

ORIGINAL

NEW APPLICATION



0000038028

BEFORE THE ARIZONA CORPORATI

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COMMISSIONERS

Jeff Hatch-Miller, Chairman
William A. Mundell
Marc Spitzer
Mike Gleason
Kristin K. Mayes

RECEIVED

2005 DEC 28 A 10: 06

AZ CORP COMMISSION
DOCUMENT CONTROL

IN THE MATTER OF THE APPLICATION OF
PALO VERDE UTILITIES COMPANY FOR AN
EXTENSION OF ITS EXISTING CERTIFICATE
OF CONVENIENCE AND NECESSITY.

Docket No. SW-03575A-05-_____

SW-03575A-05-0926

W-03576A-05-0926

Docket No. W-03576A-05-_____

IN THE MATTER OF THE APPLICATION OF
SANTA CRUZ WATER COMPANY FOR AN
EXTENSION OF ITS EXISTING CERTIFICATE
OF CONVENIENCE AND NECESSITY.

**APPLICATION FOR EXTENSION
OF CERTIFICATES OF
CONVENIENCE AND NECESSITY**

Santa Cruz Water Company, L.L.C. ("Santa Cruz") and Palo Verde Utilities Company, L.L.C. ("Palo Verde"), (or collectively referred to as the "Applicants"), through undersigned counsel, hereby apply to the Arizona Corporation Commission ("Commission") for approval of an extension of their respective Certificates of Convenience and Necessity ("CC&Ns"), as detailed more fully herein.

The CC&N extensions are necessary at this time to ensure that adequate water and wastewater facilities are in place and that service is available for the residents and businesses that will soon be located within the extension area. The Applicants are qualified and prepared to provide the necessary facilities and service to the extension area. In support of this Application, Santa Cruz and Palo Verde state as follows:

1. Santa Cruz is an Arizona public service corporation authorized to provide water service within portions of Pinal County, Arizona. Santa Cruz received CC&Ns from the Commission in Decision No. 61943 (September 17, 1999), Decision No. 67240 (September 15,

1 2004)¹ and Decision No. 67830 (May 5, 2005). As of 30 November 2005, Santa Cruz currently
2 serves approximately 9,430 water customers. Approximately 5,500 of these units are in the hands
3 of residential homeowners or other end-users. Approximately 3,600 units are connected but in the
4 hands of builders.

5 2. Palo Verde is an Arizona public service corporation authorized to provide
6 wastewater service within portions of Pinal County, Arizona. Palo Verde received CC&Ns from
7 the Commission in Decision No. 61943 (September 17, 1999), Decision No. 67240 (September
8 15, 2004) and Decision No. 67830 (May 5, 2005). Palo Verde currently serves approximately
9 9,300 wastewater customers. Approximately 5,500 of these units are in the hands of residential
10 homeowners or other end-users. Approximately 3,600 units are connected but in the hands of
11 builders.

12 3. Within the extension area is another ACC regulated utility, administered by
13 Arizona Water Company ("AWC"). Due to the presence of AWC, the extension areas requested
14 will differ between Santa Cruz (a water utility) and Palo Verde (a wastewater utility). In
15 particular, Santa Cruz is not requesting an extension into the area certificated to AWC. Integrated
16 water and wastewater services are preferred as it allows for: maximum resource conservation;
17 consolidated customer service (ease of use); information system integration (CSR, GIS, SCADA
18 etc); integration of utility infrastructure deployment (utility planning and construction); and
19 maximum re-use of reclaimed water. Santa Cruz plans to approach AWC in an effort to serve the
20 area where the wastewater service will be. However, at this time, Santa Cruz is not requesting an
21 extension for the area certificated to AWC.

22 4. The extension area is comprised of approximately 19,300 acres for Santa Cruz (the
23 "Santa Cruz Extension Area") and 26,000 acres for Palo Verde (the "Palo Verde Extension Area"),
24 including several projected master planned communities (collectively the "CC&N extension
25

26 ¹ Two additional applications for an extension of a Certificate of Convenience and Necessity are pending
27 before the Commission in Dockets No. SW-03575A-05-0307, W-03576A-05-0307 and Dockets No. SW-03575A-05-
0470, W-03576A-05-0470.

1 area"). The identity of the master planned communities and their approximate number of lots are
 2 set forth in Exhibit 1, attached hereto and by this reference incorporated herein.

