky policy, no additional lighting by an Owner may occur adjacent to the right-of-way.

Additional site lighting is permitted within a Building Envelope, provided such lighting does not result in excessive glare toward the street or neighboring properties. All exterior lighting must be of a low level subdued intensity with the source of light fully shielded and directed downward, and is subject to approval by the Architectural Review Committee. Security lighting must also comply to the shielding requirement and be connected to a timed motion detector. Harsh interior light such as created by lighted skylights or garage fluorescent lights when the garage has windows is prohibited due to its affect on the dark sky.

2.15 Swimming Pools, Spas and Hot tubs

Swimming pools, spas, or hot tubs, if any, must be designed as a visual extension of the residence through the use of walls or decks and must be shielded from view. All pools and spas must be constructed according to Yavapai County regulations. All pumps, motors, and heaters must be fully screened from view from the street, adjacent homesites, common areas, or the golf course. Additionally the noise must be dampened so as to be quiet from adjacent homesites, the golf course, and public areas.

2.16 Tennis, Sport Courts, and Basketball Goals

Due to the extensive clearing required by tennis courts, they will not be permitted unless a homeowner combines several lots at which time it will be considered on a case-by-case basis. No sport courts, basketball hoops or backboards are allowed, whether they are permanent or temporary. The Talking Rock Master Plan makes provisions for these type of uses which is subject to change.

2.17 Play Structures

Play structures, swing sets, slides, or other such recreational devices are strongly discouraged on individual lots. The Talking Rock Master Plan makes provisions for these type of uses which is subject to change. Should an application for approval be made for any of these recreational devices, or ones deemed similar to these by the Architectural Review Committee, they must comply with the following requirements:

- They must be fully screened from adjacent properties, the roadway, or golf course. This will generally require an eight foot tall wall which must be re-compatible with the architecture of the home.
- All colors of the recreational device must be muted. Bright preliminary colors will be approved.
- Trampolines will not be approved.
- Hours of use can only be 10 am thru 5 pm.

2.18 Homesite Consolidation

No more than one residence may be constructed on any homesite. When two or more homesites are purchased together the Building Envelopes may be combined to form one homesite. The new Building Envelope must be approved by the Architectural Review Committee and Yavapai County. The height and visual impact of larger houses on combined homesites will be assessed by the Architectural Review Committee on a case by case basis and may result in special restrictions. This will be resolved during the Pre-Design Conference.

2.19 Guest Houses/Bunk Houses

Guest Houses/Bunk Houses are encouraged. All Guest Houses/Bunk Houses must be within the Building Envelope and the square footage of the Guest House/Bunk Houses will be counted toward the total maximum.

2.20 Flag Poles, Flags, and Banners

No flags, flag poles, or banners are allowed within Talking Rock unless approved by the Architectural Review Committee.

2.21 Propane Tanks

All propane tanks must be buried within the building envelope. No above ground tanks are permitted. Only two providers are currently allowed to supply Talking Rock. Those current providers are Flame & Ameri Gas.

2.22 Petroglyphs, Artifacts and Cultural Resources

Talking Rock has been occupied from time to time since pre-history. This is a legacy that needs to be protected as each home is built. Archaeological studies of the property show that portions of the property, including some lots and common areas, may include petroglyphs, artifacts and other cultural resources. In most cases, building envelopes have been designed around them. Due to the cultural significance of these petroglyphs, artifacts and other cultural resources, no Owner or other Person shall remove, sell, relocate, destroy, deface or otherwise alter any petroglyphs, artifacts or other cultural resources located on the property including, but not limited to, petroglyphs, artifacts or other cultural resources located on the Owner's Lot. Notwithstanding the foregoing, if permitted by applicable law, an Owner may relocate or otherwise alter petroglyphs, artifacts and other cultural resources located on the Owner's Lot to the extent such objects interfere with the construction of improvements on the Owner's Lot, with the prior written consent of the Architectural Review Committee in accordance with the Architectural Design Guidelines. In addition to the above restrictions, petroglyphs, artifacts and other cultural resources located on the Property may be subject to protection under federal, state or local laws, rules, regulations or ordinances from time to time including, but not limited to 16 U.S.C. § 470(f).

3. Architectural Design

There are two overriding aesthetic objectives at Talking Rock. The first aesthetic objective of every home at Talking Rock should be to allow the buildings to fit quietly into the existing landscape. The goal is to create appealing and interesting structures that are subtle and complementary to the dominant beauty of the homesite and not overpowering.

The second aesthetic objective should be to design all structures so that they relate to human scale, homes must be designed to not be overwhelming.

While there is no one Talking Rock style, there is an historic Arizona ranch house vernacular which is the desired overall theme of Talking Rock. Homes should reflect low scale regional ranch house traditions and respond to the unique character design requirements of the high desert/mountain foothills climate. Rather than prescribing a specific formula, the guidelines and requirements are intended to foster a thoughtful and comprehensive approach to creating an uncommonly well-designed community.

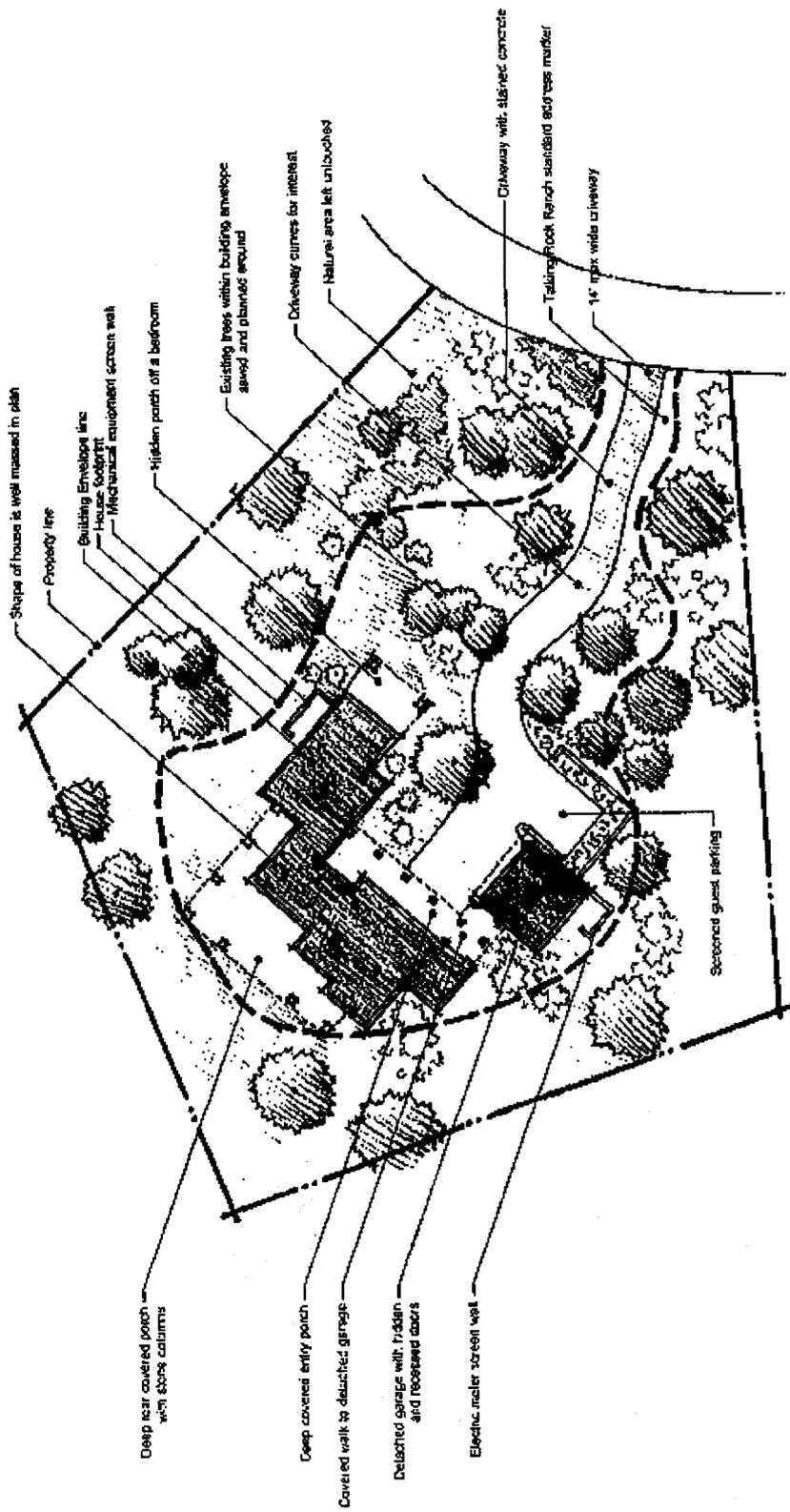
All materials at Talking Rock are to be genuine. Development of spaces for the enjoyment of outdoor living is encouraged. Deep meaningful porches, overhangs, trellises, and the softness of shade and shadow as a result of articulated massing and details are all desirable features. Anything too massive or without well-designed proportions and appropriate functional detailing will not be approved.

The desire is for as much subtle expression as imagination, topography, and continuity will allow. At the same time, the play of light and shadow should be used to enrich the built environment.

3.1 Diversity and Continuity

The principal objective of the Design Guidelines is to add elements of architectural richness and variety to individual dwellings without allowing exceedingly flashy, ostentatious or attention-grabbing designs.

The world's most admired neighborhoods enjoy the unique character created by a patina of time that has been lacking within the dynamic growth patterns of the west. Where houses have been built individually or changed over the years by their respective owners, the resulting diversity moves beyond that normally achieved with standard plans and elevations.



EXAMPLE OF AN APPROVED SITE PLAN



In order to build with a distinct and legible identity, architectural continuity with other homes in Talking Rock must be considered by the architect and will be examined by the Architectural Review Committee when reviewing applications. Homes that have well-developed outdoor spaces and use neutral colors for all materials will be considered as the basis from which to provide continuity. Design continuity can be achieved through form, height, massing, materials, colors and other design patterns. The goal is to create subtle homes that complement their surroundings, allowing the setting to remain the dominant image.

3.2 Building Size - Minimum and Maximum

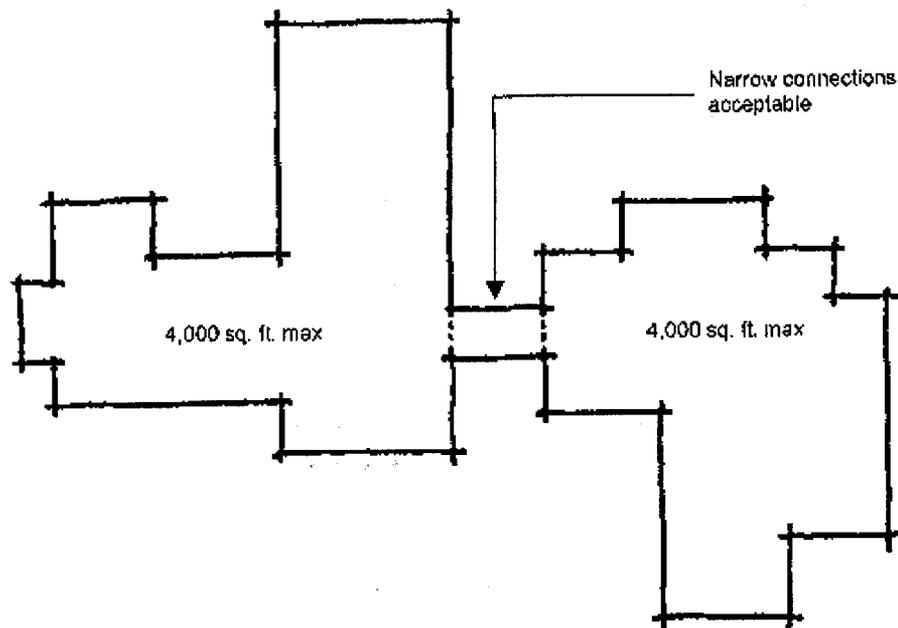
There is a minimum size requirement of all residences within Talking Rock to be at least 2,400 gross sq. ft. Gross square feet includes all built spaces such as the livable area, garage, guest house, and any out-buildings. It does not include porches or decks unless the porches are enclosed with windows or screens. For homeowners planning purposes you can generally assume the difference between net and gross sq. ft. for a two car garage is 700 sq. ft. and a three car garage is 925 sq. ft. So if you were to buy a lot with a gross sq. ft. maximum of 8,500 sq. ft. and you wanted a three car garage you would have approximately 7,575 sq. ft. of livable area you could build.

One of the first goals of all Owners and their Architects should be to create the highest-quality home within the smallest possible volume consistent with the satisfaction of the Owner's need for space. The intent is that the natural landscape currently dominant at Talking Rock, remains the dominant visual image. The existing quiet repose and harmony can only be maintained if the built homes and landscape remain subservient and blend into the natural land forms and existing landscape. In keeping with this philosophy, a maximum size is imposed to assure a proper balance of open space within Talking Rock. Since each building envelope and homesite are different the maximum building size differs on a homesite by homesite basis. The chart in Appendix 'G' shows the maximum allowable gross sq. ft. for each homesite unless approved otherwise.

Should an applicant wish to exceed the allowable square footage, they may do so by purchasing an adjacent homesite and combining the two homesites into one. Combining homesites will require the approval of the Talking Rock Architectural Review Committee and Yavapai County. All square footages are measured to the outside of outside wall.

In all cases, on all homesites, whether a single or combined lot, no single building element can exceed 4,000 gross sq. ft. Larger elements must be separated into separate building elements. The separate building element(s) can be connected by a narrow passage way.

Applicants submitting plans for combined homesite residences may be required to reduce the massing of their project by separating the area into two or more separate structures. For example, a separate garage structure might incorporate some living area above it.

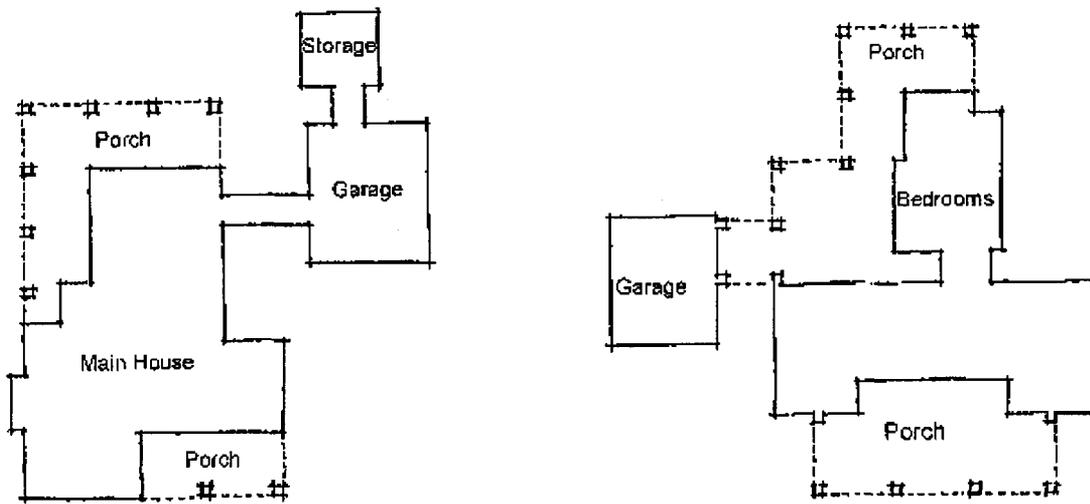


MAXIMUM BUILDING ELEMENT SIZE

For any homesites to be combined, approval must be given by the Architectural Review Committee and Yavapai County.

3.3 *Floor Plan Shape and Massing*

The historic context that the architectural vernacular of Talking Rock is based on is that of the Arizona ranch home. Often a ranch home is found among a group of buildings forming a compound. We strongly encourage floor plans to base their shape and massing on this concept. The ranch compound concept when applied to a modern day home at Talking Rock would result in a home where there may be 3 or 4 distinct floor plan masses. In some case the masses may be detached or connected with a narrow passage way. This concept will result in homes that can work among the existing trees easier, are lower in scale, and have more shade and shadow.



EXAMPLES OF ACCEPTABLE FLOOR PLAN SHAPES

3.4 Prefabricated Buildings

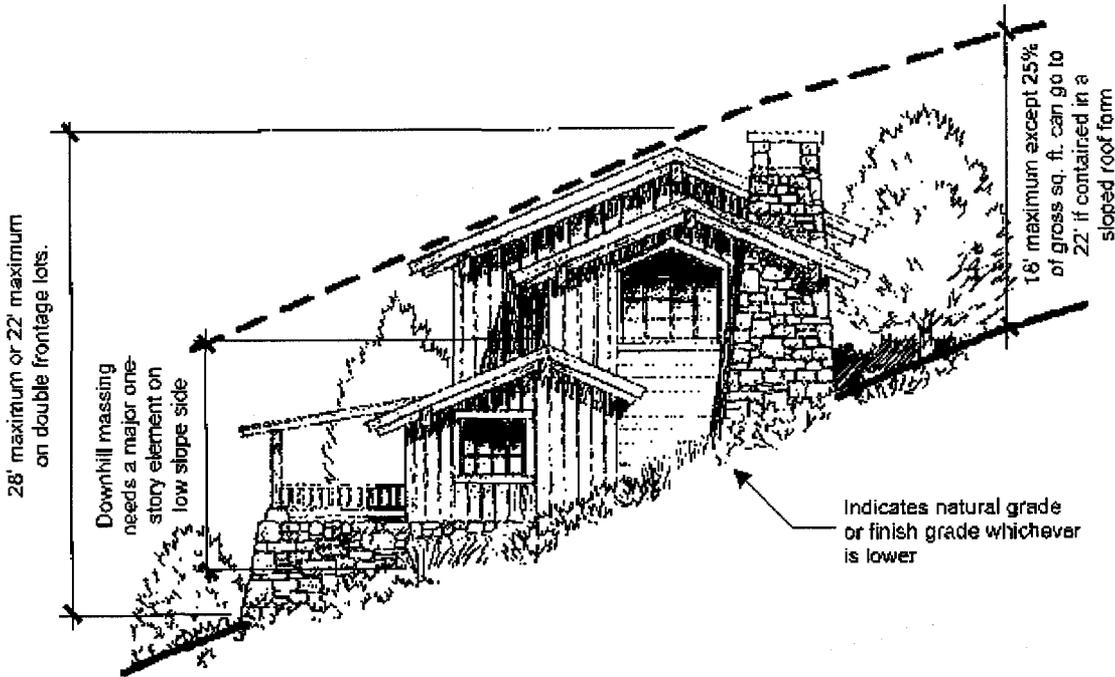
No building that is constructed off-site and requires transportation to any homesite, whole or in partial assembly, will be permitted; this includes mobile homes, stock modular buildings, or any other structure requiring transportation and set-up in a partially completed state. However, structures that are assembled off-site and completely disassembled for transportation, including log structures or custom designed modular buildings, may be permitted. The aesthetic merits of any such structures are subject to review and approval by the Architectural Review Committee.

3.5 Height of Residences, Barns, and Outbuildings

Building heights are limited by the Talking Rock Design Guidelines. While the building height restrictions may help protect views, this is not their purpose and view protection is not guaranteed. The overall full development appearance of the community is the overriding concern. With that end goal in mind, all homes are strongly encouraged to be one-story designs as low in height as possible while still achieving a quality design. This is due to the average height of the native trees. It is the intent of the guidelines to control heights so the trees are always the dominate natural form and that they not be over powered by the mass of the house. Due to special homesite conditions certain homesites may be granted two-stories on a case by case basis. This will be granted on a very limited basis, and will be judged on if natural conditions within the building

envelope would be better preserved by a two story design with less of a footprint. The following height restrictions apply to all homes.

- 1) No homesite can have a high point above natural or finished grade, whichever is lower, of 18 feet measured directly below at any given point.
- 2) The following exception is allowed:
Up to one-fourth (1/4) of the gross square footage can exceed 18 feet, but not exceed 22 feet if the added 4 feet height is only sloped roof areas. Second floors can be contained within this if the windows are all within sloped roof forms such as dormers. This height exception does not apply to flat roof designs.
- 3) In no case can the total height from low point of the lowest wall or columns to the highest roof point exceed 28 feet for each building on site. On lots with double frontage (i.e., roads on two sides of the lot) only 22 feet is allowed. Chimneys may exceed this height by two feet.



HEIGHT MEASUREMENT

It is the intent of these Design Guidelines that roof forms, for homes on sloping sites, step down with the grade to integrate with the natural setting. The height criteria is to avoid construction of houses that are out of scale. Beyond the height criteria, the Architectural Review Committee will render individual judgments with respect to the overall scale of the proposed design in relation to its location and all surrounding uses. The process does not seek to impose generalized criteria where more specific insights can be demonstrated to result in a better solution. The Committee has the right to impose a height restriction less than what is stated herein, if it believes it is necessary due to specific site conditions.