3 5. All of the developers with projects located in the CC&N extension area have
 4 requested that the Applicants provide water and wastewater service to their projects. Copies of the
 5 letters requesting service are set forth in Exhibit 2. The Applicants will provide the Commission
 6 with a copy of executed developer line extension agreements as they become available.

7 6. The legal description for the Santa Cruz Extension Area for Santa Cruz is set forth
 8 in Exhibit 3, attached hereto and by this reference incorporated herein. The legal description for
 9 the Palo Verde Extension Area is set forth in Exhibit 4, attached hereto and by this reference
 10 incorporated herein.

11 7. The management contact for each Santa Cruz and Palo Verde is:

12 Ms. Cindy Liles
 13 Vice President and Chief Financial Officer
 14 Global Water Management
 15 22601 North 19th Avenue, Suite 210
 16 Phoenix, Arizona 85027.
 (623) 580-9600.

17 8. The operators of record for Santa Cruz and Palo Verde are:

18	<u>Name of Utility</u>	<u>Certification</u>	<u>Name</u>	<u>Operator ID</u>	<u>Phone Number</u>
19	Santa Cruz	Treatment	Clint Arndt	08128	(602) 550-0624
20	Santa Cruz	Distribution	Clint Arndt	08128	(602) 550-0624
21	Palo Verde	Wastewater	Jose Millanes	11728	(602) 620-0457
22	Palo Verde	Collection	Dave McLeod	05669	(602) 796-2360

23 The Applicants' field operations and management personnel are located at:

24 Palo Verde Utilities Company Water Reclamation Campus
 25 41265 West Hiller Road,
 26 Maricopa, Arizona 85239.
 27 (520) 568-1593.

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9. The Applicants' attorneys are:

Roshka DeWulf & Patten, PLC
One Arizona Center
400 East Van Buren Street, Suite 800
Phoenix, Arizona 85004

(602) 256-6100

All data requests or other requests for information should be directed to:

Michael W. Patten
Roshka DeWulf & Patten, PLC
One Arizona Center
400 East Van Buren Street, Suite 800
Phoenix, Arizona 85004

With a copy to:

Ms. Cindy Liles
Vice President and Chief Financial Officer
Global Water Management
22601 North 19th Avenue, Suite 210
Phoenix, Arizona 85027

10. Certificates of Good Standing for both Santa Cruz Water Company and Palo Verde Utilities Company are attached hereto as Exhibit 5, and by this reference incorporated herein.

11. The customers located in the respective CC&N extension areas will receive water and wastewater service subject to Applicants' current rates and charges for utility service, which were approved by the Commission in Decision No. 61943 (September 17, 1999).

12. Maps indicating the Applicants' (i) present CCNs and the CC&N extension area; and (ii) current and preliminary master plans for water, wastewater and reclaimed water, are attached hereto as Exhibit 6 and by this reference incorporated herein. The requirements for servicing the CC&N extension area are detailed in the memorandum entitled "South East Service Area – Water and Wastewater Services" also included in Exhibit 6.

13. The Applicants' balance sheet and profit and loss information for the 12-month period ending December 31, 2004, is attached hereto as Exhibit 7, and by this reference incorporated herein.

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14. The estimated number of customers to be served by Santa Cruz and Palo Verde in each of the first five years of water and wastewater utility service is depicted in Exhibit 8, attached hereto and by this reference incorporated herein.

15. Applicants' estimated annual operating revenue and operating expenses for each of the first five (5) years of operation in the CC&N extension area is set forth in Exhibit 9, attached hereto and by this reference incorporated herein

16. The Applicants' total estimated cost to construct utility facilities to serve customers in the CC&N extension area is approximately \$1,520 per service connection for Santa Cruz and \$3,170 per service connection for Palo Verde.

17. The facilities needed to serve the CC&N extension area will be constructed as needed to provide service to customers. The estimated starting and completion dates for the construction of facilities are not known at this time, although the majority of these projects will commence construction within the next twelve (12) months. At a minimum the following infrastructure will be required: rehabilitated wells, a new water distribution center; a chlorination system. Wastewater will initially be conveyed to the existing Palo Verde water reclamation facility for treatment and re-use. As development continues, a dedicated treatment facility will be constructed employing the same modular design pioneered at the Campus 1 facility (see Exhibit 6).