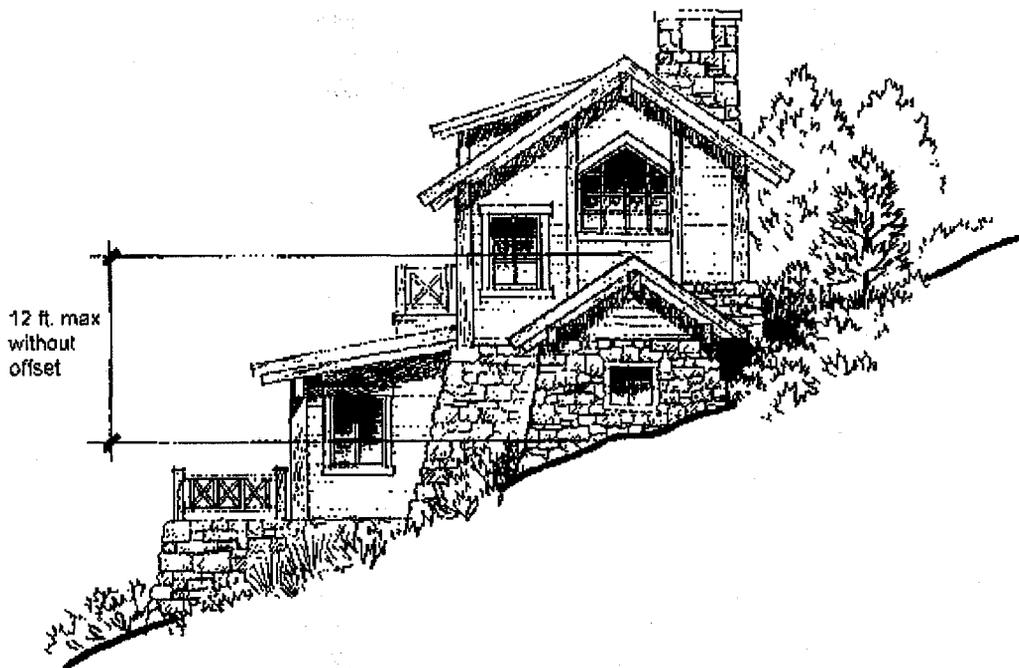
Building masses are required to step down to lower heights at the perimeter of the structure. No two-story wall massing is allowed unless the lot condition is such that no other solution is available.

Architects who propose structures with more than one level should be certain that only a small percentage of the floor area is on the second level. Homes with similar floor area on two levels will likely be disapproved by the Architectural Review Committee due to their usually boxy, massive appearance. Although small cantilevered elements may be considered, significant volumes over negative space must be avoided. Homes that favor the lower floor area will be more successful in meeting the requirement that lower masses occur toward the outside edges of the home.

Ultimately, the Architectural Review Committee judgments will take into account the more specific character of both the site and the proposed architectural response.

Offsets or indentations in wall planes create visual interest and add depth via shadow lines. No building wall may extend more than 12 feet in height without an offset in the vertical plane of at least 2 feet.

No building wall may extend more than 30 feet in length, without an offset of at least two feet.



3.6 *Design Composition*

Although pattern and rhythm are encouraged, large areas of symmetrical massing are discouraged. Gable ends are an example of a portion of a building that might tolerate symmetry, however the masses about either side of that gable need to be substantially differentiated from each other. A smaller gable end centered on a large gable will generally not be approved. Larger homes are particularly discouraged from the use of symmetry as an organizing principle of design because this symmetry can lead to the creation of a home that appears formal or institutional, rather than residential.



ACCEPTABLE ASYMMETRY



NOT ACCEPTABLE SYMMETRY

Although historical precedent provides some symmetrical examples, it is important to keep in mind that the homesites at Talking Rock are not to be developed independently of their neighbors, and therefore may not be designed as stand-alone monuments. For this reason, a more organic composition is preferred; one that can coexist within view of other conscientiously designed residences.

3.7 *Foundation Walls*

All visible surfaces of foundation walls must be stone or match the exterior wall material above. Natural stone is strongly encouraged as it is a fundamental element of the ranch vernacular of design. No visible exposed concrete foundation wall exceeding 4" is allowed. If stone is used, it must extend below grade. Material covering the foundation wall must be in the same plane as the wall above. Unless the material is acting as an architectural base, such as stone, in which case the offset should be at least six inches. Where the vertical distance from the underside of a ground floor wood deck structure (along its perimeter edge) exceeds 30 inches above finish grade below, the deck edge must be skirted with wood siding to screen the cavity beneath the deck, or have a special quality that would allow viewing at the structure to be acceptable. The skirting must be compatible with the design and be durable. Single lattice work of boards less than 2 inch in thickness is not allowed. Foundation walls which occur under a skirted deck such that they are no longer visible are exempt from the facing requirements stated above.

3.8 *Exterior Materials*

There exist many traditions in the historic architectural styles of the Prescott region which will be encouraged at Talking Rock, along with certain regional adaptations. Some styles that are deemed not compatible and which are not allowed include Victorian, and harsh contemporary. The goal in choosing materials is to reinforce the ranch house theme of Talking Rock.

Exterior material should generally be natural materials that blend and are compatible with the native landscape. The predominant exterior materials should consist of wood or stone, including wood shingles used as siding, beveled or tongue-and-groove board siding, board-on-board, board and batten, free edge boards, stone, or square cut logs.

If logs are used, in most cases they must be combined with a significant amount of another material such as stone, or board siding. In all cases, they must be squared

logs. Log homes will only be allowed if they are a very low scale, small house as illustrated in the Talking Rock Character Book.

Plywood siding is prohibited unless the applicant can demonstrate to the Architectural Review Committee that the specific proposed application would result in a finished appearance indistinguishable from an individual board siding application.

The use of siding including metal, aluminum, fiberglass siding, vinyl siding, or asbestos siding is prohibited. The use of stucco will only be allowed in very limited design styles. Stucco will only be allowed on adobe or territorial designs and only when incorporated with recessed windows of a minimum of 8". This is to assure a feeling of authenticity. In some cases, rusted metal surfaces will be allowed as siding or chimney masses. All exterior surfaces including gutters, chimneys and their covers, and window frames are to be finished or painted. Unfinished metallic exterior surfaces are not permitted unless they are copper, Cor-Ten steel, or metals that when oxidized are durable.

The use of textured masonry block as an exterior finish material will be considered on a case-by-case basis, and shall be limited to accent segments of the building facade. Oversized brick is acceptable, but common brick (4" x 2" x 8") is not allowed. Simulated or cultured stone will be allowed, but only on a limited basis. The Committee has pre-selected a variety of simulated stone which maybe used. Native stone will be preferred but river rock either natural or simulated is not allowed. The aesthetic merits of any combination of exterior materials are subject to review and approval by the Architectural Review Committee, in order to maintain the architectural integrity and consistent visual experience of Talking Rock. However, mixing of materials, when designed properly, can give the appearance of a ranch house which is built over time. This is very much in keeping with our theme.

3.9 *Roof Design*

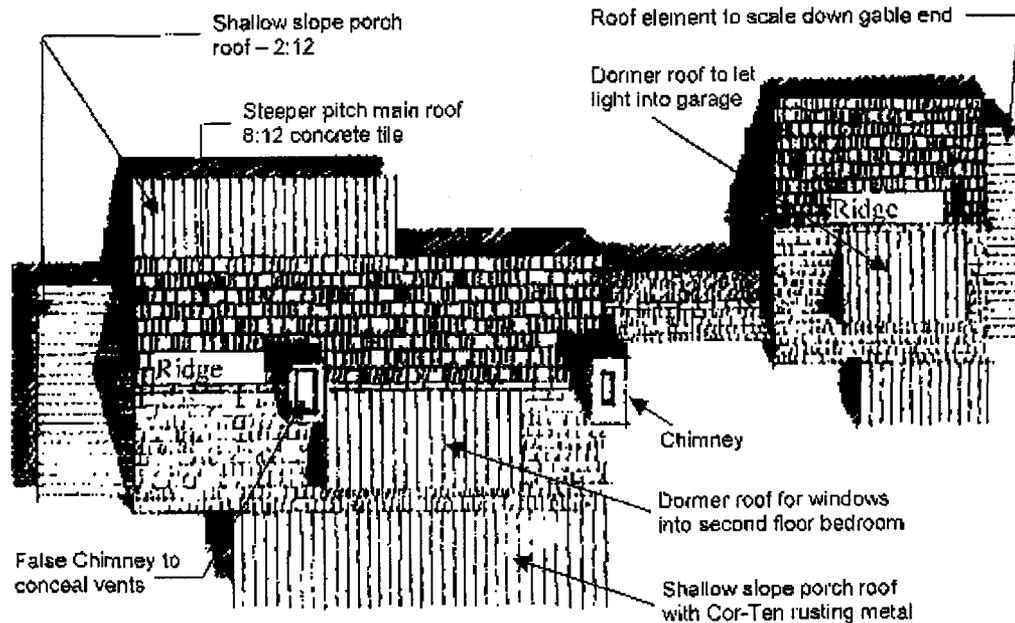
The roofline of each house must create its own pleasing relationship to the street, other common areas, and to its adjacent structures when viewed from all directions. The overall profile and articulation of the roof should be sufficiently irregular to break up anything which would otherwise appear too boxy or discordant with the landscape or neighboring structures. Expansive roof structures shall be articulated by way of gable or shed dormers. Except for dormers, overhangs shall be provided at all roof edges and must be 3'-0" or more, unless an adobe design is being used. All flat roof adobe designs will not be allowed. They must be all pitched roof or a combination of pitched and flat. Asymmetrical roofs are preferable to those which are obviously symmetrical.

In all cases, all second stories of homes should be fully contained within a roof form. The windows would then be articulated as dormers or clearstories. The higher masses should generally occur toward the center, with the lower profiles toward the outer portions of the house. At no time can the highest point of the roof be at any of the outside walls.

All residences at Talking Rock should predominately have pitched roofs. Flat roofs, with very shallow pitches will be allowed when combined with pitched roofs. No mansard will be allowed. The dominant roof form must have a minimum pitch of four feet in twelve and a maximum pitch of eight feet in twelve feet. Roof designs of multiple pitches are encouraged. In some cases portions of the roof slope, such as on porches, may be less to achieve the desired Architecture.

Preferred roof materials include slate, brushed flat concrete tiles, concrete tiles that simulate wood shakes, metal tile, non-reflective raised-seam metal roofs, or heavyweight three-dimensional thick-but asphalt shingles, with a weight of 325 pounds per square or more. Wood shakes and wood shingles are prohibited unless they are factory treated with fire retardants. No on-the-job fire retardant application is allowed. Most pre-finished metal roofs are considered too reflective and will be prohibited.

Cor-Ten (i.e. rusting steel) or copper roofing is encouraged as metal roofs of choice. Copper roofs must be allowed to turn brown or patina. No permanent shiny copper will be allowed. If asphalt shingles are used, a gable shingle must be used on the rake to finish the edge appearance, and a metal drip edge on the horizontal edge.



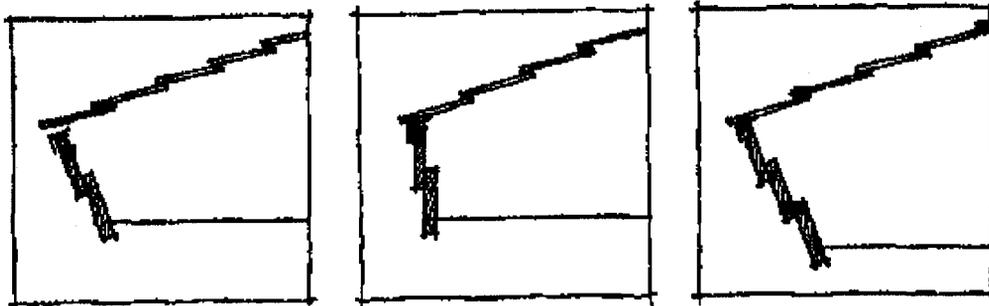
ACCEPTABLE ROOF DESIGN

The use of asphalt shingles of standard or medium thickness, any type of barrel or "S" tiles, asphalt roll roofing, or reflective metal surfaces is prohibited.

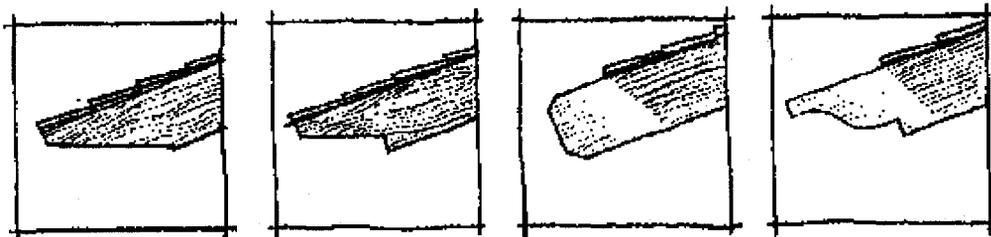
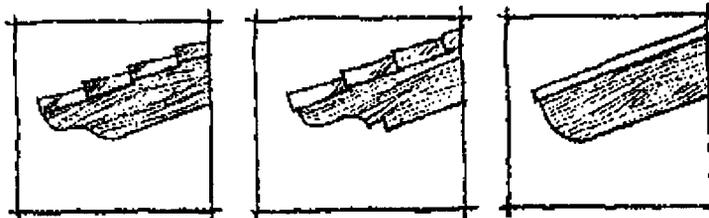
All roof vents for mechanical equipment, water heaters, or attic venting is required to be incorporated into a chimney form. If it is impossible to incorporate in the chimney then they must be on the rear side of the roof, and not able to be viewed from the road, golf course, or adjacent properties.

3.10 Roof Fascia and Exposed Rafters

The edge of a roof is an important design element that when properly handled will compliment the roof and add interest to the overall detail of the house. In keeping with the ranch house theme at Talking Rock exposed rafters will also be strongly encouraged. If not exposing the rafter tails, all wood fascia must be at least two (2) boards and be a minimum size of 2" x 8" each with a combined fascia width of fourteen inches. Exposed rafters must have a detail at the end of the rafter to create interest. Stucco fascias are not allowed.



EXAMPLES OF ACCEPTABLE WOOD FACIAS



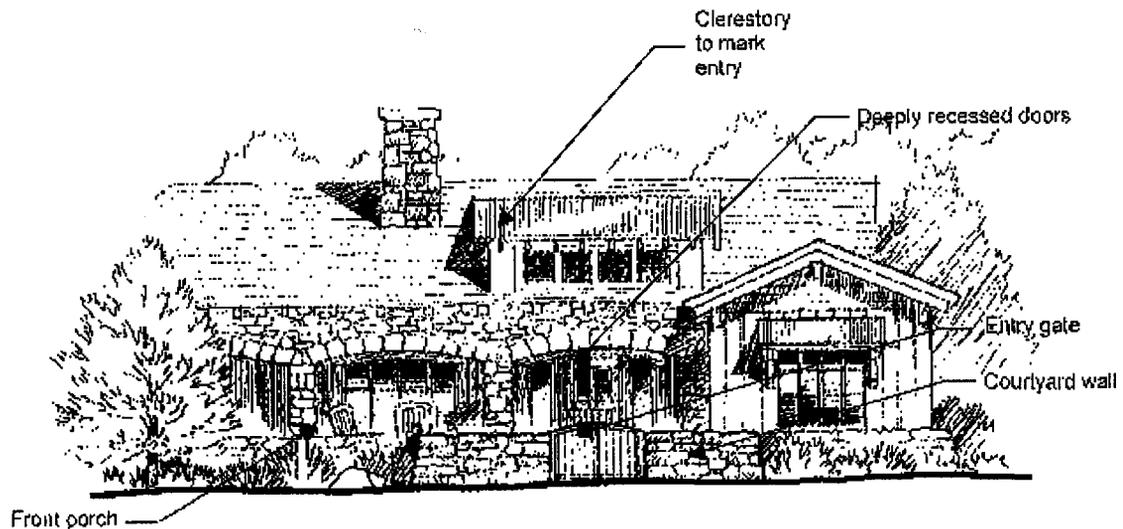
EXAMPLES OF ACCEPTABLE EXPOSED RAFTER TAILS

3.11 *Entrances and Courtyards*

Entrances proportioned to convey a sense of human scale are more appropriate than those with exaggerated dimensions. Any grandeur should be experienced upon entering the house, not worn on its exterior facade. The clean lines of restrained and understated entries are more appropriate. Entries that are too ornate, monumental, or imposing will not be approved. Entrances that are a part of covered front terrace or porch are preferred and strongly encouraged to reinforce the ranch theme.

Inasmuch as there is only one driveway entrance per house, porte cocheres are not compatible with the Talking Rock theme.

As a transition from the natural areas, Homesite Owners are strongly encouraged to consider the use of a low wall courtyard both as an entry and surrounding any outside porches.



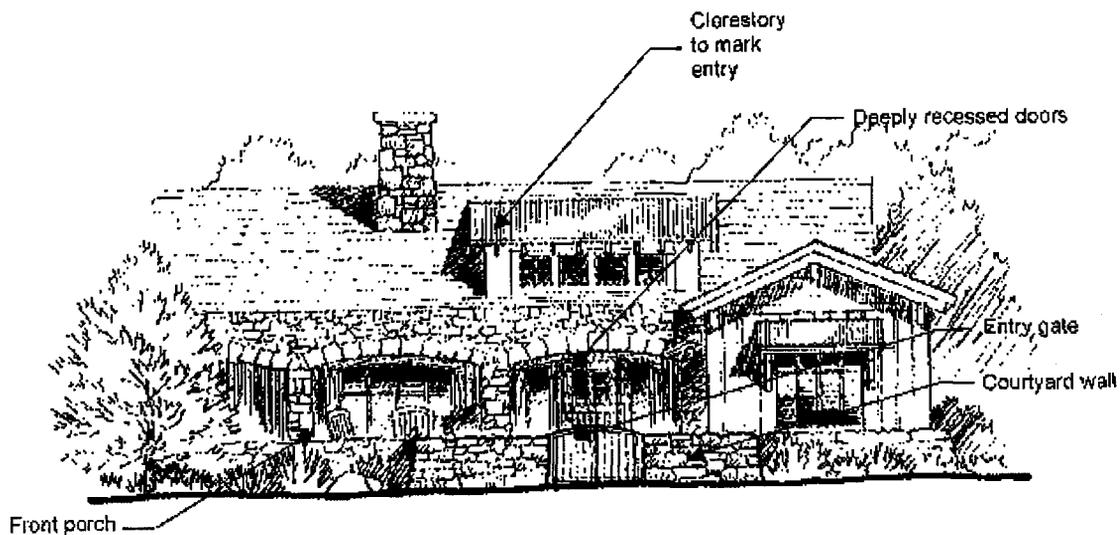
EXAMPLE OF LOW SCALE ENTRY

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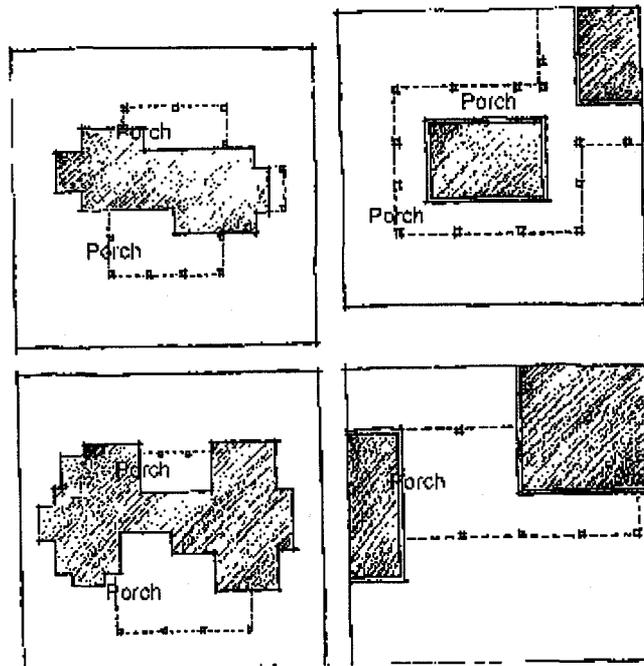
EXAMPLE OF LOW SCALE ENTRY

3.1.2 Porches, Terraces, and Decks

A core element of the Talking Rock concept is the utilization of a significant amount of covered porches. Properly designed, this can augment the traditional, more private use of the backyard and become a wonderful extension of the house. The historic wrap around porch or other porch concepts, such as shown on the next page, assists this effort in four ways:

- The focal point of the house becomes the people-oriented entrance, rather than the more typical garage-dominated streetscape.
- An enhanced sense of entry is achieved without being monumental.
- There are often excellent views all around the house and multiple or wrap around porches help take advantage of them.
- The living area of the house is made to feel larger by opening up the house to an indoor/outdoor space.

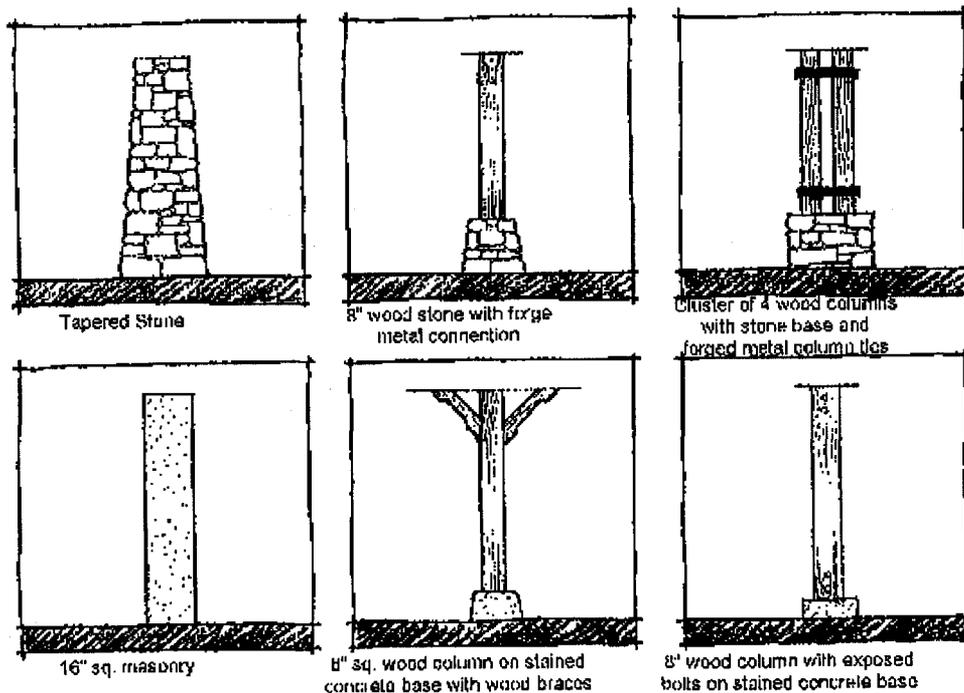
To be useful and meaningful to the design, porches must be at least ten feet in width. Although not required, porches are strongly encouraged.



EXAMPLES OF ACCEPTABLE PORCHES

3.13 Exterior Column Design

Since porches are a vital element to the design of a Talking Rock home, the columns to support the porch roof becomes a major focal point. This is also true of columns which support balconies. Columns must be proportional to the mass of the home and never appear as weak elements. As such, all columns must be a minimum of 8" square if wood and 16" square if masonry or stone. If wood posts are used, pre-manufactured connectors must be hidden. Only hand forged connections may be visible. Additionally, all wood columns must have a larger base to add to the detail of the home.



EXAMPLES OF ACCEPTABLE COLUMN DESIGNS

3.14 Awnings, Roll Down Exterior Window Coverings and

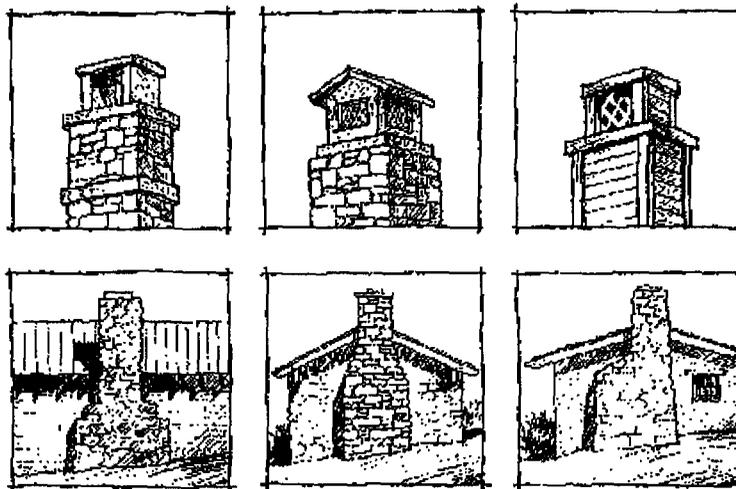
Exterior Shutters

The use of awnings, canvas or other similar materials, are not allowed. Additionally, roll down exterior window coverings are also not allowed. Exterior shutters, when detailed properly, will be considered.

3.15 Chimneys and Outdoor Fires

Well-proportioned chimney masses can be used as sculptural features complimenting the overall qualities of the house. Exposed metal flues will not be approved unless they are a creative use of copper or Cor-Ten which are non-reflective.

The area (measured in plan view) of any one chimney should be no less than 12 square feet and no more than 48 square feet at the base. Chimneys lend themselves to a variety of angular and rounded forms which can enliven the three-dimensional quality and profile of the overall design.



EXAMPLES OF ACCEPTABLE CHIMNEY DESIGNS

To preserve the high quality air at Talking Rock, all residences are encouraged to utilize gas log fireplaces, rather than standard wood burning fireplaces or stoves.

Due to the fire danger usually present in this high desert and mountain region, all chimneys, must be equipped with a U.L. or I.C.B.O. approved spark arrestor. Spark arrestors must be fully concealed from view by the use of a chimney cap detail.

Outdoor fire pits or fireplaces are prohibited unless they are gas.

Permanently installed barbecues must be approved by the Architectural Review Committee.

3.16 *Exterior Colors*

The color of exterior materials must generally be subdued to blend with the natural landscape. Earth tones are recommended, although accent colors which are used judiciously may be permitted. The Talking Rock Character Book has a series of colors included to help understand this point. These colors are also displayed in the Sales Center.

In no case will colors approaching the primary range (red, blue, white and yellow) be permitted, nor will drastic contrasts in value (light to dark) be allowed. This applies to both paint and stain. White may only be used as an accent or "trim" color; "light-gray" siding stains which approach white or off-white in appearance will not be allowed. Garage and exterior doors are not considered "trim".

Proposed colors must be demonstrated to the Architectural Review Committee in a sample format which adequately depicts the hue, tone and shade of the proposed color in its final application. Sample swatches on the structure itself are preferred; as an alternative, stained or painted sample boards of the actual siding to be used would also be accepted. Small color samples, printed on paper, may not accurately depict how a finished color will appear on an expansive wall of real construction materials, and are therefore discouraged. The Architectural Review Committee may require the color selection to be applied to an area of the house prior to approval.

A series of appropriate color palettes have been prepared as a tool helping determine individual color proposals. All paints colors must be within a Light Reflectance Value (LRV) of 15-35, or the equivalent if stain.

It is the intent at Talking Rock to preserve the appearance of the natural landscape and preclude the use of colors that would appear out of place and, therefore, offensive to the eye.

3.17 Windows, Skylights, Draperies, and Shutters

Windows should not appear as openings cut into the side of a box, but rather as architectural features either recessed, projected, or bordered by projections which provide a shadow pattern and reduce reflectivity.

While the elevations will differ on various sides of the house, windows on all sides must be treated with the same attention to detail given to the front or street elevation. All facades shall contain some degree of doors, windows, or other openings in the walls. Octagons, circles, hexagons, ziggurats, and triangles will not be approved as focal point windows. Window heads must be shaped to match roof lines or remain level. No scissor truss windows will be permitted with slopes not matching the roof line. Scissor trusses can only be used if not visible from outside.

All windows and doors must be recessed a minimum of 4 inches. If the window or door is in a stuccoed mass, such as in an adobe type design, it must be recessed 8".

The glass of windows must not be highly reflective. The window frames must not be white or off-white.

The dome of skylights must be clear, gray or bronze. No white domes are allowed, nor may their frames consist of reflective material that is left unfinished. This especially applies to aluminum frames which must be anodized or finished with baked enamel. Skylights must be placed on the roof in an organized pattern that compliments the roof design. They must not be placed arbitrarily wherever they are wanted within the house. All skylights must be low profile flat type. Bubble type skylights are prohibited. Shutters and drapery linings must be in neutral color ranges when visible from outside the home. White or off-white is not considered a neutral color.

3.18 Building Projections

All projections from a residence or other structure including, but not limited to, chimney flues, plumbing or gas vents, flashing, louvers, gutters, downspouts, utility boxes, porches, railings and exterior stairways shall match or compliment the surface from which they project, or must be painted or stained an approved color to blend unobtrusively with adjacent materials. All building projections must be contained within the Building Envelope.

3.19 *Garages and Garage Doors*

Garages for each residence are required, either attached or detached, accommodating at least two automobiles; carports are prohibited unless approved otherwise. Garage doors can not be designed to be viewed from rights-of-way, common areas, and adjacent homesites as discussed in Section 2.5.

When planning a house at Talking Rock, placement of the garage needs to be considered early on. Place the garage in a separate structure with or without an enclosed connection to the main house or place the entrance to the garage away from the street view as per Section 2.6. When this is not possible due to topography or other site constraints, the garage doors shall be placed further away from the street than the house facade, leaving the house form as the main focal point from the street. Overhangs above the doors and significant architectural detailing can also mitigate the visual impact of the garage entrance.

Garage doors must relate to the remainder of the house's design elements. Garages must not present closed or unarticulated facades. Glazing in garage doors should be provided to reduce the impact of the doors on the rest of the community. Large or unbroken masses above garage doors will not be approved. This is where detailing and a change in the plane of the surface can be beneficial.

The garage doors should be either the same color as the body of the house; or a slightly darker shade of the same color. In either case, they should not be lighter or dark enough to call attention to themselves.

Other design features which shall be provided, include the use of single-bay doors in lieu of double-width doors. No door should exceed 10 feet in width and in most cases should be 9 feet. Single - bay doors, divided by a substantial pier or column, are required by the Architectural Review Committee, so as to present a smaller-scale appearance relative to the rest of the structure. Some exceptions to the single bay door requirement may be granted when the applicant can demonstrate that it is not physically possible to use a single bay door. Door styles are strongly recommended to have a "coach house" door appearance which can easily be achieved by modifying a standard four panel rollup door or by purchasing one of the many brands that now have this appearance. In no case will a standard metal garage door be allowed unless it is wood clad.

Where three or more garage bays are planned, care must be taken in the design of the garage door plane. More than two doors are not allowed in the same plane. The third

(and fourth) door(s) must occur in a secondary building plane, offset by a minimum of 32 inches from the primary front wall of the garage, to avoid a continuous uninterrupted wall of three or more garage doors. All garage doors must be recessed a minimum of 12". No garage doors over 8 feet in height will be allowed, unless it is for a recreation vehicle at which point a 12 foot maximum is allowed. When a 12 foot door is used its top must align with the 8 foot doors and the driveway must be dug below grade so the lower part of the door is recessed. Additionally, no 12 foot door may be viewed from the road, golf course or open space.

The use of fluorescent or other highly visible lighting may be precluded in areas where the expanse of an open garage door might cause excessive glare, particularly when visible from neighboring residences and public rights-of-way or when windows are used in the garage or garage door.

3.20 Solar Applications and Other Structures

Passive solar design is encouraged. Active solar applications can result in excessive glare and reflection, and would only be approved by the Architectural Review Committee if the hardware is integrated in the structure or landscaping of a homesite and are not visible from any other homesite or common area. Dog houses, runs, and permanently installed recreational equipment must be approved by the Architectural Review Committee.

3.21 Gutters and Downspouts

Gutters and downspouts are allowed if they are properly integrated into the design. Gutters are often used to solve poor roof design. If this is the case, the roof design will be rejected in order to reduce unsightly gutter design. In all cases, gutters and downspouts must be painted to match adjacent surfaces.

3.22 Sewage Grinder Pumps

All residential structures at Talking Rock require sewage grinder pumps. Only two models are currently allowed:

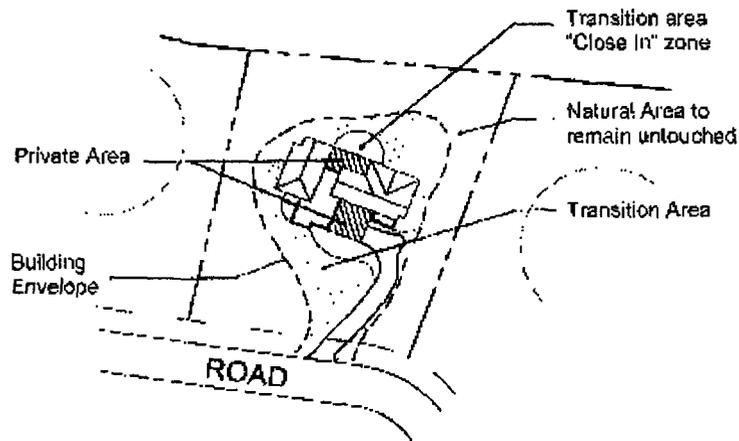
1. Barnes Pressure Systems ULTRA CAV Pressure System
2. Environment One Grinder Pump

4. *Landscape Guidelines*

As homes are designed and built within Talking Rock, care must be taken to preserve the rugged natural beauty intrinsic to this site. The native vegetation and unique site features are the fabric that weaves together a cohesive and distinct character for the community. Properly designed and constructed homes at Talking Rock will require very little landscape treatment.

Home placement on the site as well as any outdoor needs must be sensitive to the preservation and continuation of the existing natural fabric. Trees, natural vegetation, and all other site features should be incorporated and utilized to enhance the overall appearance of the home. Since the plant species permitted for revegetation is limited, and the growth process long, every method to preserve existing vegetation must be employed. Landscaping desires should be taken into account at the Site Planning Phase. Retrofitting a home with only enhanced landscaping after the design has been established will not likely result in a solution that meets the Architectural Review Committee's requirements.

Each homesite has a Building Envelope, which is indicated on the Homesite Map available from the Architectural Review Committee. It is designed to protect and preserve the natural landscape features. When thinking about the site plan and Landscape Design three zones have been created for each homesite. They are the Natural Area, the Transition Area and the Private Area.



HOMESITE ZONES

4.1 Natural Area

The Natural Area is that portion of the homesite which lies outside of the Building Envelope, and must remain as a natural area left untouched and undisturbed during construction. On homesites with existing disturbance, within the Natural Area revegetation will be required by the Architectural Review Committee. If required, only plants indigenous to the general area of development may be used in the Natural Area. In addition, the density and mix of any added plant material in the natural area will be required to approximate the density and mix found in the general area. Permanent irrigation of the Natural Area on homesites with existing vegetation is not permitted, since the indigenous vegetation does not require additional water. Permanent irrigation of the Natural Area can lead to disease and death of the native plants, and aid in the spread of undesirable plant species or weeds. Temporary irrigation of all revegetation in the Natural Areas is allowed.

4.2 Transitional Area

The Transitional Area is that portion of a homesite within the Building Envelope, but outside of the residence or site walls, within which an Owner may enhance the landscape. All areas of the homesites which were disturbed by construction activity must be restored and revegetated, and must be appropriately tended, until the natural vegetation is reestablished.

For Owners wishing to undertake supplementary planting, the Talking Rock landscaping concept may be envisioned as a series of concentric planting zones around a home. The most formal planting must be situated adjacent to the residence, or an accent border within 6 feet of either side of the entry drive or parking apron. As the distance from the residence increases, a transitional planting zone may occur between the more formalized planting around the residence and the established Building Envelope. The line of interface between this transitional zone and the natural landscape outside the Building Envelope may occur along a soft edged irregular line. All plant material must be selected from the appropriate list on Appendix A.

Care must be taken during the siting of the residence on the homesite to allow planting space for perimeter landscaping to occur, if desired, without necessitating encroachment outside the Building Envelope.

All supplementary landscaping plans must be approved by the Architectural Review Committee prior to its application or implementation.

4.3 Private Area

The private area is that part of the Building Envelope which is screened from view from adjacent homesites, the street, golf course, or public areas, by site walls or structure, within which an Owner may create as varied a landscape as desired, provided that only plants on Appendix A or as approved by the Architectural Review Committee are used. All Private Area landscape designs must be approved by the Architectural Review Committee.

4.4 Diverse Homesites

Each homesite is unique within Talking Rock. The landscape and site character varies greatly in vegetation type, density, topography, and surface material from homesite to homesite. Appropriate landscape improvements will be different for each lot and will be derived from the existing overall natural landscape image established on each site prior to any homesite improvements.

In order to fully understand the uniqueness of each lot, a careful homesite survey must be undertaken to accurately determine all existing trees, plants, site features and ground plane characteristics. This "existing conditions" survey will provide the basis for the Homeowners landscape improvements plan and also for the Architectural Review Committee to determine how well the proposed building siting, grading, and landscape improvements relate to the existing natural site character.

Each homesite affects the other in that the larger natural landscape is comprised of all homesites combined and viewed without reference to individual homesite boundary. It is imperative that each homesite is successfully improved and accurately restored in character with it's own individual existing natural character if the overall Talking Rock unique landscape is to be preserved.

4.5 Plant Salvage

Whenever practicable native plants and trees that cannot otherwise be retained on the homesite should be salvaged for reuse on site if approved by the Architectural Review Committee. These plants are adapted to the site and if carefully salvaged, stored and replanted are a valuable native plant landscape resource for natural site restoration. In an approved arrangement, these plants can help reestablish and enhance the homesites natural character.

Not all native plants on the homesite will be suitable for salvage. Many plants are too large, in an inaccessible location, have poor soil, have poor survival history, or may be seasonally not recommended. Salvaging plants is a lengthy process and adequate time, months in many cases, must be allocated to correctly box and remove trees and large shrubs. Although salvage plants are adapted native plants, continuing special care and maintenance will be required for a successful replanting.

Even with careful planting some salvage plants may not survive or fully recover. If, in the opinion of the Architectural Review Committee whenever any salvage plant becomes unsightly, they may require the homeowner to remove and replace the salvage plant with an approved replacement.

Care must also be taken during the salvage operation to minimize homesite disruption and ensure the Natural Area remains untouched.

Salvage plants must be specifically designated on the landscape plan including the size, variety, source and maintenance details. If approved by the Architectural Review Committee, additional salvage trees and plants from other "local area" sources may also be planted only if they are native and planted in such a way as to appear as natural undisturbed existing landscape, native to the site. Prior to any salvage and replant activities specific Architectural Review Committee approval must be obtained.

For these reasons a "native plants salvage expert" must be consulted when considering salvaging or replanting any native plant. The Architectural Review Committee will maintain a list of approved native plant salvage contractors and consultants. It is the Homeowners responsibility to insure compliance with all applicable laws concerning the salvage and planting of native plants.

4.6 *Revegetation of Disturbed Areas*

Existing homesite landscape disturbance may only occur within the Building Envelope for construction purposes only in areas approved by the Architectural Review Committee, and re-landscaped upon completion of construction according to the approved landscape plan. The size, variety, and location of all existing trees and plants and other site features must be shown on the landscape plan, including a detailed description of ground plane character. The Transition areas must be fully restored to match the Natural Area. The Architectural Review Committee may require more landscaping than that destroyed in order to appear as natural area. "Close In" zone areas must either match the natural area or blend enhanced landscape close to the architecture to a more natural landscape Natural Area or Transition Area edges.

Restoration means replicating all features of the existing natural landscape. This includes the first step of restoring or creating natural appearing grading shapes that blend to existing drainage ways, landforms, and site construction. No artificial or arbitrary shapes will be approved. Next, the finished exposed ground surface must match. Each homesite has its own unique pattern and colors of soil, sand, decomposed granite, and surface rock of all sizes and patterns to be identified and replicated. No other surface treatment, such as non-site colored rock in decorative, geometric artificial shapes and patterns, etc. will be approved. Finally, trees and plants, including native grasses must be selected from a palette of existing varieties already established on site.

In addition, plant and tree spacing, mix, density and arrangement must follow the existing natural theme of the site. Other elements such as adding down trees, native grassy areas, leaf litter, dry waterways and matched rock outcroppings may be needed. In some cases pinyon trees may be added outside the building envelope to create privacy, but only by approval of the Architectural Review Committee.

Blending is the transitioning from the native landscape to a more dense arrangement of plants. This allows an enhanced, landscape to be created immediately adjacent to the architecture for screening, shaping views, sun control or to soften and transition architecture and constructed improvements into the site. Enhanced landscape is described as denser groupings and mixing of varieties and creating landform features that appear natural however might

not normally occur where proposed. The interest features of these enhanced areas should be directed towards the home with the more natural appearance to the outside.

Any unsightly disturbance or damage to the homesite landscape must be repaired. Damage may occur naturally, with approved future improvements or for undetermined reasons. All landscape must be approved restoration whether required by the Architectural Review Committee or requested by the homeowner.

All revegetation landscaping will require sufficient temporary irrigation to reestablish the native landscape environment. Each plant will have separate water needs and as such, the irrigation system must be flexible enough to allow for both a managed reduction in the amount of water used and also the independent selection of plants to be irrigated. Although at some point supplemental irrigation can be terminated, the irrigation system will be in place long enough to require a permanent quality, year round, underground system. All irrigation equipment must be located or screened in such a way that it is not visible from adjacent properties.

It is the intention of this section that every effort be given by the homeowner to return all disturbed areas to the overall appearance of native, undisturbed natural landscape as quickly and completely as possible.

4.7 *Approved Plant List*

The Architectural Review Committee has approved a list of plants and trees deemed to be inherently compatible with the natural Talking Rock landscape, including indigenous and non-indigenous species. Such plants are listed in Appendix A of these Design Guidelines, and landscaping of any area is expressly limited to these species. Turf, when used, must not be a dominant component of the landscape.

4.8 *Plant Density*

Each plant has a natural arrangement and spacing that must be replicated in order for the proposed landscape to achieve the desired natural look. Although

this may vary from location to location, the arrangement of the plants in the adjacent undisturbed natural area will provide the model for plant group arrangements and spacing (plant density). Sufficient information about these existing natural areas must be placed on the landscape plans in order for the Architectural Review Committee to determine how closely the proposed plant spacing and sizes relate to the existing landscape.

Final plant spacing will also be dependent upon the initial size of plants and their respective growth rates. Generally, smaller plants require closer spacing with possible thinning in the future if the landscape appears crowded. Also taken into account will be the individual homesite detail planting areas and their respective orientation, topography, soil conditions, available water and other conditions that may increase or decrease appropriate plant spacing.

The various native trees, shrubs, groundcovers and grasses also grow in differing and varying combinations throughout Talking Rock. For this reason appropriate density or plant spacing is site specific and depends upon the proposed mix of plant varieties. Density within the Transition Area replicates the neighboring Natural Area, more dense planting may be approved by the Architectural Review Committee for specific purposes in the Transition Area 'Close In' Zone. In the Private Zone density is as desired by the homeowner for plants not visible from adjacent properties.

4.9 Groundcover

Some locations on the homesite may be approved by the Architectural Review Committee for an introduced or enhanced plant groundcover area. These groundcover planting areas may only be developed in the following ways:

- a. As an extension of those occurring naturally in the adjacent native landscape or,
- b. As, in the opinion of the Architectural Review Committee, they present the appearance of occurring naturally. The Architectural Review Committee will not approve any proposal for groundcover areas that present the appearance of traditional turf or groundcover front or rear yard improvements.

Groundcover may be open natural looking seasonal native grass areas or low growing seasonal native plants or vines. Permanent or artificially supported year round green or manicured "lawn" appearing open defined area plantings are not approved. Seasonal plant variation, natural growth patterns and meandering natural edges are required for these areas to be successful, along with an appropriate site comprised of logical contouring, area definition and a natural appearing reason for this area to be present. The Architectural Review Committee will also consider home orientation, architecture and other site improvements.

Inorganic or rock groundcovers may only be used in the Transition Area as they exist naturally on the adjacent native undisturbed Natural Areas surfaces. When used they must replicate the native color, shape, and mix of sizes and materials exactly. The existing ground plane must remain natural in appearance and may not be raked in visible patterns, cleaned, manicured or otherwise modified. No designed pattern, decorative, artificially shaped, or arrangement of any inorganic material, such as sand, decomposed granite, gravel screened rock, or boulders may be used as groundcover for ground plane improvements. Any ground plane groundcover improvement not visible from neighboring property may be used in the Private Area.