18. The cost of the construction of facilities needed to serve the CC&N extension area will be paid for primarily by shareholder equity and advances in aid of construction.

19. The Applicants will be required to obtain from Pinal County a franchise to service these areas in unincorporated Pinal County.

20. Copies of the approvals to construct facilities in the CC&N extension area that are issued by the Arizona Department of Environmental Quality ("ADEQ") will be provided to the Commission when they are issued.

1 21. All necessary and required notice provisions will be provided by the Applicants.
2 Proof of publication of any such notice will be filed with the Commission in the appropriate
3 dockets.

4 22. The CC&N extension areas are within the planning areas of the Cities of Maricopa
5 and Casa Grande, although the CC&N extension areas are not within the incorporated boundaries
6 of these cities. The Cities of Maricopa and Casa Grande have both executed Memoranda of
7 Understanding which require all parties undertake the joint support for ACC approval of proposed
8 expansions of the CC&Ns in the planning area.

9 23. This Application is in the public interest and should be granted because, among
10 other things, there is a pressing need for consolidated, regionally-designed water and waste water
11 service in western Pinal County. Because of the proximity of existing facilities, the expertise of
12 the personnel and the financial stability, Santa Cruz and Palo Verde are in the best position to
13 extend and provide service to the CC&N extension area. Existing Santa Cruz and Palo Verde
14 customers will be benefited as the cost of providing water and wastewater service is spread over
15 a larger customer base, as well as through the accomplishment of economies of scale.

16 24. The extension to the CC&Ns are also beneficial in that Santa Cruz and Palo Verde
17 are at the forefront of water reclamation and re-use. Palo Verde has instituted a policy requiring
18 every existing and future section of land to construct reclaimed water retention structures and
19 reclaimed water distribution systems and to provide reclaimed water for all open spaces, schools,
20 homeowner association irrigation and lakes within the CC&N extension area. In addition, Palo
21 Verde is advancing other re-use opportunities, including: industrial/commercial/agricultural uses;
22 flush water use in commercial and industrial building; residential re-use; and recharge/recovery.

23 25. Applicants, to the best of their knowledge and belief, are currently in compliance
24 with all regulatory requirements applicable to their provision of water and wastewater service.

25 WHEREFORE, Santa Cruz and Palo Verde respectfully request that the Commission:

26 A. Schedule a hearing on this Application as soon as possible; and thereafter

27 B. Issue a final order:

ROSHKA DEWULF & PATTEN, PLC
ONE ARIZONA CENTER
400 EAST VAN BUREN STREET - SUITE 800
PHOENIX, ARIZONA 85004
TELEPHONE NO 602-256-6100
FACSIMILE 602-256-6800

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1. finding that it is in the public interest to include the Santa Cruz Extension Area in the CC&Ns of Santa Cruz;
2. finding that it is in the public interest to include the Palo Verde Extension Area in the CC&N of Palo Verde;
3. ordering that Santa Cruz's CC&N be extended to include the Santa Cruz Extension Area; and
4. ordering that Palo Verde's CC&N be extended to include the Palo Verde Extension Area.
5. granting such other and further relief as may be appropriate under the circumstances herein

RESPECTFULLY submitted this 28th day of December 2005.

ROSHKA DEWULF & PATTEN, PLC

By 
Michael W. Patten
One Arizona Center
400 East Van Buren Street, Suite 800
Phoenix, Arizona 85004

Original + 15 copies of the foregoing
filed this 28th day of December 2005, with:

Docket Control
ARIZONA CORPORATION COMMISSION
1200 West Washington
Phoenix, Arizona 85007

ROSHKA DEWULF & PATTEN, PLC
ONE ARIZONA CENTER
400 EAST VAN BUREN STREET - SUITE 800
PHOENIX, ARIZONA 85004
TELEPHONE NO 602-256-6100
FACSIMILE 602-256-6800

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Copies of the foregoing hand-delivered/mailed
this 28th day of December 2005, to:

Lyn A. Farmer, Esq.
Chief Administrative Law Judge
Hearing Division
Arizona Corporation Commission
1200 West Washington
Phoenix, Arizona 85007

Christopher C. Kempley
Chief Counsel, Legal Division
Arizona Corporation Commission
1200 West Washington
Phoenix, Arizona 85007

Ernest G. Johnson, Esq.
Director, Utilities Division
Arizona Corporation Commission
1200 West Washington
Phoenix, Arizona 85007



INDEX TO EXHIBITS

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<u>Exhibit</u>	<u>Description</u>
1.	Identification of Master Planned Communities with numbers of acres and number of lots
2.	Requests for Service
3.	Legal Description of Santa Cruz Extension Area
4.	Legal Description of Palo Verde Extension Area
5.	Certificates of Good Standing for Palo Verde and Santa Cruz
6.	Maps and Service Memorandum
7.	Palo Verde and Santa Cruz Balance Sheet (2004)
8.	Estimated numbers of customers – first five years
9.	Estimated operating revenue and estimated operating income – first five years

ROSHKA DEWULF & PATTEN, PLC
ONE ARIZONA CENTER
400 EAST VAN BUREN STREET - SUITE 800
PHOENIX, ARIZONA 85004
TELEPHONE NO 602-256-6100
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1

ROSHKA HEYMAN & DEWULF, PLC
 ONE ARIZONA CENTER
 400 EAST VAN BUREN STREET - SUITE 800
 PHOENIX, ARIZONA 85004
 TELEPHONE NO 602-256-6100
 FACSIMILE 602-256-6800

EXHIBIT 1

1	2 Developer/Development		3 Number of Acres		3 Number of Lots	
			3 <u>Water CCN Extension</u>		3 <u>Wastewater CCN Extension</u>	
			3 <u>Legend</u>	3 <u>Landowner/Developer</u>	3 <u>Acreage</u>	3 <u>Number of Lots</u>
4	1	LLF Stanmar Estates, LLC			431	1,509
	2	Langley Farm Investments, LLC			180	630
5	3	Big Trail, LLC			640	2,240
	4	Lonely Trail 780, LLC			780	2,730
6	5	ROB-LIN Marketing (Vistoso)			1,008	3,528
	6	ABCDW, LLC			1,942	6,797
7	7	TOM-T, LLC / T Farms, LLC / TTTT Farms, LLC			1,200	4,200
	8	Langley Stanfield Estates, LLC	441	1,544	441	1,544
8	9	Langley Farm Investments, LLC	663	2,321	663	2,321
	10	Langley Stanmar 160, LLC	160	560	160	560
9	11	CCB Stanfield Estates, LLC	96	336	96	336
	12	Carranza Associates, LLC	80	280	80	280
10	13	Stanfield Estates	96	334	96	334
	14	Dart Properties, LLC	620	2,170	620	2,170
	15	Anderson & Val Vista 6, LLC	1,879	6,577	1,879	6,577
11	16	SCR, LLC	674	2,359	674	2,359
	17	Parker Estates, LLC	640	2,240	640	2,240
12	18	Hondo 640, LLC	640	2,240	640	2,240
	19	Rio Lobo, LLC	640	2,240	640	2,240
13	20	JP Holdings LP	689	2,412	689	2,412
	21	Anderson & Barnes 580, LLP	580	2,030	580	2,030
14	22	120 Townsend, LLC	200	700	200	700
	23	NS 120 Limited Partnership, LLLP	120	420	120	420
15	24	Montgomery 156 Limited Partnership, LLLP	156	546	156	546
	25	CG 215 Limited Partnership, LLLP	215	753	215	753
16	26	Casa Grande Montgomery 240 Limited Partnership, LLLP	240	840	240	840
	27	RRY Casa Grande 320 Limited Partnership, LLLP	320	1,120	320	1,120
17	28	SVVM 80 Limited Partnership, LLLP	80	280	80	280
	29	VV Monty, LLC	60	210	60	210
18	30	RRY Real Estate, LLC	40	140	40	140
	31	Robin R Yount, LTD	40	140	40	140
19	32	Richard and Dana, LLC	40	140	40	140
	33	Bruce and Karen, LLC	40	140	40	140
20	34	Sacaton BL, LLC	280	980	280	980
	35	Trading Post Road LLC & DLW Associates, LP	60	210	60	210
21	36	Chartwell Casa Grande 40, LLC	40	140	40	140
	37	Gallup Financial, LLC	1216	4,256	1216	4,256
22	38	Gallup Financial, LLC	1484	5,194	1484	5,194
	39	ROB-LIN Marketing, Inc.	220	770	220	770
23	40	Jorde Hacienda, Inc.	3,120	10,920	3,120	10,920
	41	Vanderbilt Farms, LLC	1,920	6,720	1,920	6,720
24	42	CRW Holdings I, LLC	30	105	30	105
	43	Val Vista & Montgomery, LLC	40	140	40	140
25	44	Williams Family Revocable Trusts	160	560	160	560
	45	Blevins	160	560	160	560
26	46	Terbus Investments, LLC	40	140	40	140
	47	Douglas Payne, individually	80	280	80	280
27	48	C. Kronwald Children's Trust	80	280	80	280
	49	Teel 80, LLC	82	287	82	287