Organic groundcovers such as manufactured non-native bark chips, compost and prepared mulches may not be used in the Transition Area. Native Pinion Pine needles and native leaf and branch litter and other forest debris may only be used as it appears naturally and replicates existing Natural Area conditions.

4.10 *Turf*

Turf is not approved for use in the Natural Area, or Transition Area of the homesite. Nor is turf allowed within the Private Area where visible from adjacent property. The use of any "turf" is discouraged as it is highly contrasting non-native vegetation requiring more water, nutrients and maintenance than the natural landscape. It is the intent of these guidelines that all visible homesite landscape appear native and natural in appearance.

Where approved however, only grasses on the Approved Plant List under "turf" may be planted and then only within the Private Area of the homesite where it is not visible from adjacent property. It is the intention of the approved turf

varieties that they be hybrid non-seeding varieties.

In addition, wherever "turf" is approved it shall be maintained or irrigated in such a way that it does not adversely affect any Talking Rock improvement, facility, neighboring property, wildlife or native plants. If, however, at any time the Architectural Review Committee determines that previously approved turf varieties have become a nuisance for any reason, the Architectural Review Committee may require existing turf to be eliminated or replaced with another approved variety.

It is the intent that no turf, nor the replication or appearance of turf be visible from adjacent property on any homesite within Talking Rock. Low screen walls or other approved improvements will be required to contain turf and prevent intrusion into areas outside the approved turf area.

4.11 Hardscape

Hardscape is any non-architectural inorganic improvement or modification to the homesite natural surface within the Natural Area or Building Envelope. This includes improvements such as paths, walks, on-site parking, improved drainage ways, and hard surface landscape areas and similar improvements not discussed in Design Guidelines 2.4 Grading and Drainage, 2.5 Driveways, 3.11 Entrances and Courtyards or 3.12 Porches Terraces, and Decks. All such improvements require Architectural Review Committee approval prior to start of construction or installation, including proposed location, materials, colors, and any changes to the existing site or landscape.

As with all homesite landscape improvements, the landscape related hardscape must also appear natural and appropriate in the native landscape. Natural surface materials such as decomposed granite and surface rock must match the existing native color and textures. Manufactured products such as brick, pavers or patterned and colored concrete must closely match the adjacent natural surface color. Whether natural or man made they must be installed or placed in natural patterns with native grasses or compatible groundcovers planted to soften the improved area.

Walks and pathways must be narrow, 2' to 4' in width, and follow the natural contours. Patios must be naturally shaped and located with minimal site

modification. The finished patio must appear as if carefully sited and shaped to fit a naturally occurring location.

Avoid any improvement such as elevated surfaces, curbing, swales, piping or grading that alters the approved drainage plan for the homesite. These modifications may redirect, concentrate, or pond storm water, causing erosion or water damage. Porous materials and installation methods will help reduce water runoff and damaging concentrated water flows.

Ancillary hardscape improvements or associated modifications, such as revised grading, added landscaping, low walls, built-in seating, and lighting must also be carefully considered by the homeowner or builder and approved by the Architectural Review Committee. It is intended that any such constructed improvements feel as an extension of and relate to the approved architecture and any site and landscape improvements relate to the approved adjacent landscape character.

4.12 *Fire Prevention Thinning*

The Transitional Area of the homesite is that area where fire prevention thinning may occur. Removal of the native vegetation down to raw earth for the purpose of fire prevention thinning is not allowed. When the native vegetation is removed within the Transitional Area, it must be replaced with landscape material listed in Appendix A.

4.13 *Water Features*

Constructed water features are not allowed in the Natural Area or Transition Area of any homesite. Although visually attractive if correctly designed, any water artificially introduced into the natural environment may be disruptive and is discouraged. However, with the following considerations, water features may be constructed, if specifically approved by the Architectural Review Committee, in the Private Area where not visible from neighboring property.

Water features must be designed to be in scale and relationship to the homesite architecture and designed landscape theme. All water feature

mechanical equipment must be screened from view. Water features must be designed to minimize water use in both normal operation and maintenance.

Water features, including the lighting, mechanical equipment, water spray, drainage, etc., must be constructed and maintained so as to not adversely affect neighboring property, native plants or animals in any way. In addition, the water feature may not create a nuisance in its mechanical operation, maintenance, by attracting animals, insects or supporting non-native plants.

4.14 *Garden Plots*

Non native planting areas may only be established and maintained within the Private Area not visible from adjacent or neighboring property. This includes natural appearing decorative gardens emphasizing flowering plants or gardens comprised of organized arrangements of flowers, non-native shrubs or vegetables.

Orchards or unnatural appearing groupings of shrubs and trees may also only occur in the Private Area where not visible from neighboring property. All garden associated improvements such as tool and equipment storage or growing areas such as greenhouses must be designed as integral to the home architecture and require approval by the Architectural Review Committee. No trash storage, compost areas, screens, netting or other animal barriers, lighting, irrigation or mechanical equipment may be visible from neighboring property.

In addition, no gardens or planting areas may be maintained in any form anywhere on the homesite if they contain plants listed on the Prohibited List. Plants not on the Approved Plant List also require specific approval prior to planting. In addition, no plant may be maintained on the homesite if it is determined by the Architectural Review Committee that such a plant has created a nuisance through excessive water use or runoff, excessive litter, seeds or plant debris, or by attracting animals, insects or threatening existing native landscaping.

Other visible decorative plantings such as those in architectural planters, pots or other building related improvements may be approved if the Architectural Review Committee considers them architectural design or theme elements

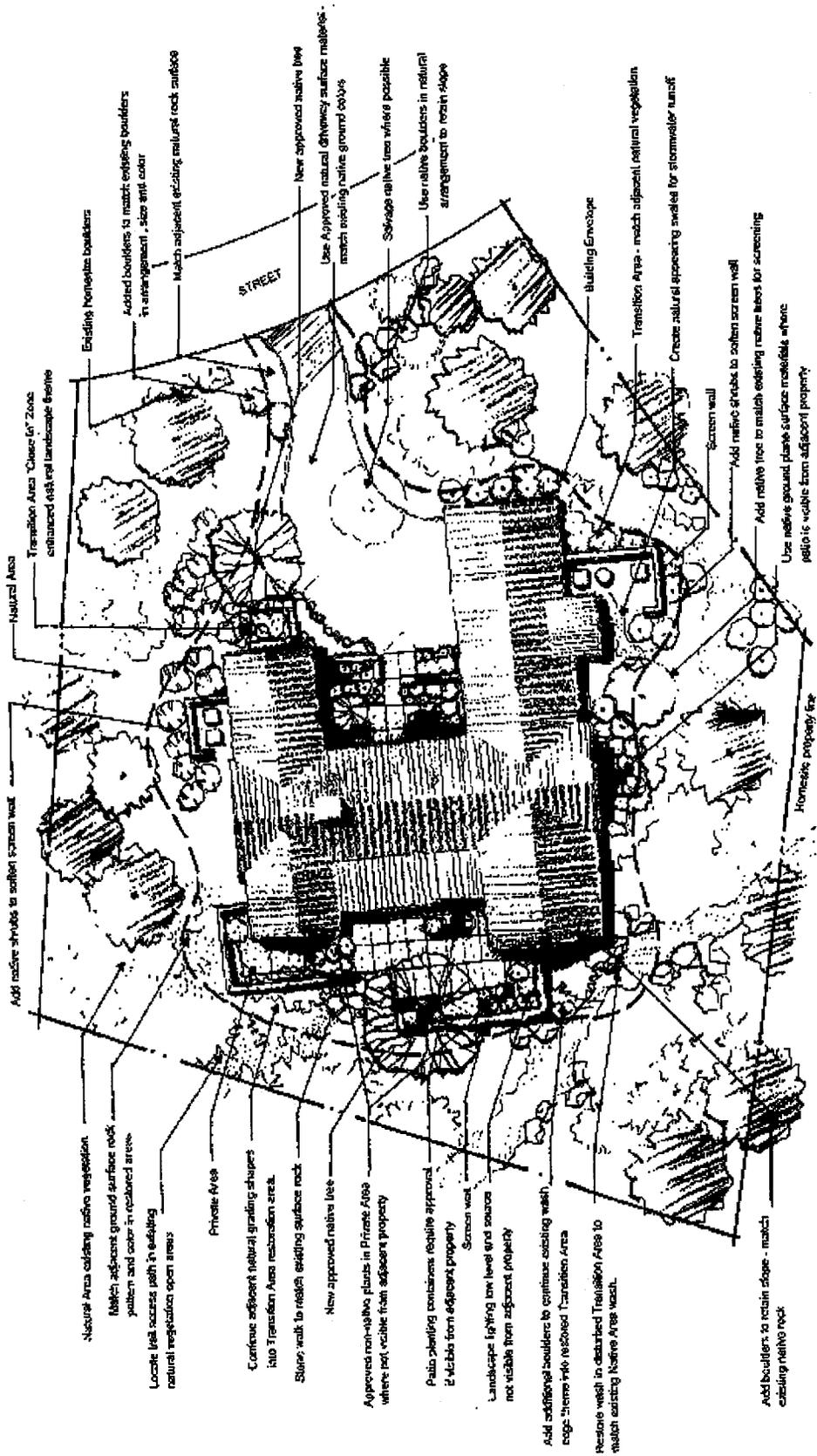
integrated into the constructed improvements and not appearing as site related landscaping enhancements.

4.15 Access to Path System

In general, all access to approved designated Talking Rock pathways is approved only at specifically designated trailheads. In some cases however, access from an individual homesite may be approved by the Architectural Review Committee. In addition to other site-specific requirements the following general conditions must be met for approval to be considered by the Architectural Review Committee.

- a. All costs of the homeowner pathway improvements, maintenance, removal and restoration are the responsibility of the homeowner.
- b. The individual homesite must be adjacent to a designated open space containing the approved path. The Architectural Review Committee must approve the specific location and homeowner access improvements across the open space to the pathway.
- c. The homeowner access to the path does not encroach upon adjacent homesites.
- d. The location and use of the pathway may not create a nuisance to adjacent property or homesites.
- e. The homeowner's pathway is to be used only by the homeowner for access to the approved path and may not through use or appearance become a general use "addition" to the approved path.
- f. The pathway surface must be simply the natural existing native surface material. Pathway definition will be determined through use. No created delineation such as rock edges or raked surfaces may be used nor may material of any kind may be added.
- g. The path must appear to be unobtrusive, natural in appearance, e.g. "game trail" in scale and character and follow the natural undisturbed topography. No vegetation may be removed. The pathway may not cause erosion. No site features may be disturbed.
- h. Signage or graphics may be required in order to avoid confusion regarding path and pathway.

Pathway approval is temporary. The Architectural Review Committee may request the pathway be repaired, modified or removed and restored to natural conditions at any time the Architectural Review Committee considers the pathway incompatible with the intent of the path system.



EXAMPLE OF ACCEPTABLE LANDSCAPE PLAN

4.16 Landscape Installation Timing

Should harsh winter weather conditions exist that are not compatible with the requirements of proper landscape installation, flexibility may be granted on a case-by-case basis as to when landscaping is completed. In no case can landscape installation be delayed for any other reason than seasonal weather. The timing of landscape installation must be resolved prior to the granting of a final approval.

5. Construction Regulations

The preservation of the natural areas of Talking Rock is critical to the community. In order to ensure that the natural area of each homesite is preserved to the maximum extent possible and the nuisances inherent to any construction process are kept to a minimum, the following regulations shall be strictly enforced during the construction period of all improvements at Talking Rock. The Owner of a homesite shall be responsible for violations of the Design Guidelines, including construction regulations contained therein, by any contractor, subcontractor, agent, or employee performing any activities on behalf of the Owner within Talking Rock, whether located on the homesite or elsewhere within Talking Rock.

5.1 Building Envelope and Fencing Requirement

The Building Envelope, which is the limit of development on each homesite, is also the area within which all construction activities related to the improvements must be confined. To this end, the approved area of disturbance must be staked and fenced in with a minimum 4-foot high construction fence during the full duration of construction. Construction fencing enclosing the Building Envelope must also extend along both sides of the access drive and for the full street frontage so no contractors or suppliers park in the natural area.

When a utility trench does not follow the driveway, the trench area must have a construction fence no wider than 8 feet along the route, on each side, and be fully revegetated wherever the natural area is disturbed.

5.2 OSHA Compliance

All applicable Occupational Safety and Health Act (OSHA) regulations and guidelines must be observed at all times.

5.3 Construction Site Plan and Construction Trailers

As part of the Final Submittal, a construction site plan must be prepared and approved which indicates construction access, parking areas off of the street, sanitary facilities, concrete wash out area, trash dumpster, material storage, and approved access drives, for construction activities on any homesite.

Upon approval of the Construction Site Plan a construction trailer or portable field office may be located on the building site within the Building Envelope, clear of all setbacks. The type, size and color of any portable office must be approved by a representative of the Architectural Review Committee as part of the construction site plan. The field office may not be placed on-site earlier than two weeks prior to the actual onset of continuous construction activity, but in no event before Final Approval is granted for the Architectural Review Committee, or before a building permit is issued. At the same time, the provision of temporary power and telephone may be installed. A construction trailer may not remain on site for a period of time exceeding six months without written approval of the Architectural Review Committee.

5.4 Construction Trash Receptacles and Debris Removal

Owners and builders shall clean up all trash and debris at the end of each day; an approved trash receptacle must remain on the site at all times for this purpose to contain all lightweight materials or packaging. The receptacle must be positioned on the site alongside the access drive, clear of side and rear setbacks, adjacent road right(s)-of-way and neighboring properties. Trash receptacles must be emptied on a timely basis to avoid overflow of refuse; disposal shall be at a suitable off-site facility. Owners and builders are prohibited from dumping, burying, or burning trash anywhere on the homesite or in Talking Rock. Heavy debris, such as broken stone, wood scrap, or the like must be removed from the site immediately upon completion of the work of each trade that has generated the debris.

All concrete washouts, from both trucks and mixers, must occur within a contained area of the Building Envelope of the homesite in a location where it will be ultimately concealed by structure or covered by backfill. Concrete

washout in road rights-of-way, setbacks or on adjacent properties is strictly prohibited and subject to a significant fine.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore or detriment to other homesites or open space. Any clean-up costs incurred by the Architectural Review Committee or the Association in enforcing these requirements shall be payable by the Owner. Dirt, mud, or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways or other portions of Talking Rock.

5.5 Sanitary Facilities

Each Owner or builder shall be responsible for providing adequate sanitary facilities for construction workers. Portable toilets must be located within the Building Envelope, clear of all setbacks and in a discreet location approved on site by the Architectural Review Committee.

5.6 Construction Access

The access drive approved by the Architectural Review Committee will be the only construction access to any homesite.

5.7 Vehicles and Parking Areas

Construction crews will not park on, or otherwise use, undeveloped portions of homesites or open space. All vehicles shall be parked within an agreed upon area by the Architectural Review Committee. During very busy construction periods involving multiple trades such that all construction vehicles cannot be confined to the site proper, the overflow vehicles may be temporarily parked along the shoulder of the roadway; in locations and for time periods solely as approved by the Architectural Review Committee. During these periods the road must allow continual unconstrained access by normal traffic and emergency vehicles, including fire trucks. Where parking on the shoulder occurs all damage to the shoulder and landscape must be repaired by the contractor continually and not left for the end of construction. Vehicles may not be parked on neighboring homesites, in nearby driveways or on open space. Changing oil or other vehicle maintenance or fixing is prohibited.

5.8 Conservation of Nature Landscapes

Trees and all natural areas which are to be preserved must be marked and protected by flagging, fencing, or barriers. The Architectural Review Committee shall have the right to flag major terrain features or plants which are to be fenced for protection. Any trees or branches removed during construction must be promptly cleaned up and removed from the construction site.

5.9 Erosion Control

During construction, measures must be taken to eliminate erosion. The following outlines the required, in-the-field construction methods that must be performed by the contractor. All measures utilized must comply with Yavapai County ordinances, which all contractors should familiarize themselves with.

- Temporary run-off channels must be built to drain construction zones; in areas draining two acres or less, channels must have silt screens installed at appropriate locations; silt screens should be stretched across and anchored to the bottom of the channels with hay bales placed on the upstream side of the fabric; where watershed above the site exceeds two acres, temporary earthen berms or ditches for channeling must be used in conjunction with silt screens.
- All storm drain inlet structures must be protected by a filter berm until the area is stabilized with vegetation or the base course of pavement is installed.
- Weather permitting, all embankments constructed as part of cut/fill operations will be seeded and mulched within one week of final grading completion. Note this is work that is better performed in the fall.
- Weather permitting, all building site areas must be seeded and mulched within one week of final grading completion.

5.10 Excavation Materials and Blasting

If any blasting is to occur, the Architectural Review Committee must be notified two weeks in advance and appropriate approvals must be obtained from Yavapai County and the Architectural Review Committee. Blasting may only be done by licensed demolition personnel, with all requisite insurance coverage's as mandated by county and state statutes, specific to their blasting activity at Talking Rock. Talking Rock Association for Community Preservation and Harvard Simon I, L.L.C. must be named as an additional insured. The Architectural Review Committee shall have the authority to require in writing documentation of anticipated seismic effects, with confirmation such effects will not be injurious to other persons or properties, public or private, and that all appropriate protection measures have been utilized. The Architectural Review Committee may require additional insurance to cover potential damages from blasting to subdivision improvements and common areas.

All excess material resulting from blasting, as well as all other excess excavation materials, must be promptly removed from Talking Rock.

5.11 Dust and Noise Control

The contractor shall be responsible for controlling dust and noise from the construction site, including the removal of dirt and mud from public or private roads that is the result of construction activity on the site.

The sounds of radios or any other audio equipment used by construction personnel must not be audible beyond the property perimeter of any homesite; repeated violations of this provision will precipitate a total prohibition of any on-site use of radios or audio equipment during construction.

5.12 Material Deliveries

All building materials, equipment and machinery required to construct a residence on any homesite at Talking Rock must be delivered to and remain within the Building Envelope of each homesite, clear of all setbacks. This includes all building materials, earth-moving equipment, trailers, generators,

mixers, cranes and any other equipment or machinery that will remain at Talking Rock overnight. Material delivery vehicles may not drive across adjacent homesites or common area parcels to access a construction site.

5.13 Firearms

The possession or discharge of any type of firearm by construction personnel on any construction site, homesite, common area parcel or right-of-way at Talking Rock is prohibited. Anyone in possession of a firearm will be permanently restricted from Talking Rock and fined.

5.14 Alcohol and Controlled Substances

The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, homesite, common area parcel or right-of-way at Talking Rock is prohibited and subject to a fine.

5.15 Fires and Flammable Materials

Careless disposition of cigarettes and other flammable materials, as well as the build-up of potentially flammable materials constituting a fire hazard, are prohibited. At least two 20-pound ABC-Rated Dry Chemical Fire Extinguishers shall be present and available in a conspicuous place on the construction site at all times.

No on-site fires are allowed, except for small, confined, attended fires for the purposes of heating masonry water.

5.16 Pets

No pets, particularly dogs, may be brought into Talking Rock by a member of any construction crew.

5.17 Preservation of Property

The use of or transit over any other homesite, common area or amenity, including the golf course, is prohibited. Similarly, the use of or transit over the natural area or setbacks outside the Building Envelope of any homesite is prohibited. Construction personnel shall refrain from parking, eating, depositing of rubbish or scrap materials (including concrete washout) on any neighboring homesite, common area parcel, or right-of-way.

5.18 Protection of Subdivision Improvements and Restoration of Property

Each Owner shall be responsible for the protection of all subdivision improvements, roadways, common areas, golf improvements, or improvements of any other homesite which may be damaged by the activities of such Owner's contractor, subcontractor, agents, or employees.

Upon completion of construction, each Owner and builder shall clean his construction site and repair all property which has been damaged, including but not limited to, restoring grades, planting shrubs and trees as approved or required by the Architectural Review Committee, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing.

In addition, the Owner and general contractor shall be held financially responsible for site restoration/ revegetation and refuse removal necessitated on any and all adjacent properties as a result of trespass or negligence by their employees on sub-contracted agents.

5.19 Construction and Real Estate Signage

Temporary construction signs shall be limited to one standardized sign per site. A copy of the standardized sign requirements will be given out during the pre-construction conference. Along with a list of sign companies permitted to make

the sign. This sign is intended for job site identification only; therefore, it must be located within the Building Envelope, facing the street frontage of the homesite. The construction sign may not be erected on a site earlier than two weeks prior to the onset of continuing construction activity and must be removed within two weeks of the issuance of a certificate of occupancy by the County, or immediately upon the passage of 30 calendar days without significant construction activity.

Individual signs, or construction sign attachments, identifying individual subcontractors, tradesmen, or suppliers are prohibited; identification of licensed tradesmen, when required by state or county statutes, shall be confined to the posting location of the building permit.

Attachment of signs or similar material to trees is strictly prohibited.

5.20 Daily Operation

Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset. Construction activity which generates noise audible from the boundaries of any homesite, such as hammering, sawing, excavation work, concrete delivery, etc., must be confined to the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturday. Noisy activity is prohibited on Sunday of each week, particularly during the summer period of high Owner/visitor occupancy.

5.21 Site Visitation

Due to the inherent danger associated with an active construction site, visitors to any site should be limited to those persons with official business relating to the construction activity, such as construction workers and tradesmen, building officials, security staff, Architectural Review observers, sales personnel, and the Owner. Construction personnel should not invite or bring family members or friends, especially children, to the job site.

5.22 Construction Insurance Requirements

All contractors and sub-contractors must post evidence of insurance with their homesite Owner, prior to entering the construction premises. Confirmation shall be evidenced in the form of a valid Certificate of Insurance naming the homesite Owner, Talking Rock Association for Community Preservation and Harvard Simon I, L.L.C. as additionally insured. The required insurance must provide coverage not less than the applicable limits of coverage relating to comprehensive general liability, automobile liability and workmen's compensation. The minimum limits of liability shall not be less than \$500,000 each for general liability and automobile liability. General liability coverage shall contain provisions for contractual liability and broad form property damage. The certificate shall provide for 30-day notice to the certificate holders in the event of cancellation or material change in the limits of coverage.