ROSHKA HEYMAN & DEWULF, PLC
ONE ARIZONA CENTER
400 EAST VAN BUREN STREET - SUITE 800
PHOENIX, ARIZONA 85004
TELEPHONE NO 602-256-6100
FACSIMILE 602-256-6800

1	50	KEJE Group, LLC	80	280	80	280
2	51	Hampden and Chambers, LLC & BevNorm Olive, LLC	807	2,825	807	2,825
3	52	Henry McMillan and Alexander McMillan, individually	25	88	25	88
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			<u>19,373</u>	<u>67,804</u>	<u>25,554</u>	<u>89,437</u>

2



El Dorado Holdings, Inc.

August 17, 2005

Cindy Liles
Global Water Resources, LLC
22601 N. 29th Avenue, Suite 210
Phoenix, Arizona 85027

Re: Water and Wastewater Service

Dear Cindy:

Please accept this letter as a request for service from Big Trail, LLC; Hondo 640, LLC; Lonely Trail 780, LLC; Parker Estates, LLC and Rio Lobo, LLC, Arizona limited liability companies, for water and wastewater service to property located in Pinal County, Arizona (depicted on the attached maps). It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

We would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please give me a call if you have any questions.

Sincerely,

Big Trail, LLC and
Hondo 640, LLC and
Lonely Trail 780, LLC and
Parker Estates, LLC and
Rio Lobo, LLC,
Arizona limited liability companies

N. Kelly House, President
El Dorado Holdings, Inc., Administrative Agent

One Gateway Center

426 North 44th Street, Suite 100 • Phoenix, Arizona 85008 • (602) 955-2424 • FAX (602) 955-3543

September 26, 2005

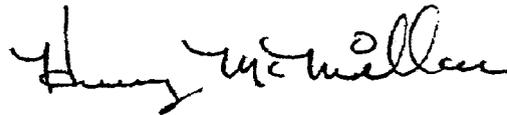
Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Please accept this letter as a request for service from Henry and Alexander McMillan for water and wastewater services to our property, more particularly described as Exhibit A attached hereto.

We would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Henry McMillan



LEGAL DESCRIPTION

A PORTION OF SECTION 29, TOWNSHIP 5 SOUTH,
RANGE 5 EAST, GILA & SALT RIVER BASE & MERIDIAN,
PINAL COUNTY, ARIZONA MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

THE EAST ONE-THIRD OF THE WEST HALF OF THE
NORTHEAST QUARTER OF THE NORTHWEST QUARTER
OF SAID SECTION 29;

EXCEPT THE NORTH 570 FEET THEREOF.

ALSO KNOWN AS PARCEL 4 AS SHOWN IN BOOK 3 OF
SURVEYS, PAGE 227.

CONTAINS 3.69 ACRES, MORE OR LESS.

(NOTE: THIS LEGAL DESCRIPTION DERIVED FROM THE
PINAL COUNTY ASSESSOR LEGAL INFORMATION FOR
PARCEL NUMBER 502-38-003S8 AND DOES NOT
REPRESENT A FIELD SURVEY OF THE SUBJECT
PROPERTY.)

LEGAL DESCRIPTION

A PORTION OF SECTION 29, TOWNSHIP 5 SOUTH,
RANGE 5 EAST, GILA & SALT RIVER BASE & MERIDIAN,
PINAL COUNTY, ARIZONA MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF
SAID SECTION 29;

THENCE WEST 665.24 FEET;

THENCE SOUTH 570 FEET TO THE POINT OF
BEGINNING;

THENCE EAST 235.17 FEET;

THENCE SOUTH 375 FEET;

THENCE WEST 235.07 FEET;

THENCE NORTH 375 FEET TO THE POINT OF
BEGINNING;

EXCEPT ANY PORTION LYING WITHIN THE NORTH
HALF OF THE EAST HALF OF THE NORTHEAST
QUARTER OF THE NORTHWEST QUARTER.

CONTAINS 1.54 ACRES, MORE OR LESS.

(NOTE: THIS LEGAL DESCRIPTION DERIVED FROM THE
PINAL COUNTY ASSESSOR LEGAL INFORMATION FOR
PARCEL NUMBER 502-38-003T6 AND DOES NOT
REPRESENT A FIELD SURVEY OF THE SUBJECT
PROPERTY.)

LEGAL DESCRIPTION

A PORTION OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 5 EAST, GILA & SALT RIVER BASE & MERIDIAN, PINAL COUNTY, ARIZONA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 29;

THENCE WEST 665.24 FEET;

THENCE SOUTH 945 FEET TO THE TRUE POINT OF BEGINNING;

THENCE EAST 235.07 FEET;

THENCE NORTH 375 FEET;

THENCE EAST 429.92 FEET;

THENCE SOUTH 748.32 FEET;

THENCE WEST 664.89 FEET;

THENCE NORTH 373.40 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT ANY PORTION LYING WITHIN THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER.

CONTAINS 8.46 ACRES, MORE OR LESS.

(NOTE: THIS LEGAL DESCRIPTION DERIVED FROM THE PINAL COUNTY ASSESSOR LEGAL INFORMATION FOR PARCEL NUMBER 502-38-003U4 AND DOES NOT REPRESENT A FIELD SURVEY OF THE SUBJECT PROPERTY.)

LEGAL DESCRIPTION

A PORTION OF SECTION 29, TOWNSHIP 5 SOUTH,
RANGE 5 EAST, GILA & SALT RIVER BASE & MERIDIAN,
PINAL COUNTY, ARIZONA MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID
SECTION 29;

THENCE EAST 1330.49 FEET TO THE POINT OF
BEGINNING;

THENCE CONTINUING EAST 451.24 FEET;

THENCE SOUTH 570 FEET;

THENCE WEST 451.09 FEET;

THENCE NORTH 570 FEET TO THE POINT OF
BEGINNING.

ALSO KNOWN AS PARCEL 1 AS SHOWN IN BOOK 3 OF
SURVEYS, PAGE 227.

CONTAINS 5.9 ACRES, MORE OR LESS.

(NOTE: THIS LEGAL DESCRIPTION DERIVED FROM THE
PINAL COUNTY ASSESSOR LEGAL INFORMATION FOR
PARCEL NUMBER 502-38-003Q2 AND DOES NOT
REPRESENT A FIELD SURVEY OF THE SUBJECT
PROPERTY.)

LEGAL DESCRIPTION

A PORTION OF SECTION 29, TOWNSHIP 5 SOUTH,
RANGE 5 EAST, GILA & SALT RIVER BASE & MERIDIAN,
PINAL COUNTY, ARIZONA MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID
SECTION 29;

THENCE EAST 1330.49 FEET;

THENCE SOUTH 819.50 FEET TO THE POINT OF
BEGINNING;

THENCE EAST 451.02 FEET;

THENCE SOUTH 498.73 FEET;

THENCE WEST 450.89 FEET;

THENCE NORTH 498.99 FEET TO THE POINT OF
BEGINNING.

ALSO KNOWN AS PARCEL 3 AS SHOWN IN BOOK 3 OF
SURVEYS, PAGE 227.

CONTAINS 5.13 ACRES, MORE OR LESS.

(NOTE: THIS LEGAL DESCRIPTION DERIVED FROM THE
PINAL COUNTY ASSESSOR LEGAL INFORMATION FOR
PARCEL NUMBER 502-38-003R2 AND DOES NOT
REPRESENT A FIELD SURVEY OF THE SUBJECT
PROPERTY.)

Commercial Investments, Inc.

Real Estate Investment and Development

August 19, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

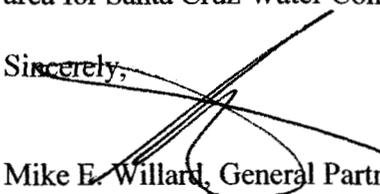
RE: Water and Wastewater Service for approximately 80 acres at the Southwest corner of Carranza and Anderson within the City of Stanfield, Pinal County, Arizona.