5.23 Vehicular Access

Prior to the start of construction activity at Talking Rock, each general contractor shall meet with security staff and prepare a "contractors vehicle pass list" and the supporting information relating to the description and identification of construction/employee vehicles. No person or vehicle will be allowed past the guardhouse until the requisite documents are on file and the appropriate passes have been issued. The Architectural Review Committee or the security staff may require proof of acceptable insurance as a condition of entry.

6. Design Review Procedures

Site sensitive, site-specific design shall be fundamental at Talking Rock. Design drawings should evolve from the careful and thorough analysis of a site's specific setting and features. Therefore, Owners and/or their designers should refrain from approaching a site with a predetermined design expecting to "make it fit", with little regard to natural constraints. Talking Rock has established this review procedure to assist the applicant through the design process in its appropriate sequence.

Plans and specifications shall be submitted to the Architectural Review Committee in accordance with the following conference and submittal requirements and review procedures.

6.1 Pre-Design Conference

Prior to preparing preliminary plans for any proposed improvement, it is mandatory that the Owner and the Architect meet with a representative of the Architectural Review Committee to discuss proposed plans and to resolve any questions regarding building requirements at Talking Rock. This informal review is to offer guidance prior to initiating preliminary design, and should occur on site. In some cases this may occur by conference call at the discretion of the Architectural Review Committee.

The parameters and directives identified at each Pre-Design Conference remain valid for one year only. If the submittal of a preliminary design does not occur within twelve months of a Pre-Design Conference, a supplementary Pre-Design Conference is required as well as additional fees to review any changes in site conditions or revisions to the Design Guideline, which may have transpired.

6.2 Preliminary Design Submittal

A Preliminary Design Submittal must follow within twelve months of the fulfillment of the requisite Pre-Design Conference. When the Preliminary Design is complete, its submittal for consideration must include all of the following exhibits. Review by the Architectural Review Committee will not commence until the submittal is complete.

- A. Site plan (scale at 1" = 10'-0" or 1/8" = 1'-0"), showing the entire property, location of the proposed Building Envelope, the residence and all buildings, driveway, parking area, existing and proposed topography, preliminary grading plan, proposed finished floor elevations, all trees, all clusters of native shrubs, and special terrain features to be preserved, such as rock outcroppings.
- B. Survey (scale at 1" = 10'-0" or 1/8" = 1'-0"), by a registered land surveyor or licensed civil engineer showing homesite boundaries and dimensions, topography (2 feet contours or less), major terrain features, all trees, edge of pavement or curb, and utility locations.
- C. Floor plans (scale 1/4" or 1/8" = 1'-0") showing proposed finished floor elevations.
- D. All exterior elevations (scale 1/4" or 1/8" = 1'-0") showing both existing and proposed grade lines, plate heights, ridge heights, roof pitch and a preliminary indication of all exterior materials and colors.
- E. A 1/8-inch scale model that shows topography (minimum 2 foot contours) of the entire homesite is required at this time. Models at other scales cannot be accepted, as the models are often viewed and compared with other models of nearby home sites. Items such as roof overhangs, windows, mullions, doors, balconies, posts, and exposed beams must be modeled three-dimensionally, rather than being simply drawn onto the model base. Landscaping must be shown to illustrate how it relates to the design.

The model can be of single poster board construction. We are not expecting a highly detailed model. The purpose of the model is to discuss

form, it should be expected changes may be made as a result of the design review process.

A Computer-generated three-dimensional model is an acceptable alternative to a built architectural model. Confirm with The ARC as the type of program that you intend to use to see if it is acceptable.

- E. Any other drawings, materials or samples requested by the Architectural Review Committee. The preliminary submittal shall consist of two sets of prints, which shall be retained by the Architectural Review Committee. The model will be returned.
- F. A design review fee of TWO-THOUSAND THREE HUNDRED AND NO/100 DOLLARS (\$2,300.00)

6.3 *Preliminary Design Review*

The Architectural Review Committee will review the plans and should respond, in writing, no later than 30 days after a submittal is complete.

Results of reviews may be discussed over the telephone by the representative of the Architectural Review Committee with an Owner or his Architect or Builder should they have any questions regarding the Architectural Review Committee's comments.

The Architectural Review Committee's approval of a preliminary design is valid for twelve months. After which the design must be resubmitted for re-approval along with a new review fee.

6.4 *Final Design Submittal*

A Final Design Submittal must follow within twelve months of the Architectural Review Committee's granting of approval for a preliminary design. When the final design is complete, its submittal for consideration must include the following exhibits. Review by the Committee will not commence until the submittal is complete.

- A. Site plan (scale at 1" = 10'-0" or 1/8" = 1'-0"), showing the entire property, location of the Building Envelope, the residence and all buildings, driveway, culverts, drainage channels, parking area, existing and proposed topography, finished floor elevations, all protected plants or special terrain features to be preserved, trees to be removed, all utility sources and connections, and site walls.
- B. Floor plans (scale 1/4" = 1'-0") showing finished floor elevations.
- C. Roof plan (scale 1/4" = 1'-0") showing all roof pitches.
- D. Building section (scale 1/4" = 1'-0" or larger), indicating existing and proposed grade lines.
- E. All exterior elevations (scale 1/4" = 1'-0") showing both existing and proposed grade lines, plat heights, roof pitch and an indication of exterior materials, colors, and all gutters and leaders.
- F. Paint samples and literature as requested by the Architectural Review Committee depicting and describing all exterior materials.
- G. Complete landscape plan (scale 1" = 10'-0" or 1/8" = 1'-0"), showing size and type of all proposed plants, irrigation system, all decorative materials or borders, and all retained plants.
- H. Drainage report and grading-drainage plan.
- I. On-site staking of all building corner and other improvements, if requested by the Architectural Review Committee.
- J. Construction site plan as described in paragraph 5.3.
- K. Cut sheets of all exterior lighting.
- L. Performance deposit of FIVE THOUSAND AND NO/100 DOLLARS (\$5,000.00) and signed form made payable to The Talking Rock Association for Community Preservation.

- M. Performance bond of TWENTY-FIVE THOUSAND AND NO/100 DOLLARS (\$25,000.00). Make out to the Talking Rock Association for Community Preservation. In lieu of a bond, a cash deposit may be made.

The submittal shall consist of three sets of prints, which shall be retained by the Architectural Review Committee.

A Final Design Submittal must be received at the designated address of the Architectural Review Committee (see Section 7.2 of these Standards) by noon of the Friday preceding a scheduled meeting of the Architectural Review Committee, in order to be included on the agenda for consideration.

6.5 Deferral of Material or Color Selection

An applicant may wish to delay the confirmation of landscaping intentions (if any) and final color or stonework selections until some point in time after the start of construction, in order to better visualize landscape considerations, or to test an assortment of potential colors with actual material intended for use. The Architectural Review Committee will cooperate with the applicant in this regard, provided that no landscape work may be started, nor color or material applied, until such time as the Committee has had the opportunity to review and consent to the final selections. We advise that the resubmittal occur before the placement of any orders for materials to avoid potential restocking costs in the event of denial of the submitted item(s). Further, the provision stated here shall be a condition of Final Design Approval; therefore application of any material, coating or finish without the requisite resubmittal to the Architectural Review Committee shall have the effect of voiding the approval in its entirety.

6.6 Site Inspection

As soon as the submittal of final plans is complete, a representative of the Architectural Review Committee will inspect the homesite to determine that the conditions as depicted in the final submittal are accurate and complete.

6.7 Final Design Review

The Architectural Review Committee will review the plans and respond in writing no later than 30 days after a submittal is complete.

Results of reviews may be discussed over the telephone by the representative of the Architectural Review Committee with an Owner or his Architect or Builder, but no Owner, Architect or Builder shall have the right to attend any meeting of the Architectural Review Committee unless specifically requested by the Architectural Review Committee.

The Architectural Review Committee's approval of the final design is valid for twelve months.

6.8 Resubmittal of Plans

In the event of any disapproval by the Architectural Review Committee of either a Preliminary or Final Submittal, a resubmission of plans should follow the same procedure as an original submittal. An additional Architectural Review fee shall accompany each such submittal as required by the Architectural Review Committee.

Design approvals for each review step remain valid for one year only. Therefore, if an application lags the fulfillment of a preceding review phase by more than twelve months, that prerequisite step must be repeated, unless waived by the Architectural Review Committee.

6.9 Pre-Construction Conference

Prior to commencing construction, the builder must meet with a representative of the Architectural Review Committee to review construction procedures and coordinate his activities in Talking Rock.

6.10 Commencement of Construction

Upon receipt of final approval from the Architectural Review Committee, and having satisfied all Yavapai County review processes, the Owner shall satisfy all conditions and commence the construction or any work pursuant to the approved plans within one year from the date of such approval.

If the Owner fails to begin construction within this time period, any approval given shall be deemed revoked.

The Owner shall, in any event, complete the construction of any improvement on his homesite within one year after commencing construction thereof, except and for so long as such completion is rendered impossible or would result in greater hardship to the Owner due to labor strikes, fires, national emergencies or natural calamities.

If the Owner fails to comply with this schedule, the Architectural Review Committee shall have the right to either have the exterior of the improvement completed in accordance with approved plans or remove the improvement, with all expenses incurred to be reimbursed to the Talking Rock Association for Community Preservation by the Owner.

6.11 Inspections of Work in Progress

A representative of the Architectural Review Committee will inspect all work in progress twice a month during a meeting with the contractor. The purpose of this meeting is to make the Release process smoother and to identify issues early for easier resolution. Absence of such inspection or notification during the construction period does not constitute an approval by the Architectural Review Committee of work in progress or compliance with this Design Guideline.

6.12 Subsequent Changes

Additional construction or other improvements to a residence or homesite, changes during construction or after completion of an approved structure, including landscaping and color modification, must be submitted to the

Architectural Review Committee for approval prior to making such changes or additions.

6.13 Final Release

Upon completion of any residence or other improvement, the Owner shall give written notice of completion to the Architectural Review Committee.

Within 10 days of such notification, a representative of the Architectural Review Committee shall inspect the residence or other improvement for compliance. If all improvements comply with this Design Guideline, the Architectural Review Committee shall issue a written approval to the Owner, constituting a final release of the improvements by the Architectural Review Committee, said release to be issued within 30 days of the Final Inspection. If it is found that the work was not done in strict compliance with approved plans or any portion of this Design Guideline, the Architectural Review Committee may issue a written notice of noncompliance to the Owner, specifying the particulars of noncompliance, said notice to be issued within 30 days of the Final Inspection.

The Owner shall have 30 days from the date of notice of noncompliance within which to remedy the noncompliance portions of his improvement. If, by the end of this time period the Owner has failed to remedy the noncompliance, the Architectural Review Committee may take action to remove the noncompliance improvements as provided for in this Design Guideline, including, without limitation, injunctive relief or the imposition of a fine.

6.14 Non-Waiver

The approval by the Architectural Review Committee of any plans, drawings or specifications for any work done or proposed shall not be deemed to constitute a waiver of any right to withhold approval of any similar plan, drawing or specification subsequently or additionally submitted for approval. Failure to enforce any of this Design Guideline shall not constitute a waiver of same.

6.15 Right of Waiver

The Architectural Review Committee reserves the right to waive or vary any of the procedures set forth herein at its discretion, for good cause shown.

6.16 Exemptions

Utility and maintenance buildings, structures, and cabinets located on non-residential tracts, owned by the land developer, golf course developer, utility companies or the Talking Rock Association for Community Preservation, are exempted from this Design Guidelines. However, the Architectural Review Committee will endeavor to attain as high a level of conformance with these standards as is practical for these types of facilities.

6.17 Design Review Fee

A fee of TWO-THOUSAND THREE HUNDRED AND NO/100 DOLLARS (\$2,300.00) Architectural Review fee will be charged. Additional Architectural Review fees may be charged due to resubmittals, remodels, or other special circumstances. The full Architectural Review fee will be paid at the time of the Preliminary Submittal. Please consult with the Architectural Review Committee for the latest fee structure for resubmittal, remodeling, etc. All checks must be made out to the **TALKING ROCK ASSOCIATION FOR COMMUNITY PRESERVATION**.

6.18 Performance Deposit Rule

Concurrent with Final Plan Submittal, the Owner shall deposit with the Talking Rock Association for Community Preservation (TRRACP) or the Management Company Agent, the sum of FIVE THOUSAND AND NO/100 DOLLARS (\$5,000.00) (the "Performance Deposit"). Furthermore, Owner shall execute and deliver to the Homeowners Association, a Deposit Agreement in the form attached hereto. The Performance Deposit shall to be held pending the

completion (including clean up) of all improvement(s) described in the final, approved plans and constructed on the Owner's individual Lot(s).

In the event that the Owner, the Contractor or their respective agents, representatives or employees (i) cause any Damage, (ii) fail to construct the improvements in accordance with the approved plans or (iii) fail to comply with the Guidelines, the Declaration or any rules or regulations adopted or promulgated by either the Talking Rock Association for Community Preservation, or the Architectural Review Committee, the Association may use the Performance Deposit to, among other things, (a) repair and/or rectify the Damage or (b) enforce the Guidelines, the Declaration and any other rule or regulation thus violated and cure any defect or problem caused by said non-compliance. Following the Association's use of all or any portion of the Performance Deposit, the Owner shall immediately pay to the TRRACP, as the case may be, an amount sufficient to replenish the Performance Deposit to the sum initially deposited. Failure to replenish the Performance Deposit within seven (7) days following the Association's delivery of written demand shall be deemed a material breach of the Guidelines and the Declaration and shall entitle the Association to (i) deny Contractor's access to the community (including any of Contractor's suppliers, subcontractors, employees and material men) and (ii) lien the Lot in an amount equal to the Performance Deposit deficiency. Upon tendering the Performance Deposit, the Owner shall execute and deliver to the Committee a Notice of Voluntary Lien in the form attached hereto.

Upon completion of the improvements approved by the Committee (including clean up), the Owner shall certify in a letter to the Committee (the "Certification") that:

(i) The improvements constructed upon the Lot have been built in compliance with (a) the approved plans, (b) the Declaration, (c) the Guidelines and all other the rules and regulations adopted for the community;

(ii) All appropriate clean up has been made;

All required landscaping improvements have been completed; and

Neither the Owner, the Contractor, nor their respective agents, employees or representatives have caused any Damage or, in the alternative, that all Damage caused by said individuals/entities has been repaired or rectified to the satisfaction of the TRRACP.

The Certification shall be delivered by certified mail, return receipt requested, to the address so designated by the Association, which body shall have fifteen (15) days from the receipt thereof to (a) return the Performance Deposit less any funds expended in enforcement and/or correction or (b) refuse to return such funds or portion thereof and specifically state in writing how such party is not in compliance. In the event that the Association refuses to return all or a portion of the Performance Deposit due to the Owner's non-compliance, the Owner shall have the opportunity to resubmit a supplemental Certification upon remedying the issues/problems identified in the Association's notice of non-compliance.

Contractor and Owner hereby agree to indemnify TRRACP, the Committee, the Management Companies Agent, and Talking Rock, L.L.C. and to defend and hold those same parties harmless from all claims, costs, fees (including court costs and witness and attorneys' fees), expenses, loss, damage and liability of any kind, including, without limitation, mechanics' or material men's liens, which may be asserted against or incurred by TRRACP as a result of the construction activities by Contractor or Owner or any damage caused by Contractor, Owner, or their respective agents, representatives and employees. This indemnity shall survive the final completion of the construction activities conducted on the Owner's Lot.

6.19 *Performance Bond*

Concurrent with the submittal of final plans, the Contractor designated by the Owner shall deliver to the Committee a duly issued performance bond in the amount of TWENTY-FIVE THOUSAND AND NO/100 DOLLARS (\$25,000.00) (the "Performance Bond"). The Performance Bond shall be purchased solely for the protection of the Association and shall secure the Contractor's full and faithful compliance with all approvals given by the Committee. The Bond shall remain in full force and effect until such time as the approved improvements (including clean up) are completed. All premiums associated with the acquisition and maintenance of the Performance Bond shall be borne by the

Contractor or Owner. The Performance Bond shall be executed solely by a surety company or companies holding a certificate of authority to transact surety business in the State of Arizona (said certificate issued by the Director of the Arizona Department of Insurance pursuant to Title 20, Chapter 2, Article 1 of the Arizona Revised Statutes). Furthermore, the surety company shall be acceptable to the Committee in its sole and absolute discretion.

The Performance Bond shall be in substantially the same form as Exhibit E attached hereto.

Alternatively, the Owner may submit a written request to the Committee to post a \$25,000 deposit (the "Additional Performance Deposit") in lieu of the Performance Bond. The Committee will approve or disapprove of such request within five (5) days of receipt of such request. The Additional Performance Deposit shall not be confused with, and is a separate obligation from, the \$5,000 Performance Deposit. The Additional Performance Deposit shall secure the Owner's full and faithful compliance with all approvals given by the Committee. The Additional Performance Deposit shall remain in full force and effect until such time as the approved improvements (including clean up) are completed. Furthermore, if the Committee approves the Owner's use of the Additional Performance Deposit in lieu of the Performance Bond, the Owner must execute the documents attached hereto as Exhibit D.

Should an owner move in to the residence before a final release is granted in writing, the \$25,000.00 bond or cash deposit is forfeited.

7. Architectural Review Committee Organization

7.1 Members

The Architectural Review Committee shall consist of three (3) to seven (7) members, appointed by the Developer so long as the Developer owns any homesites in Talking Rock and thereafter by the Board of Directors of Talking Rock Association for Community Preservation. Each member shall hold his office until such time as he has resigned, been removed, or his successor has been appointed.

7.2 Address of Architectural Review Committee

The address of the Architectural Review Committee shall be the address established for giving notice to the Association, unless otherwise specified by the Committee. Such address shall be the place for the submittal of plans and specifications, and the place where the current Design Guidelines shall be kept.

The present address for the Architectural Review Committee:

Talking Rock
Architectural Review Committee

113 W. Goodwin
Prescott, Arizona 86303

OR

7550 E. McDonald Drive
Suite A
Scottsdale, Arizona 85250

7.3 Resignation of Members

Any member of the Architectural Review Committee may, at any time, resign from the Architectural Review Committee upon written notice delivered to the Board.

7.4 Duties

It shall be the duty of the Architectural Review Committee to consider and act upon such proposals or plans related to the development of Talking Rock that are submitted pursuant to this Design Guidelines to enforce the Design Guidelines, and to amend this Design Guidelines when, and in a manner deemed appropriate by, the Architectural Review Committee.

7.5 Meetings

The Architectural Review Committee shall meet from time to time as necessary to properly perform its duties. The vote of a majority of the members shall constitute an act by the Architectural Review Committee.

The Architectural Review Committee shall keep on file all submittals and copies of all written responses to Owners to serve as record of all actions taken.

7.6 Compensation

Unless authorized by the Association, the members of the Architectural Review Committee shall not receive any compensation for services rendered.

All members shall be entitled to reimbursement for reasonable expenses incurred by them in connection with the performance of their duties. Professional consultants and representatives of the Architectural Review Committee retained for assistance in the review process shall be paid such compensation as the Architectural Review Committee determines.

7.7 Amendment of Design Guidelines

The Architectural Review Committee may, from time to time and at its sole discretion, amend or revise any portion of the Design Guideline. All such amendments or revisions shall be appended to and made a part of the Design Guideline. Administrative changes may be made in like manner by the Architectural Review Committee; changes of a substantial nature may be

recommended by the Architectural Review Committee for consideration by the Board of Directors of the Homeowner's Association.

7.8 Non-~~Liability~~ --

Neither the Architectural Review Committee, any member thereof, nor the developer, shall be liable to the Association or to any Owner or other person for any loss or damage claimed on account of any of the following:

1. The approval or disapproval of any plans, drawing and specifications, whether or not defective.
2. The construction or performance of any work, whether or not pursuant to approved plans, drawings, and specifications regardless of any inspections by the Architectural Review Committee during the course of construction.
3. The development, or manner of development of any property within Talking Rock.

Every Owner or other person, by submission of plans and specifications to the Architectural Review Committee for approval, agrees that he will not bring any action or suit against the Architectural Review Committee, any of its members, nor the developer, regarding any action taken by the Architectural Review Committee.

Approval by the Architectural Review Committee of any improvement at Talking Rock only refers to the Talking Rock Design Guidelines and in no way implies conformance with local government regulations. It shall be the sole responsibility of the Owner to comply with all applicable government ordinances or regulations, including but not limited to zoning ordinances and local building codes.

7.9 Enforcement --

The Architectural Review Committee may, at any time, inspect a homesite or improvement and, upon discovering a violation of this Design Guidelines,

provide a written notice of non-compliance to the Owner, including a reasonable time limit within which to correct the violation. A notice of violation may also be recorded by the Architectural Review Committee after the expirations of the time limit. If an Owner fails to comply within this time period, the Architectural Review Committee or its authorized agents may enter the homesite and correct the violation at the expense of the Owner of such homesite; said expense to be secured by a lien upon such homesite for the amount claimed enforceable in accordance with the Declaration.

In the event of any violation of this Design Guidelines, the Architectural Review Committee may, at its sole discretion and in addition to restoration expenses, impose without limitation a punitive fine, commensurate with the severity of the violation. In the event the Architectural Review Committee deems it necessary to retain legal counsel in connection with the enforcement of this Design Guidelines, the Owner against whom such enforcement is sought shall be liable for all legal fees and other out-of-pocket expenses incurred by the Architectural Review Committee or the Talking Rock Association for Community Preservation in enforcing the Design Guidelines.

7.10 Severability

If any provision of the Design Guidelines, or any section, clause, sentence, phrase or word, or the application thereof in any circumstance, is held invalid, or unenforceable, the validity of the remainder of this Design Guidelines, and of the application of any such provision, section, sentence, clause, phrase or word in any other circumstances, shall not be affected thereby, and the remainder of the Design Guidelines shall be construed as if such invalid or unenforceable part were never included therein.

7.11 Delegation of Authority

The Architectural Review Committee may delegate any or all of its Architectural Review responsibilities to one or more of its members, acting as a subcommittee of the Architectural Review Committee, and/or a professional design consultant(s) retained by the Architectural Review Committee on behalf of the Association. Upon such delegation, the actions of such members or consultant(s) shall be equivalent to action by the Committee as a whole.

7.1 Declaration of Covenants, Conditions, and Restrictions

These Design Guidelines is promulgated pursuant to the terms and conditions of the Declaration of Covenants, Conditions, and Restrictions for Talking Rock. However, in the event of any inconsistency between the provisions of this Design Guidelines and the provisions of such Declaration, the provisions of the Design Guidelines shall apply.

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE TREES

Evergreen

<u>Botanical Name</u>	<u>Common Name</u>
<i>Cupressus arizonica</i>	Arizona Cypress*
<i>Juniperus deppeana</i>	Alligator Juniper
<i>Juniperus monosperma</i>	One-seed Juniper
<i>Juniperus osteosperma</i>	Utah Juniper
<i>Pinus edulis</i>	Pinyon Pine
<i>Pinus ponderosa</i>	Ponderosa Pine
<i>Quercus arizonica</i>	Arizona Oak
<i>Quercus chrysolepsis</i>	Canyon Live Oak
<i>Quercus emoryi</i>	Emory Oak
<i>Quercus gambelii</i>	Gambel Oak
<i>Quercus grisea</i>	Gray Oak
<i>Quercus undulata</i>	Wavyleaf Oak

Deciduous

<i>Celtis reticulata</i>	Netleaf Hackberry
<i>Cercis occidentalis</i>	Western Redbud
<i>Chilopsis linearis</i>	Desert Willow
<i>Fraxinus velutina</i>	Arizona Ash*
<i>Juglans major</i>	Arizona Walnut*
<i>Platanus wrightii</i>	Arizona Sycamore*
<i>Populus fremontii</i>	Fremont Cottonwood*
<i>Prunus virginiana</i>	Chokecherry
<i>Robinia neomexicana</i>	New Mexican Locust

*can be planted only
in riparian areas as
defined by the Architectural
Review Committee.

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE SHRUBS/ CACTUS/ ACCENTS

Evergreen

<u>Botanical Name</u>	<u>Common Name</u>
<i>Agave parryi</i>	Parry's Agave
<i>Arcotostaphylos patula</i>	Greenleaf Manzanita
<i>Arcotostaphylos pungens</i>	Pointleaf Manzanita
<i>Artemisia filifolia</i>	Sand Sagebrush
<i>Berberis fremontii</i>	Fremont Barberry
<i>Berberis haematocarpa</i>	Red Barberry
<i>Ceanothus greggi</i>	Gregg Ceanothus
<i>Ceanothus integerrimus</i>	Deerbrush
<i>Cissus trifoliata</i>	Arizona Grape
<i>Cowania mexicana</i>	Cliffrose
<i>Dasyliirion wheeleri</i>	Sotol, Desert Spoon
<i>Ephedra viridis</i>	Jointfir
<i>Garrya flavescens</i>	Silktassel Bush
<i>Garrya wrightii</i>	Wright Silktassel
<i>Gutierrezia sarothrae</i>	Snakeweed
<i>Nolina microcarpa</i>	Beargrass
<i>Opuntia engelmannii</i>	Engelmann's Prickly Pear
<i>Opuntia leptocaulis</i>	Desert Christmas Cholla
<i>Purshia tridentata</i>	Antelope Bitterbrush
<i>Quercus turbinella</i>	California Scrub Oak
<i>Ribes inebrians</i>	Sqaw Currant
<i>Rhus ovata</i>	Sugar Sumac
<i>Yucca elata</i>	Soaptree Yucca
<i>Yucca baccata</i>	Banana Yucca

Deciduous

<i>Amelanchier utahensis</i>	Utah Serviceberry
<i>Cercocarpus betuloides</i>	Birchleaf Mountain Mahogany
<i>Cercocarpus ledifolius</i>	Curleaf Mountain Mahogany
<i>Cercocarpus montanus</i>	Alderleaf Mountain Mahogany
<i>Chrysothamnus nauseosus</i>	Rabbitbrush
<i>Fallugia paradoxa</i>	Apache Plume
<i>Lycium pallidum</i>	Pale Wolfberry
<i>Rhus trilobata</i>	Three Leaf Sumac
<i>Symphoricarpos rotundifolius</i>	Roundleaf Snowberry

Standards of Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE GROUNDCOVER/ ACCENTS

<u>Botanical Name</u>	<u>Common Name</u>
<i>Achillea millefolium</i> var <i>lanulosa</i>	Western Yarrow
<i>Allium cernuum</i>	Nodding Onion
<i>Aquilegia formosa</i>	Red Columbine gc
<i>Berberis repens</i>	Creeping Mahonia gc
<i>Calochortus kennedyi</i>	Desert Mariposa
<i>Calylophus hartwegii</i>	Hartweg Evening Primrose gc
<i>Castilleja integra</i>	Indian Paintbrush gc
<i>Dyssodia acerosa</i>	Dogweed gc
<i>Eschscholtzia mexicana</i>	Mexican Gold Poppy
<i>Gallardia puchella</i>	Blanketflower
<i>Gilia</i> spp.	Gilia gc
<i>Lupinus argenteus</i>	Silverleaf Lupine
<i>Melampodium leucanthum</i>	Blackfoot Daisy gc
<i>Mirabilis multiflora</i>	Wild Four O'clock
<i>Oenothera caespitosa</i>	Tufted Evening Primrose gc
<i>Oenothera hookeri</i>	Hooker Evening Primrose a
<i>Orthocarpus purpurascens</i>	Owl Clover
<i>Penstemon barbatus</i>	Scarlet Bugler a
<i>Penstemon eatonii</i>	Firecracker Penstemon a
<i>Penstemon palmeri</i>	Palmer's Penstemon a
<i>Penstemon spectabilis</i>	Royal Penstemon a
<i>Ratibida columnaris</i>	Mexican Hat
<i>Sphaeralcea parvifolia</i>	Littleleaf Globemallow a
<i>Solidago missouriensis</i>	Prairie Goldenrod
<i>Verbena bipinnatifida</i>	Dakota Verbena
<i>Verbena rigida</i>	Sandpaper Verbena gc
<i>Viguiera multiflora</i>	Goldeneye gc
<i>Zinnia grandiflora</i>	Prairie Zinnia gc

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENIOUS AND NATIVE GRASSES

Warm Season

<u>Botanical Name</u>	<u>Common Name</u>
<i>Aristida longiseta</i>	Red Three Awn
<i>Aristida nealleyi</i>	
<i>Aristida purpurea</i>	Purple Three Awn
<i>Bouteloua gracilis</i>	Blue Grama
<i>Bouteloua curtipendula</i>	Sideoats Grama
<i>Bouteloua hirsuta</i>	Hairy Grama
<i>Buchloe dactyloides</i>	Buffalo Grass
<i>Eragrostis intermedia</i>	Plains Lovegrass
<i>Festuca arizonica</i>	Arizona Fescue
<i>Hilaria mutica</i>	Tobosa
<i>Muhlenbergia repens</i>	Aparejo Grass
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Panicum obtusum</i>	Vine Mesquite
<i>Schizachyrium scoparium</i>	Little Bluestem
<i>Sporobolus airoides</i>	Alkali Sacaton
<i>Sporobolus cryptandrus</i>	Sand Dropseed

Cool Season

<i>Agropyron smithii</i>	Western Wheatgrass
<i>Elymus elymoides</i>	Bottlebrush Squirreltail
<i>Poa fendleriana</i>	Mutton Grass

Appendix A - Prohibited Plant List

NATURAL AND TRANSITIONAL AREAS

It is the intent of this list to prohibit all non-indigenous native plants (except approved native and arid adapted listed on the approved plant lists) within the Natural and Transitional Areas of the homesite. Other plants may be planted in the Private Area only if *not seen from neighboring property*.

However, it is also the intent to prohibit in all Areas any plant that, in the opinion of the Architectural Review Committee: threatens native plants or animals, hosts or promotes plant diseases, requires excessive water, requires high maintenance, may have an excessive mature size, or is not compatible with the Talking Rock indigenous native plant landscape theme. Any plant or plants that create a disturbance or nuisance by attracting animals are also prohibited. Such plants may be added to the prohibited list at any time. If a plant is not listed as approved or prohibited, its status must be reviewed by the Committee. The following plants are specifically prohibited:

TREES

<u>Botanical Name</u>	<u>Common Name</u>
<i>Acacia spp</i>	Acacia
<i>Acer spp</i>	Maple
<i>Betula</i>	Birch
<i>Cedrus & Cupressus spp</i>	all except Arizona Cypress
<i>Elaeagnus angustifolia</i>	Russian Olive
<i>Fraxinus</i>	all except Arizona Ash
<i>Gleditsia</i>	all Locust
<i>Juniperus spp</i>	except Alligator Juniper, One-seed Juniper, Utah Juniper
<i>Koelreuteria paniculata</i>	Goldenrain Tree
<i>Leucaena refusa</i>	Goldenball Leadtree
<i>Malus spp</i>	Crabapple
<i>Morus spp</i>	Mulberry
<i>Picea spp</i>	Spruce, Fir
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Populus spp</i>	all except Fremont Cottonwood(riparian)
<i>Prunus spp</i>	Plum
<i>Pinus spp</i>	all except Pinyon Pine, Ponderosa Pine
<i>Salix spp</i>	Willow
<i>Sequoiadendron giganteum</i>	Sequoia
<i>Tamarix spp</i>	Tamarisk
<i>Quercus spp</i>	all except Arizona Oak Canyon Live Oak, Emory Oak, Gambel Oak, Gray Oak, Wavyleaf Oak
<i>Ulmus spp</i>	all Elm
<i>Vitex agnus-castus</i>	Lilac Chaste Tree
<u>Other trees-general</u>	all fruit trees, non-native flowering trees non-native deciduous broadleaf trees non-native pines, cedars, and junipers

Appendix A - Prohibited Plant List

NATURAL AND TRANSITIONAL AREAS

SHRUBS, GROUNDCOVER, ACCENTS, AND OTHER PLANTS

All varieties of the following non-native plant species are prohibited unless specifically listed as approved on the Approved Plant List.

<i>Amelanchier</i>	Serviceberry
<i>Berberis</i>	Barberry
<i>Caragana</i>	Peashrub
<i>Cotoneaster</i>	Cotoneaster
<i>Deutzia</i>	Deutzia
<i>Euonymus</i>	Euonymus
<i>Forsythia</i>	Forsythia
<i>Hedera</i>	Ivy
<i>Juniperus</i>	Juniper
<i>Kolkwitzia</i>	Beauty Bush
<i>Ligustrum</i>	Privet
<i>Lonicera</i>	Honeysuckle
<i>Mahonia</i>	Mahonia
<i>Photina</i>	Photina
<i>Pinus</i>	Pine
<i>Prunus</i>	Stone Fruits
<i>Pyracantha</i>	Pyracantha
<i>Rhus</i>	Sumac
<i>Ribes</i>	Currant
<i>Rosa</i>	Rose
<i>Salix</i>	Willow
<i>Sophora</i>	Sophora
<i>Tamarix</i>	Tamarisk
<i>Taxus</i>	Yew
<i>Viburnum</i>	Viburnum
<i>Yucca</i>	Yucca

Appendix A - Prohibited Plant List

NATURAL AND TRANSITIONAL AREAS

GRASSES

It is intended that only native grasses indigenous to the homesite be used in the Native and Transitional Areas and all other grasses are prohibited. In the Private area the Architectural Review Committee must specifically approve other grasses. To be considered for approval, they must, in the opinion of the Architectural Committee, not be invasive, displace or otherwise threaten native grasses. Examples of prohibited grasses are listed below.

<i>Baccharis</i>	Desert Broom
<i>Bromus</i>	Brome except as approved
<i>Cortaderia selloana</i>	Pampas Grass
<i>Cynodon dactylon</i>	Bermuda Grass
<i>Pennisetum</i>	Fountain Grass

FLOWERS

Color plants such annuals, flowers and wildflowers not native to the homesite are prohibited in the Natural Area and Transitional Area unless specifically approved by the Architectural Review Committee. Flowers, wildflowers, annuals and other non native flowering or color plants must not be invasive, displace or otherwise threaten native plants animals or cause a nuisance by attracting animals and be specifically approved by the Architectural Review Committee.

Appendix B - Architectural Review Submittal Checklist

STEP 1 PRE-DESIGN CONFERENCE ON SITE WITH ARCHITECT AND OWNER
(Before any design begins)

- Review Guidelines.
- Discuss Driveway Configuration.
- Answer all questions related to process.

STEP 2 PRELIMINARY DESIGN SUBMITTAL

- Site Plan Survey with Topography, and Preliminary Grading Plan
- Floor Plans
- All Exterior Buildings Elevations
- Model or Computer-Generated Three-Dimensional Model
- Supplemental Drawings Requested in Pre-Design
- Architectural Review Fee Check & Application

STEP 3 FINAL DESIGN SUBMITTAL

- Complete Construction Documents
- Time Schedule for Construction
- Sample of all Exterior Materials, Colors, and Glass Specifications
- Landscaping Plan
- Exterior Lighting Plan and Lighting Cut Sheets
- Proof of Bond
- Performance Deposit
- Construction Site Plan
- Final Grading Plan Stamped by a Licensed Civil Engineer

STEP 4 COUNTY BUILDING PERMIT

STEP 5 PRE-CONSTRUCTION CONFERENCE

- Builder Must Meet with a Representative of the Committee Prior to Commencement of Construction.
- Approval From the Committee Must Be Obtained Prior to Bringing in Any Construction Trailer, Field Office, Etc.
- Agreed Upon Area Must Be Fenced with Chain Link Fencing

STEP 6 CERTIFICATE OF FINAL CONSTRUCTION APPROVAL

- Issued by the Architectural Review Committee upon Completion of Construction and all Required Inspections.

Appendix B - Architectural Review Application

Applicant to Complete the Information Below

Project Location

CITY: _____

STREET ADDRESS: _____

Talking Rock

Prescott, Arizona

Owner

NAME: _____

MAILING ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

PHONE: _____

FAX: _____ E-MAIL: _____

Architect

FIRM / ARCHITECT: _____

MAILING ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

PHONE: _____

FAX: _____ E-MAIL: _____

Contractor/Builder

FIRM: _____

MAILING ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

PHONE: _____

FAX: _____ E-MAIL: _____

House Information

Enclosed Livable: _____ Sq. ft.

Enclosed Total: _____ Sq. ft.

Covered/Under Roof Total: _____ Sq. ft.

Building Color: _____
NAME NUMBER

MFG LVR

Description of Submittal

Attach all necessary drawings and information

Applicant

As Applicant, either as Owner or Owner's Agent, I have read and understand the Design Guidelines and the CC&R's concerning design and construction in Talking Rock. I also acknowledge that the Design-Review Fee is non-refundable.

APPLICANT'S SIGNATURE: _____

PRINT NAME: _____

DATE: _____

For Committee Use Only

IN SUBMITTER: _____

Preliminary Approved

DATE: _____

Final

Approved w/Steps

SCHEDULED MEETING DATE: _____

DATE DESIGN MEETING DATE: _____

PRELIMINARY APPROVAL DATE: _____

FINAL APPROVAL DATE: _____

Appendix D - Performance Deposit Rule

In compliance with the rules adopted by the Architectural Review Committee (the "ARC") and the Board of Directors of the Talking Rock Association for Community Preservation (TRCP), _____ (the "Owner"), does hereby deposit with the TRCP for the benefit of the Association the sum of \$5,000.00 (hereinafter referred to as the "Deposit") and agrees to the following terms and conditions:

1. The Deposit shall be held as security against any Damage (as that term is defined in Section 7.12.1 of the Guidelines.) caused by the acts and/or omissions of Owner, his general contractor and/or their respective employees, agents or subcontractors in connection with the construction of improvements on the Owner's Lot.
2. Upon the occurrence of any such Damage, TRCP from time to time, and without prejudice to any other remedy, may use the Deposit to, among other things, (a) repair and/or rectify the Damage or (b) enforce the Guidelines, the Declaration and any other rule or regulation thus violated and cure any defect or problem caused by said non-compliance. It is expressly understood that the use of any or all of the Deposit shall not be considered a measure of the Damage nor release the Owner from paying additional amounts if the total Damage exceeds \$5,000.00.
3. Following the Association's use of all or any portion of the Deposit, the Owner shall immediately pay to TRCP an amount sufficient to replenish the Deposit to the sum initially deposited. Failure to replenish the Performance Deposit within seven (7) days following the Association's delivery of written demand shall be deemed a material breach of the Guidelines and the Declaration and shall entitle the Association to (i) deny Contractor's access to the community (including any of Contractor's suppliers, subcontractors, employees and material men) and (ii) lien the Lot in an amount equal to the Performance Deposit deficiency.
4. Concurrent with the delivery of the Performance Deposit, the Owner shall execute and deliver to the ARC a Notice of Voluntary Lien in the form attached hereto.

Appendix D - Performance Deposit Rule - continued

5. Neither the ARC, the Board, TRCP nor any member thereof shall be liable to the Owner or any other person for any loss, damage or injury arising out of the payment or non-payment of the Deposit funds unless such loss, damage or injury is due to willful misconduct or bad faith of the ARC, the Association, the Board or the respective members thereof, as the case may be.

6. Upon completion of the construction of Owner's Lot as per the approved plans and specifications, delivery of the Certification to the ARC, and a final inspection by the ARC satisfactorily indicating that no Damage as set forth in paragraph 1 remains unremedied and that all construction has been completed pursuant to the approved plans and specifications, including landscaping plans, the Deposit or any balance thereof shall be returned to the Owner.

7. No interest shall be payable on the Deposit.

8. **This deposit is forfeited if the owner moves in to the Residence before Final Release and another \$5,000.00 deposit must be made within 15 days.**

9. By signature below, TRCP acknowledges receipt of \$5,000.00 in form of _____
_____.

Executed on the ____ day of _____, 200__.

OWNER

Address

Address

TALKING ROCK ASSOCIATION FOR COMMUNITY PRESERVATION

By:

Appendix D - Performance Deposit Rule - continued

When recorded, return to:

Attention: _____

NOTICE OF VOLUNTARY LIEN

On _____, 200____, the undersigned, as Owner of Homesite _____ of Talking Rock (see legal description attached hereto as Exhibit "A"), entered into that certain Deposit Agreement with Talking Rock Association for Community Preservation (TRCP), an Arizona not-for-profit corporation, which provides, among other things, that in the event of the failure of the undersigned to timely replenish the \$5,000.00 Performance Deposit mandated in the Deposit Agreement, there shall be recorded this "Notice of Voluntary Lien" in respect of the real property more particularly described on Exhibit "A" (the "Benefited Property").

The amount due and owing from the undersigned, as of the date of recordation hereof, is _____ (the "Unpaid Deposit"). The undersigned hereby covenant and agree that TRCP shall have a voluntary, consensual lien upon the Benefited Property in the amount of the Unpaid Deposit, said lien to continue until such time as TRCP receives full payment of the Unpaid Deposit.

Properly interested parties may inspect a copy of the Deposit Agreement by contacting TRCP at _____, Attention:

The undersigned herewith represents and warrants that, as of the date of execution hereof, the undersigned own(s) fee simple title to the Benefited Property. This Notice of Voluntary Lien constitutes a continuing lien upon the Benefited Property and shall continue in full force and effect until released by a properly recorded instrument executed by TRRACP.

DATED this _____ day of _____, 200____.

"OWNER(S)"

Appendix D - Performance Deposit Rule - continued

STATE OF ARIZONA)

County of _____) ss

On this ____ day of _____, 20____, before me, the undersigned officer, personally appeared _____ and _____, known to me to be the person(s) whose name(s) is (are) subscribed in the foregoing instrument and acknowledged that he/she/they executed the same for the purposes herein contained.

In witness hereof, I hereunto set my hand and official seal.

Notary Public

My Commission Expires:

Appendix E - Form of Performance Bond

KNOW ALL MEN BY THESE PRESENTS, That we _____ of _____ hereinafter referred to as the Principal, and _____, a corporation organized under the laws of the State of _____ and authorized to do business in the State of Arizona, as Surety, are held and firmly bound unto **Talking Rock Ranch Association For Community Preservation (TRRACP)**, hereinafter referred to as Obligee, in the sum of TWENTY-FIVE THOUSAND AND NO/100 DOLLARS (\$25,000.00), lawful money of the United States of America, for the payment of which sum, well and truly to be made, we bind ourselves, executors, administrators, successors and assigns, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH, THAT

WHEREAS, the Principal has entered into a certain permit with the above named Obligee to guarantee performance of the construction regulations of the Talking Rock Design Guidelines regarding Homesite _____ In Phase _____ the cost of any remedy for violation, as set forth by these regulations, as they apply to the lot; will be charged against the bond upon demand of the Obligee.

NOW, THEREFORE, if the Principal shall faithfully observe and comply with such Design guidelines as required by this bond then this obligation shall become void; Otherwise to remain in full force and effect.

SIGNED, SEALED AND DATED this _____ day of _____, 200_____.

"PRINCIPAL"

"INSURANCE COMPANY NAME"

By: _____

By: _____

Appendix F - Supplemental Guidelines for the Cottages at Talking Rock

The Design Guidelines for The Cottages at Talking Rock Ranch shall incorporate all of the Design Guidelines outlined in the Master Talking Rock Ranch Design Guidelines dated February 1, 2004 and all future revisions. The following are exceptions, revisions, special conditions or exemptions to those guidelines. All paragraph numbers refer to those numbered paragraphs in the Talking Rock Ranch Design Guidelines dated February 1, 2004.