Dear Ms Liles,

Please accept this letter as a request for service from Carranza Associates, L.L.C., a Delaware Limited Liability Company (By, GKH Diversified Limited Liability Partnership, a Nevada Limited Partnership) and Commercial Investments, Inc (Managing Partner) for water and wastewater service to approximately 80 acres at the Southwest corner of Carranza and Anderson within the City of Stanfield, Pinal County, Arizona (attached legal description, Exhibit A),. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planed area development to serve single family residential homes.

Carranza & Anderson would like to be included in your next available expansion of service area for Santa Cruz Water Company and Palo Verde Utility Company.

Sincerely,



Mike E. Willard, General Partner
Carranza Associates, LLC, a Delaware Limited Liability Company
By: GKH Diversified Limited Liability Partnership, a Nevada Limited Partnership,
Sole Member

Commercial Investments, Inc.

Real Estate Investment and Development

Carranza & Anderson

EXHIBIT "A"

The North half of the Northeast quarter of Section 10, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona

Approximately 80 Acres on the Southwest corner of Carranza and Anderson within the City of Stanfield, APN# 500-16-001, Pinal County, Arizona

Anderson & Barnes 580, LLP

May 20, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services Southeast of the City of Maricopa

Dear Ms. Liles:

Please accept this letter as a request from Anderson & Barnes 580, LLP ("Owner") for water and wastewater services to approximately 580 acres located Southeast of the City of Maricopa, Arizona specifically referred to as the Southeast Expansion Area. Owner would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Owner acquired the 580 acres on December 1, 2004 with the intent of rezoning and engineering the land for the use of a master planned community to serve single family residential homes. The Owner has completed the preliminary planning and has submitted a PAD Rezoning Package to Pinal County and anticipates County Approval in June 2005. The final plats and engineering will begin immediately following Rezoning Approval and the Owner anticipates County Approval of all plats and engineering plans by December 2005.

Based on this expedited timeline and the financial obligations invested by the Owner to date, please recognize the urgency and need for this property to be serviced by the Santa Cruz Water Company and Palo Verde Utilities Company. If a CC&N is not approved by December 2005, then the County will not approve the final plats and engineering for our project at that time; thus, resulting in a delay of our project.

Please contact me if you have any questions. I can be reached at 480-889-9900.

Sincerely,

ANDERSON & BARNES 580, LLP, an Arizona
limited liability partnership

By: HINTON FINANCIAL SERVICES INC., a
Colorado corporation, partner

By: Brad Clough
Brad Clough, Secretary

By: CATHTON INVESTMENTS, INC., a Nevada
Corporation, partner

By: Robert Manning
Robert Manning, President

By: JW VENTURES, L.L.C., an Arizona limited
liability company, partner

By: CRA I, Inc., an Arizona corporation, its
Manager

By: Philip J. DeAngelis
Philip J. DeAngelis, its President



Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service

Please accept this letter as a request for service from LLF Stanmar Estates, (Steve Rees, Manager) for water and wastewater service. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Langley Farm Investments would like to be included in you next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact Steve Rees if you have any questions at (480) 633-0999.

Sincerely,


Steve Rees, Manager



Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service

Please accept this letter as a request for service from CCB Stanfield Estates, LLC, (Steve Rees, Manager) for water and wastewater service. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Langley Farm Investments would like to be included in you next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact Steve Rees if you have any questions at (480) 633-0999.

Sincerely,


Steve Rees, Manager



Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service

Please accept this letter as a request for service from Langley Stanfield Estates, LLC, (Steve Rees, Manager) for water and wastewater service. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Langley Farm Investments would like to be included in you next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Pleas contact Steve Rees if you have any questions at (480) 633-0999.