The following amendments to the Talking Rock Design Guidelines, dated August 13, 2001, as amended and revised, need to be complied with the design of Clustered Residential Units. If a paragraph, concept of the paragraph, or portion of a paragraph, in the Talking Rock Design Guidelines has not been amended as discussed below, then it must be complied with.

A. Revisions to Guidelines

2.2 Building Envelope and Setbacks. The building envelope and setbacks shall be those shown on Final Plat. In order to create the planned environment for the Talking Rock Ranch Golf Community, lots within the Cottages (Clustered Residential Units) located adjacent to the golf course (specific lots listed below) shall not be permitted to build any permanent structures (including but not limited to barbecues, storage facilities, armadas, etc.) within the designated 20' from the rear of the property line. Any deviation from this must be reviewed and approved by the Design Review Committee.

- Lots 1-4, inclusive, 7-9, inclusive, and lots 21-28, inclusive of Talking Rock Ranch Phase Five-A
- Lots 36-46, inclusive, of Talking Rock Ranch Phase Five-B

2.4 Grading and Drainage. The grading of this parcel shall be in accordance with the Grading and Drainage Plan approved by the ARC.

2.5 Driveways. Driveways shall be a maximum of 12 feet wide. Shared driveways will be approved on a case by case basis.

2.7 On-Site Parking. On-site parking can only occur within the private driveway or in those areas described as guest parking areas. All other parking must occur in the garage unless the driveway is of sufficient length so as to not have the car extend into the street.

2.9 Walls and Fences. No site walls or fences are allowed without approval by the Design Review Committee. This includes fences and walls for pet run, and any exterior enclosures

2.15 Swimming Pools, Spas, Hot Tubs Swimming pools, spas, and hot tubs are not permitted.

2.16 Tennis, Sport Courts, Basketball Goals. No tennis, sport courts, or basketball goals are allowed.

- 2.17 Play Structures.** Exterior recreational, swing sets or play equipment are not permitted.
- 3.2 Building Sizes.** Building will contain at least 1,500 sq. ft.
- 3.17 Windows.** No glass block windows, window glazing, foil or other reflective materials are allowed to be applied to windows.
- 4.0 Landscape Design.** No landscape can be added to the approved plan except within the private courtyard. All courtyard planting must comply with the approved plant palette.
- 4.1 Natural Area.** No natural area is required.
- 4.17 Landscaping at the Cottages (Clustered Residential Units).** The standard landscape package for the Cottages (Clustered Residential Units) shall consist of the following:
- 12 boulder, drip and surface irrigation,
 - 16 tons of aggregate mix (8 tons of 1" Desert Brown and 8 tons of 1 – 4" Yavapai Coral),
 - 6 tons of 3 – 6" Yavapai Coral,
 - 1 ton of regular select flagstone 'buckskin',
 - 49 shrubs (5 gallon size),
 - 30 shrubs (1 gallon size),
 - 3 flats of perennials,
 - 4 trees 36" box size,
 - 3 trees 24" box size,
 - Native seed installed on a seasonal basis.

Quantities listed above will vary with lot size, but the above specification is approved in accordance with plant species as approved in the approved planting list.

- B. Additional Requirements.** The following additional requirements apply to The Cottages at Talking Rock Ranch.
- 8.1 Barbecue Grills.** All Barbecue grills must be built in accordance to plans submitted and approved by the Design Review Committee. No portable grills are allowed.
- 8.2 No Further Enclosures.** No further space may be enclosed including screen porches from that which is described on the approved Architectural Plans.
- 8.3 Exterior Furniture and Landscape Containers.** All exterior furniture and landscape containers shall be in accordance with the approved selection. Generally all plastic furniture, and other inexpensive type tubular frame with nylon webbing will not be approved. All colors must be muted earth tones.
- 8.4 Garden Hose Storage.** All garden hoses shall be fully concealed from view when not in use.
- 8.5 Patio Storage.** No storage may occur on the exterior terraces other than the approved exterior furniture and landscape containers.

- 8.6 **Patio Decorations.** Patio decorations such as fountains, sundials, sculpture, birdfeeders, stain glass, wind chimes, yard art, bells, clocks, hanging plants (live or plastic), laundry lines etc. are not allowed.
- 8.7 **Exterior Door Screens.** Door screens may be added with the approval of the Design Review Committee. All door screens must be an anodized bronze frame with dark mesh screen with no applied pattern.
- 8.8 **Outdoor Flooring.** All exterior terraces must be covered with flooring as approved by the Design Review Committee.
- 8.9 **Exterior Audio.** No exterior speakers or audio devices are allowed.
- 8.10 **Color Palette.** No exterior color changes can be made.
- 8.11 **Exterior Pottery.** All exterior pottery for planting and all art pieces need to be selected from the pre-approved selection.

Appendix G - Maximum Building Sizes

Phase I: Sections A, B, C

<u>Lot Number</u>	<u>Gross Sq. Ft.</u>	<u>Lot Number</u>	<u>Gross Sq. Ft.</u>
1	7,205	37	8,500
2	7,250	38	8,500
3	7,250	39	7,250
4	8,500	40	7,250
5	8,000	41	7,250
6	8,500	42	7,250
7	8,000	43	6,000
8	7,250	44	6,000
9	6,000	45	8,500
10	6,000	46	8,500
11	8,500	47	6,000
12	6,000	48	6,000
13	7,250	49	6,000
14	8,500	50	6,000
15	7,250	51	7,250
16	6,000	52	7,250
17	7,250	53	6,000
18	6,000	54	6,000
19	6,000	55	6,000
20	6,000	56	7,250
21	6,000	57	7,250
22	7,250	58	7,250
23	6,000	59	7,250
24	6,000	60	7,250
25	7,250	61	7,250
26	7,250	62	7,250
27	7,250	63	7,250
28	6,000	64	7,250
29	8,000	65	7,250
30	6,000	66	6,000
31	6,000	67	7,250
32	6,000	68	6,000
33	8,500	69	7,250
34	6,000	70	7,250
35	6,000	71	7,250

Appendix G - Maximum Building Sizes

Phase I: Sections A, B, C

<u>Lot Number</u>	<u>Gross Sq. Ft.</u>	<u>Lot Number</u>	<u>Gross Sq. Ft.</u>
36	6,000	72	7,250
73	7,250	110	6,000
74	7,250	111	6,000
75	7,250	112	7,250
76	7,250	113	7,250
77	6,000	114	6,000
78	7,250	115	6,000
79	7,250	116	8,500
80	6,000	117	6,000
81	7,250	118	8,500
82	8,500	119	7,250
83	8,500	120	6,000
84	7,250	121	6,000
85	6,000	122	7,250
86	6,000	123	7,250
87	8,500	124	6,000
88	8,500	125	8,500
89	7,250	126	7,250
90	7,250	127	7,250
91	8,500	128	8,500
92	8,500	129	7,250
93	8,500	130	7,250
94	8,500	131	6,000
95	8,500	132	7,250
96	8,500	133	7,250
97	8,500	134	7,250
98	7,250	135	7,250
99	6,000	136	7,250
100	6,000	137	8,500
101	6,000	138	7,250
102	6,000	139	8,500
103	7,250	140	8,500
104	7,250	141	7,250
105	7,250	142	6,000

Appendix G - Maximum Building Sizes

Phase I: Sections A, B, C

<u>Lot Number</u>	<u>Gross Sq. Ft.</u>	<u>Lot Number</u>	<u>Gross Sq. Ft.</u>
106	7,250	143	8,500
107	8,500	144	8,500
108	7,250	145	6,000
109	8,500	146	6,000
147	6,000	173	6,000
148	6,000	174	6,000
149	8,500	175	7,250
150	6,000	176	6,000
151	6,000	177	6,000
152	6,000	178	7,250
153	7,250	179	7,250
154	6,000	180	6,000
155	6,000	181	6,000
156	7,250	182	6,000
157	6,000	183	8,500
158	6,000	184	8,500
159	7,250	185	6,000
160	7,250	186	6,000
161	8,500	187	6,000
162	7,250	188	7,250
163	7,250	189	7,250
164	8,500	190	6,000
165	8,500	191	6,000
166	6,000	192	6,000
167	6,000	193	7,250
168	6,000	194	6,000
169	6,000	195	6,000
170	6,000	196	6,000
171	7,250	197	7,250
172	6,000	198	7,250

Appendix G - Maximum Building Sizes

Phase 2: Section A

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
1	6,000	13	7,250
2	7,250	14	6,000
3	7,250	60	7,250
4	7,250	61	7,250
5	6,000	62	8,500
6	6,000	63	7,250
7	7,250	64	6,000
8	6,000	65	7,250
9	6,000	66	8,500
10	7,250	67	7,250
11	6,000	68	6,000
12	7,250		

Phase 2: Section B

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
15	7,250	48	6,000
16	7,250	49	7,250
17	8,500	50	7,250
18	7,250	51	6,000
19	8,500	52	6,000
20	7,250	53	6,000
21	7,250	54	6,000
22	6,000	55	6,000
43	7,250	56	6,000
44	6,000	57	7,250
45	7,250	58	7,250
46	6,000	59	6,000
47	7,250		

Appendix G - Maximum Building Sizes

Phase 2: Section C

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
23	6,000	33	6,000
24	7,250	34	6,000
25	6,000	35	6,000
26	7,250	36	6,000
27	6,000	37	6,000
28	6,000	38	7,250
29	8,500	39	7,250
30	6,000	40	7,250
31	6,000	41	7,250
32	6,000	42	6,000

Appendix G - Maximum Building Sizes

Phase 3: Section A

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
1	7,250	9	7,250
2	7,250	10	7,250
3	6,000	11	7,250
4	7,250	12	7,250
5	7,250	13	7,250
6	6,000	60	6,000
7	7,250	61	7,250
8	7,250		

Phase 3: Section B

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
14	7,250	20	8,500
15	7,250	21	6,000
16	7,250	22	7,250
17	8,500	23	6,000
18	7,250	33	6,000
19	7,250		

Phase 3: Section C

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
24	7,250	31	7,250
25	7,250	32	6,000
26	7,250	34	7,250
27	7,250	35	7,250
28	8,500	36	7,250
29	7,250	37	6,000
30	7,250		

Appendix G - Maximum Building Sizes

Phase 3: Section D

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
38	7,250	49	7,250
39	7,250	50	7,250
40	7,250	51	7,250
41	7,250	52	7,250
42	7,250	53	7,250
43	7,250	54	7,250
44	7,250	55	7,250
45	7,250	56	7,250
46	7,250	57	7,250
47	7,250	58	8,500
48	8,500	59	6,000

Appendix G - Maximum Building Sizes

Phase 5

<u>Lot Number</u>	<u>Bid Env.</u>
1	6,000
2	6,000
3	6,000
4	7,250

Appendix G - Maximum Building Sizes

Phase 8: Section A

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
1	8,000	17	7,250
2	6,000	18	7,250
3	7,250	19	7,250
4	7,250	20	7,250
5	7,250	21	7,250
6	7,250	22	6,000
7	7,250	36	6,000
8	7,250	37	6,000
9	7,250	47	7,250
10	7,250	48	7,250
11	6,000	49	7,250
12	6,000	50	7,250
13	8,500	51	7,250
14	7,250	52	7,250
15	7,250	53	7,250
16	7,250	54	7,250

Phase 8: Section B

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
23	7,250	34	7,250
24	7,250	35	7,250
25	7,250	38	8,500
26	7,250	39	7,250
27	7,250	40	7,250
28	8,500	41	7,250
29	8,500	42	7,250
30	7,250	43	7,250
31	7,250	44	7,250
32	8,500	45	7,250
33	8,500	46	8,500

Appendix G - Maximum Building Sizes

Phase 8: Section C

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
55	7,250	68	7,250
56	7,250	69	7,250
57	7,250	70	6,000
58	6,000	71	6,000
59	7,250	72	8,500
60	7,250	73	6,000
61	7,250	74	8,500
62	7,250	75	8,500
63	7,250	76	8,500
64	7,250	77	8,500
65	6,000	78	8,500
66	6,000	79	8,500
67	7,250	80	8,500

Appendix G - Maximum Building Sizes

Phase 9: Section A

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
41	7,250	54	7,250
42	6,000	55	7,250
43	6,000	56	7,250
44	7,250	57	7,250
45	7,250	58	6,000
46	7,250	59	7,250
47	7,250	60	7,250
48	7,250	61	6,000
49	7,250	62	6,000
50	7,250	63	8,500
51	7,250	65	7,250
52	7,250	67	7,250
53	7,250		

Phase 9: Section B

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
31	7,250	68	6,000
32	7,250	69	7,250
33	7,250	70	8,500
34	7,250	71	8,500
35	7,250	72	8,500
36	7,250	73	6,000
37	6,000	74	8,500
38	7,250	75	8,500
39	6,000	76	8,500
40	6,000	77	8,500
64	8,500	78	8,500
66	7,250	79	8,500

Appendix G - Maximum Building Sizes

Phase 9: Section C

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
8	7,250	26	7,250
9	7,250	27	7,250
10	7,250	28	7,250
11	7,250	29	7,250
12	7,250	30	7,250
13	7,250	80	8,500
14	7,250	81	8,500
15	6,000	82	8,500
16	6,000	83	7,250
17	7,250	84	7,250
18	7,250	85	7,250
19	7,250	86	7,250
20	7,250	87	7,250
21	6,000	88	7,250
22	7,250	89	7,250
23	6,000	90	7,250
24	7,250	91	7,250
25	7,250		

Phase 9: Section D

<u>Lot Number</u>	<u>Bid Env.</u>	<u>Lot Number</u>	<u>Bid Env.</u>
1	6,000	97	7,250
2	6,000	98	6,000
3	7,250	99	6,000
4	7,250	100	7,250
5	7,250	101	7,250
6	7,250	102	7,250
7	6,000	103	7,250
92	7,250	104	7,250
93	7,250	105	7,250
94	7,250	106	7,250
95	6,000	107	7,250
96	7,250	108	7,250

Appendix G - Maximum Building Sizes

Phase 10: Section A

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
15	6,000	37	7,250
16	6,000	38	7,250
20	6,000	39	8,500
21	8,500	87	6,000
26	8,500	88	6,000
31	7,250	89	7,250
35	7,250	90	6,000
36	7,250		

Phase 10: Section B

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
63	6,000	102	7,250
64	6,000	103	7,250
65	6,000	104	7,250
67	6,000	105	7,250
69	6,000	112	7,250
97	6,000	113	7,250
98	7,250	114	7,250
99	7,250	115	7,250
100	7,250	116	7,250
101	7,250	117	6,000

Appendix G - Maximum Building Sizes

Phase 10: Section C

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
40	6,000	81	6,000
41	6,000	82	6,000
42	6,000	86	6,000
43	6,000	88	6,000
44	7,250	70	6,000
45	7,250	71	6,000
46	6,000	72	6,000
47	6,000	73	6,000
48	6,000	74	6,000
49	6,000	75	6,000
50	6,000	76	6,000
51	7,250	77	6,000
52	7,250	78	7,250
53	8,500	79	6,000
54	7,250	80	6,000
55	7,250	81	7,250
56	7,250	82	7,250
57	6,000	83	6,000
58	6,000	84	6,000
59	6,000	85	6,000
60	6,000	86	6,000

Appendix G - Maximum Building Sizes

Phase 10: Section D

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
1	8,500	17	6,000
2	6,000	18	7,250
3	6,000	19	6,000
4	6,000	22	7,250
5	6,000	23	7,250
6	6,000	24	6,000
7	6,000	25	7,250
8	6,000	27	7,250
9	6,000	28	6,000
10	6,000	29	7,250
11	6,000	30	7,250
12	6,000	32	7,250
13	7,250	33	7,250
14	7,250	34	6,000

Phase 10: Section E

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
91	7,250	106	8,500
92	6,000	107	8,500
93	7,250	108	8,500
94	8,500	109	8,500
95	7,250	110	8,500
96	7,250	111	8,500

Appendix G - Maximum Building Sizes

Phase 12: Section A

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
1	7,250	24	7,250
2	7,250	25	7,250
3	7,250	26	7,250
4	7,250	27	7,250
5	7,250	28	7,250
6	8,500	29	7,250
7	8,500	30	7,250
8	8,500	31	7,250
9	8,500	32	7,250
10	6,000	33	8,500
11	8,500	34	8,500
12	7,250	35	8,500
13	7,250	36	7,250
14	7,250	37	7,250
15	7,250	38	8,500
16	7,250	39	6,000
17	8,500	40	7,250
18	8,500	41	7,250
19	7,250	42	7,250
20	8,500	43	7,250
21	7,250	44	7,250
22	7,250	45	6,000
23	7,250		

Phase 12: Section B

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
46	7,250	54	8,500
47	7,250	55	8,500
48	7,250	56	7,250
49	7,250	57	8,500
50	8,500	58	8,500
51	8,500	59	8,500
52	8,500	60	6,000
53	8,500	61	7,250

Appendix G - Maximum Building Sizes

Phase 12: Section C

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
62	6,000	75	7,250
63	7,250	76	7,250
64	7,250	77	7,250
65	7,250	78	7,250
66	7,250	79	7,250
67	7,250	80	7,250
68	7,250	81	7,250
69	7,250	82	7,250
70	7,250	83	7,250
71	7,250	84	7,250
72	7,250	85	6,000
73	7,250	86	6,000
74	7,250		

Appendix G - Maximum Building Sizes

Phase 13: Section A

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
1	7,250	7	8,500
2	7,250	8	8,500
3	8,500	9	7,250
4	8,500	10	7,250
5	8,500	11	7,250
6	8,500		

Phase 13: Section B

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
12	8,500	28	7,250
13	8,500	29	7,250
14	8,500	30	7,250
15	8,500	31	7,250

Phase 13: Section C

<u>Lot Number</u>	<u>Bld Env.</u>	<u>Lot Number</u>	<u>Bld Env.</u>
16	8,500	23	6,000
17	8,500	24	6,000
18	7,250	25	7,250
19	7,250	26	6,000
20	7,250	27	6,000
21	7,250	32	7,250
22	6,000		



TALKING ROCK

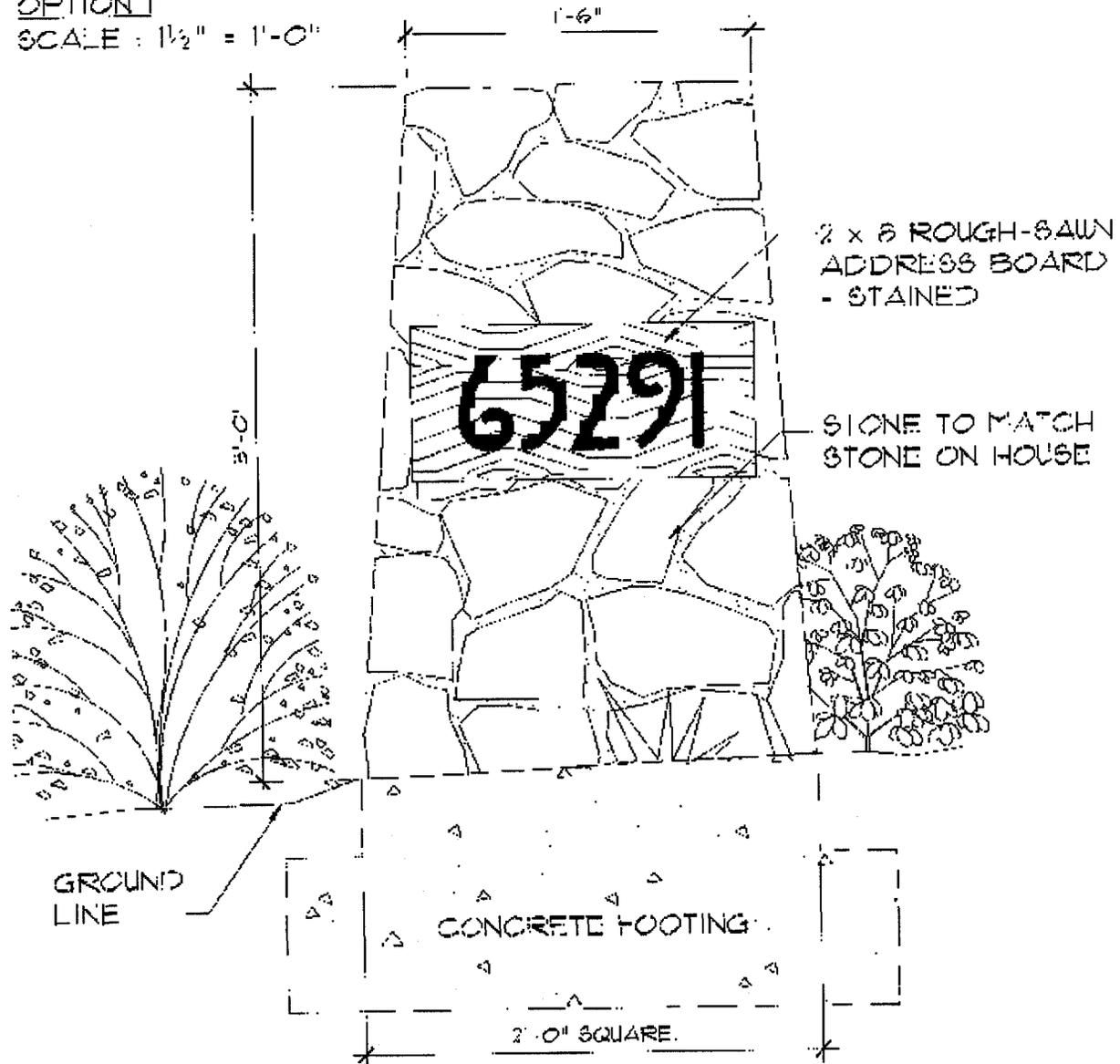
THEY'RE A CERTAIN SPIRIT NAME.

Master Sign Program
Community Signage

C-4 ADDRESS MARKERS

OPTION 1

SCALE : 1 1/2" = 1'-0"



NOTE: ADDRESS IS TO FACE STREET.

October 27th, 2003



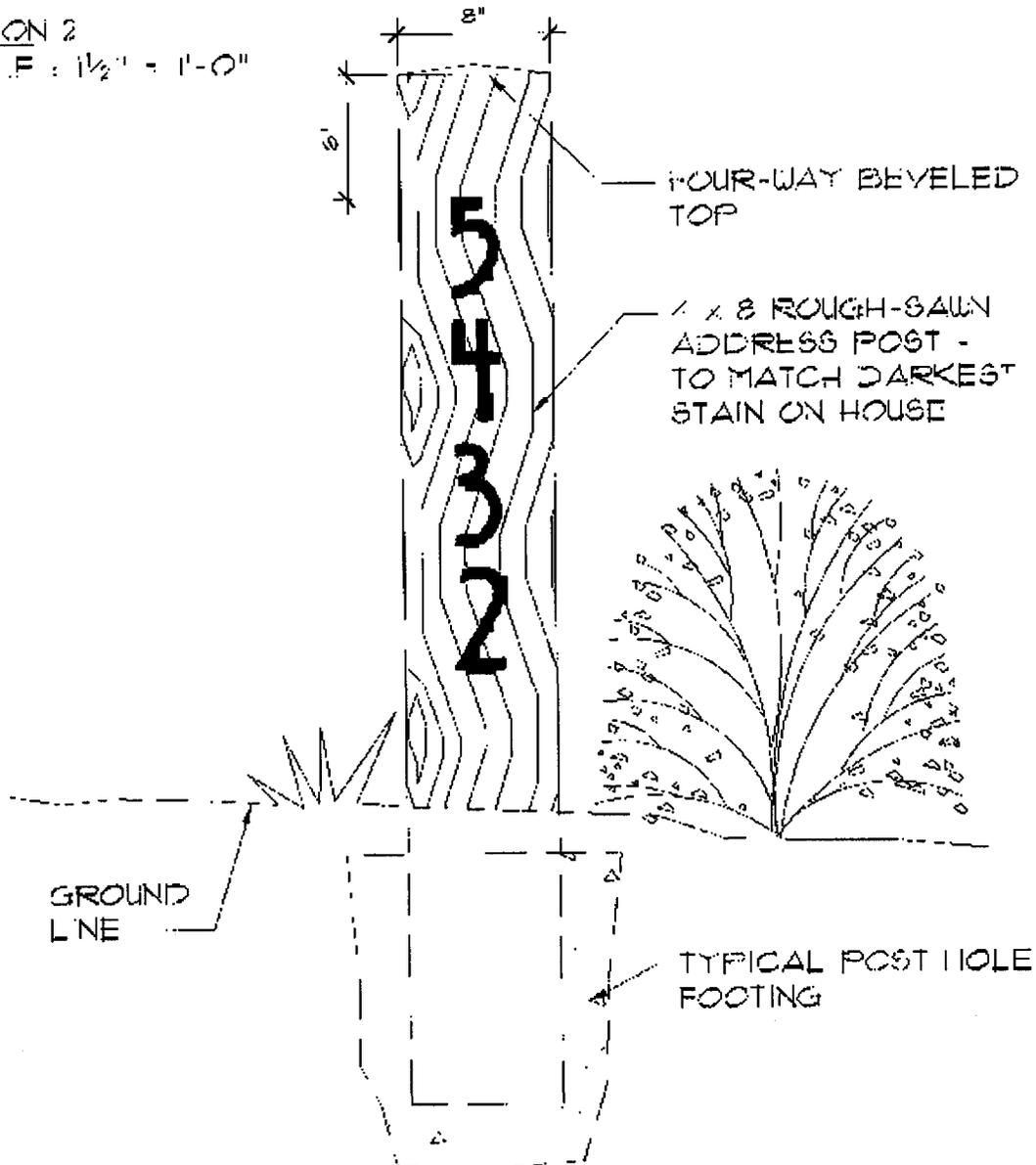
TALKING ROCK

THERE'S A CERTAIN BEAUTY HERE.

Master Sign Program
Community Signage

C-4 ADDRESS MARKERS

OPTION 2
SCALE: 1 1/2" = 1'-0"



NOTE: ADDRESS IS TO FACE STREET.

October 27th, 2003



TALKING ROCK

THERE'S A CERTAIN SPIRIT HERE.

**Master Sign Program
Community Signage**

C-4 ADDRESS MARKERS

Approved Address Numbers

Available at "Restoration Hardware"

Item # "Mission Style" standard 5-inch lettering

480.922.6996 (Scottsdale)

602.956.2102 (Phoenix)

Appendix - H

0 - 2401-0657

1 - 2401-0658

2 - 2401-0660

3 - 2401-0661

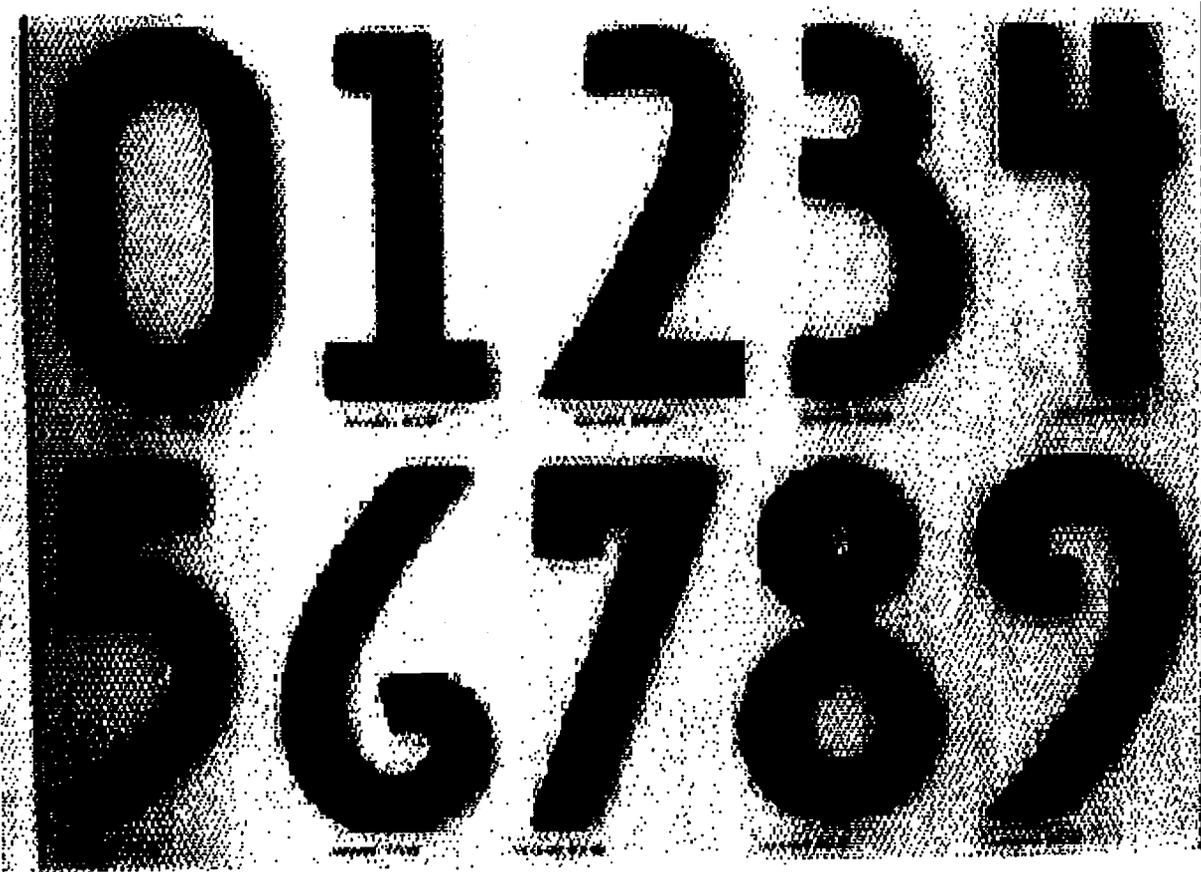
4 - 2401-0662

5 - 2401-0663

6 - 2401-0664

7 - 2401-0665

8 - 2401-0666



October 27th, 2003

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE TREES

Evergreen

<u>Botanical Name</u>	<u>Common Name</u>
<i>Cupressus arizonica</i>	Arizona Cypress*
<i>Juniperus deppeana</i>	Alligator Juniper
<i>Juniperus osteosperma</i>	Utah Juniper
<i>Pinus edulis</i>	Pinyon Pine
<i>Pinus ponderosa</i>	Ponderosa Pine
<i>Quercus arizonica</i>	Arizona Oak
<i>Quercus emoryi</i>	Emory Oak
<i>Quercus gambelii</i>	Gambel Oak
<i>Quercus grisea</i>	Gray Oak
<i>Quercus undulata</i>	Wavyleaf Oak

Deciduous

<i>Celtis reticulata</i>	Netleaf Hackberry
<i>Cercis occidentalis</i>	Western Redbud
<i>Chilopsis linearis</i>	Desert Willow
<i>Fraxinus velutina</i>	Arizona Ash*
<i>Juglans major</i>	Arizona Walnut*
<i>Prunus virginiana</i>	Chokecherry
<i>Robinia neomexicana</i>	New Mexican Locust

*can be planted only
in riparian areas as
defined by the Architectural
Review Committee.

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE SHRUBS/ CACTUS/ ACCENTS

Evergreen

Botanical Name

Common Name

<i>Agave parryi</i>	Parry's Agave
<i>Arctostaphylos pungens</i>	Pointleaf Manzanita
<i>Artemisia filifolia</i>	Sand Sagebrush
<i>Artemisia ludoviciana</i>	Prairie Sagebrush
<i>Artemisia tridentata</i>	Big Sagebrush
<i>Berberis fremontii</i>	Fremont Barberry
<i>Berberis haematocarpa</i>	Red Barberry
<i>Ceanothus greggi</i>	Gregg Ceanothus
<i>Ceanothus integerrimus</i>	Deerbrush
<i>Cercocarpus lanata</i>	Winterfat
<i>Cowania mexicana</i>	Cliffrose
<i>Dasyliiron wheeleri</i>	Sotol, Desert Spoon
<i>Ephedra viridis</i>	Mormon Tea
<i>Ericameria laricifolia</i>	Turpentine Bush
<i>Hesperaloe parviflora</i>	Red Yucca (P)
<i>Garrya wrightii</i>	Wright Silktassel
<i>Gutierrezia sarothrae</i>	Snakeweed
<i>Nolina microcarpa</i>	Beargrass
<i>Opuntia engelmannii</i>	Engelmann's Prickly Pear
<i>Opuntia macrorhiza</i>	Big Root Prickly Pear
<i>Opuntia phaeacantha</i>	Big-Eared Prickly Pear
<i>Opuntia whipplei</i>	Whipple's Cholla
<i>Rhamnus crocea</i>	Hollyleaf Buckthorn
<i>Purshia tridentata</i>	Antelope Bitterbrush
<i>Quercus turbinella</i>	Scrub Live Oak
<i>Yucca elata</i>	Soaptree Yucca
<i>Yucca baccata</i>	Banana Yucca
<i>Yucca glauca</i>	Soapweed Yucca

Deciduous

<i>Amelanchier utahensis</i>	Utah Serviceberry
<i>Amorpha fruticosa</i>	False Indigo Bush
<i>Cercocarpus ledifolius</i>	Curleaf Mountain Mahogany
<i>Cercocarpus montanus</i>	Alderleaf Mountain Mahogany
<i>Chamaebatiaria millefolium</i>	Fernbush
<i>Chrysothamnus nauseosus</i>	Rabbitbrush
<i>Dalea Formosa</i>	Feather Dalea
<i>Fallugia paradoxa</i>	Apache Plume
<i>Fendlera rupicola</i>	Cliff Fendlerbush

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE SHRUBS/ CACTUS/ ACCENTS (Cont'd)

<u>Botanical Name</u>	<u>Common Name</u>
<i>Forestiera neomexicana</i>	New Mexican Olive
<i>Holodiscus dumosus</i>	Mountain Spray
<i>Lycium pallidum</i>	Pale Wolfberry
<i>Perovskia atriplicifolia</i>	Russian Sage (P)
<i>Philadelphus microphyllus</i>	Little-leaf Mock Orange
<i>Potentilla fruticosa</i>	Shrubby Cinquefoil
<i>Rhus trilobata</i>	Three Leaf Sumac
<i>Ribes aureum</i>	Golden Currant
<i>Ribes cereum</i>	Wax Currant
<i>Rosa arizonica</i>	Arizona Rose (Riparian)
<i>Salix exigua</i>	Coyote Willow (Riparian)
<i>Salvia greggii</i>	Autumn Sage (P)
<i>Symphoricarpos rotundifolius</i>	Roundleaf Snowberry

INDIGENOUS AND NATIVE GROUNDCOVERS & VINES/ ACCENTS

<u>Botanical Name</u>	<u>Common Name</u>
<i>Achillea millefolium var lanulosa</i>	Western Yarrow
<i>Allium cernuum</i>	Nodding Onion
<i>Asclepius tuberosa</i>	Butterfly Weed
<i>Berberis repens</i>	Creeping Mahonia gc
<i>Berlandiera lyrata</i>	Chocolate Flower (P)
<i>Calochortus kennedyi</i>	Desert Mariposa
<i>Calylophus hartwegii</i>	Hartweg Evening Primrose gc
<i>Castilleja integra</i>	Indian Paintbrush gc
<i>Datura metaloides</i>	Sacred Dantura
<i>Dyssodia acerosa</i>	Dogweed gc
<i>Erigeron divergens</i>	Fleabane
<i>Eriogonum umbellatum</i>	Sulphur Flower
<i>Eschscholtzia mexicana</i>	Mexican Gold Poppy
<i>Gaillardia pulchella</i>	Blanketflower
<i>Heuchera sanguinea</i>	Coral Bells (P)
<i>Ipomopsis aggregata</i>	Scarlet Gila
<i>Linum lewisii</i>	Lewis Flax
<i>Lupinus argenteus</i>	Silverleaf Lupine
<i>Melampodium leucanthum</i>	Blackfoot Daisy gc
<i>Mirabilis multiflora</i>	Wild Four O'clock
<i>Oenothera caespitosa</i>	Tufted Evening Primrose gc

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENOUS AND NATIVE GROUNDCOVERS & VINES/ ACCENTS (Cont'd)

<u>Botanical Name</u>	<u>Common Name</u>
<i>Oenothera hookeri</i>	Hooker Evening Primrose a
<i>Parthenocissus inserta</i>	Arizona Creeper (P) (vine)
<i>Penstemon barbatus</i>	Scarlet Bugler a
<i>Penstemon eatonii</i>	Firecracker Penstemon a
<i>Penstemon linearoides</i>	Narrowleaf Penstemon
<i>Penstemon palmeri</i>	Palmer's Penstemon a
<i>Penstemon pseudospectabilis</i>	Arizona Penstemon
<i>Penstemon spectabilis</i>	Royal Penstemon a
<i>Penstemon strictus</i>	Rocky Mountain Penstemon (P)
<i>Psilostrophe tagetina</i>	Paper Flower
<i>Ratibida columnaris</i>	Mexican Hat
<i>Sphaeralcea parvifolia</i>	Littleleaf Globemallow a
<i>Verbena bipinnatifida</i>	Dakota Verbena
<i>Verbena rigida</i>	Sandpaper Verbena gc
<i>Viguiera multiflora</i>	Goldeneye gc
<i>Vitis arizonica</i>	Canyon Grape (vine)
<i>Zinnia grandiflora</i>	Prairie Zinnia gc

INDIGENOUS AND NATIVE GRASSES

Warm Season

<u>Botanical Name</u>	<u>Common Name</u>
<i>Aristida longiseta</i>	Red Three Awn
<i>Aristida neallyi</i>	
<i>Aristida purpurea</i>	Purple Three Awn
<i>Bouteloua gracilis</i>	Blue Grama
<i>Bouteloua curtipendula</i>	Sideoats Grama
<i>Bouteloua hirsuta</i>	Hairy Grama
<i>Buchloe dactyloides</i>	Buffalo Grass
<i>Eragrostis intermedia</i>	Plains Lovegrass
<i>Festuca arizonica</i>	Arizona Fescue
<i>Festuca glauca</i>	Blue Fescue (P)
<i>Hilaria jamesii</i>	Galleta Greas

Appendix A - Approved Plant List

Natural Area and Transitional Area

INDIGENIOUS AND NATIVE GRASSES (Cont'd)

Warm Season (Cont'd)

<u>Botanical Name</u>	<u>Common Name</u>
<i>Hilaria mutica</i>	Tobosa
<i>Muhlenbergia capillaris</i>	Galleta Grass
<i>Muhlenbergia emersleyi</i>	Bullgrass
<i>Muhlenbergia repens</i>	Aparejo Grass
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Panicum obtusum</i>	Vine Mesquite
<i>Schizachyrium scoparium</i>	Little Bluestem
<i>Sporobolus airoides</i>	Alkali Sacaton
<i>Sporobolus cryptandrus</i>	Sand Dropseed

Cool Season

<u>Botanical Name</u>	<u>Common Name</u>
<i>Elymus elymoides</i>	Bottlebrush Squirreltail
<i>Festuca ovina</i>	Sheep Fescue
<i>Pascopyrum smithii</i>	Western Wheatgrass

Appendix A - Prohibited Plant List

NATURAL AND TRANSITIONAL AREAS

It is the intent of this list to prohibit all non-indigenous native plants (except approved native and arid adapted listed on the approved plant lists) within the Natural and Transitional Areas of the homesite. Other plants may be planted in the Private Area only if *not seen from neighboring property*.

However, it is also the intent to prohibit in all Areas any plant that, in the opinion of the Architectural Review Committee: threatens native plants or animals, hosts or promotes plant diseases, requires excessive water, requires high maintenance, may have an excessive mature size, or is not compatible with the Talking Rock indigenous native plant landscape theme. Any plant or plants that create a disturbance or nuisance by attracting animals are also prohibited. Such plants may be added to the prohibited list at any time. If a plant is not listed as approved or prohibited, its status must be reviewed by the Committee. The following plants are specifically prohibited:

TREES

Botanical Name

Common Name

Acacia spp

Acacia

Acer spp

Maple

Betula

Birch

Cedrus & Cupressus spp

all except Arizona Cypress

Elaeagnus augustifolia

Russian Olive

Fraxinus

all except Arizona Ash

Gleditsia

all Locust

Juniperus spp

except Alligator Juniper,
One-seed Juniper, Utah Juniper

Koelreuteria paniculata

Goldenrain Tree

Leucaena retusa

Goldenball Leadtree

Malus spp

Crabapple

Morus spp

Mulberry

Picea spp

Spruce, Fir

Pistacia chinensis

Chinese Pistache

Populus spp

all except Fremont Cottonwood(riparian)

Prunus spp

Plum

Pinus spp

all except Pinyon Pine, Ponderosa Pine

Salix spp

Willow

Sequoiadendron giganteum

Sequoia

Tamarix spp

Tamarisk

Quercus spp

all except Arizona Oak

Canyon Live Oak, Emory Oak,

Gambel Oak, Gray Oak,

Wavyleaf Oak

Ulmus spp

all Elm

Vitex agnus-castus

Lilac Chaste Tree

Other trees-general

all fruit trees,

non-native flowering trees

non-native deciduous broadleaf trees

non-native pines, cedars, and junipers

Appendix A - Prohibited Plant List

NATURAL AND TRANSITIONAL AREAS

SHRUBS, GROUNDCOVER, ACCENTS, AND OTHER PLANTS

All varieties of the following non-native plant species are prohibited unless specifically listed as approved on the Approved Plant List.

<i>Amelanchier</i>	Serviceberry
<i>Berberis</i>	Barberry
<i>Caragana</i>	Peashrub
<i>Cotoneaster</i>	Cotoneaster
<i>Deutzia</i>	Deutzia
<i>Euonymus</i>	Euonymus
<i>Forsythia</i>	Forsythia
<i>Hedera</i>	Ivy
<i>Juniperus</i>	Juniper
<i>Kolkwitzia</i>	Beauty Bush
<i>Ligustrum</i>	Privet
<i>Lonicera</i>	Honeysuckle
<i>Mahonia</i>	Mahonia
<i>Photina</i>	Photina
<i>Pinus</i>	Pine
<i>Prunus</i>	Stone Fruits
<i>Pyracantha</i>	Pyracantha
<i>Rhus</i>	Sumac
<i>Ribes</i>	Currant
<i>Rosa</i>	Rose
<i>Salix</i>	Willow
<i>Sophora</i>	Sophora
<i>Tamarix</i>	Tamarisk
<i>Taxus</i>	Yew
<i>Viburnum</i>	Viburnum
<i>Yucca</i>	Yucca

Appendix A - Prohibited Plant List

NATURAL AND TRANSITIONAL AREAS

GRASSES

It is intended that only native grasses indigenous to the homesite be used in the Native and Transitional Areas and all other grasses are prohibited. In the Private area the Architectural Review Committee must specifically approve other grasses. To be considered for approval, they must, in the opinion of the Architectural Committee, not be invasive, displace or otherwise threaten native grasses. Examples of prohibited grasses are listed below.

<i>Baccharis</i>	Desert Broom
<i>Bromus</i>	Brome except as approved
<i>Cortaderia selloana</i>	Pampas Grass
<i>Cynodon dactylon</i>	Bermuda Grass
<i>Pennisetum</i>	Fountain Grass

FLOWERS

Color plants such annuals, flowers and wildflowers not native to the homesite are prohibited in the Natural Area and Transitional Area unless specifically approved by the Architectural Review Committee. Flowers, wildflowers, annuals and other non native flowering or color plants must not be invasive, displace or otherwise threaten native plants animals or cause a nuisance by attracting animals and be specifically approved by the Architectural Review Committee.