Sincerely,

Steve Rees, Manager



TERBUS INVESTMENTS, LLC

4747 E Elliot Road
Suite 29-307
Phoenix, Arizona 85044

Phone: 602-320-0712
Fax: 480-452-0948
Email: terbus@aol.com

November 11, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Deer Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service for approximately 40 acres at the
SEC of White & Parker Road and Selma Highway in Pinal County

Dear Ms. Liles,

Please accept this letter as a request for service from TERBUS Investments, LLC for water and wastewater service to our approximately 40 acres west of White & Parker Road at Selma Highway. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

We would like our property to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact me if you have any questions, I can be reached at (602) 320-0712

Sincerely,



R.H. Lea
Managing Member
TERBUS INVESTMENTS, LLC



DOUGLAS PAYNE

November 11, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Deer Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service for approximately 80 acres at the SEC of White & Parker Road and Selma Highway in Pinal County

Dear Ms. Liles,

Please accept this letter as a request for service from Douglas Payne for water and wastewater service to my approximately 80 acres west of White & Parker Road at Selma Highway. It is my intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

I would like my property to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact me if you have any questions, I can be reached at (602) 510-6980

Sincerely,

Douglas M. Payne

P.O. Box 924
Pearce, AZ 85625

Phone: 602-510-6980
Fax: 480-452-0948
Email: otap7@aol.com

**Anderson & Val Vista 6, LLC
8501 N. Scottsdale Road, Suite 260
Scottsdale, Arizona 85253
(480)889-9900**

May 26, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

Re: Water and Wastewater Services Southeast of the City of Maricopa

Dear Ms. Liles:

Please accept this letter as a request from Anderson & Val Vista 6, LLC, ("Owner") for water and wastewater services to approximately 1,248 acres located Southeast of the City of Maricopa, Arizona specifically referred to as the Southeast Expansion Area. Owner would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Owner acquired the 1,248 acres with the intent of holding the property for investment and future appreciation. Owner, however, understood that to bring additional value to the property, it may be necessary to rezone and engineer the land for use as a master planned community to serve single family residential homes. The Owner has allowed Santa Cruz Land Co. to complete the preliminary planning and to submit a PAD Rezoning Package to Pinal County and anticipates County Approval in July 2005. Owner understands that the final plats and engineering will begin immediately following Rezoning Approval and the Owner anticipates County Approval of all plats and engineering plans by March 2006.

Based on this expedited timeline and the financial obligations invested by the Owner to date, please recognize the urgency and need for this property to be serviced by the Santa Cruz Water Company and Palo Verde Utilities Company. If a CC&N is not approved by February 2006, then the County will not approve the final plats and engineering for the project at that time; thus, resulting in a delay of the project.

Ms. Cindy Liles

Page 2 of 2

Please contact me if you have any questions. I can be reached at 480-889-9900.

Sincerely,

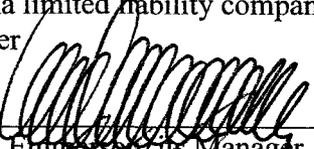
ANDERSON & VAL VISTA 6, LLC,
an Arizona limited liability company

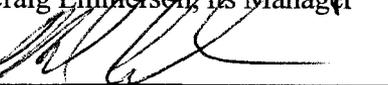
By: **JW VENTURES, LLC,**
an Arizona limited liability company,
its Member

By: **C.R.A., I. Inc.,**
an Arizona corporation,
its manager

By: 
Phil DeAngelis, its President

By: **MARICOPA GRANDE HOLDINGS I, L.L.C.,**
an Arizona limited liability company,
its Member

By: 
Craig Emerson, its Manager

By: 
Mike Anderson, its Manager

SANTA CRUZ LAND COMPANY
7890 E. McClain Drive, Suite 5
Scottsdale, Arizona 85260
(480)889-9900

May 27, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

Re: Water and Wastewater Services Southeast of the City of Maricopa

Dear Ms. Liles:

Please accept this letter as a request from Santa Cruz Land Company, the Optionee under that certain Option Agreement ("Option") dated March 1, 2004 ("Santa Cruz") for water and wastewater services to approximately 1,248 acres located Southeast of the City of Maricopa, Arizona, specifically referred to as the Southeast Expansion Area. Santa Cruz would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Santa Cruz acquired an Option on the 1,248 acres with the intent of rezoning and engineering the land for use as a master planned community to serve single family residential homes. Santa Cruz has completed the preliminary planning and has submitted a PAD Rezoning Package to Pinal County and anticipates County Approval in July 2005. The final plats and engineering will begin immediately following Rezoning Approval and Santa Cruz anticipates County Approval of all plats and engineering plans by March 2006.

Based on this expedited timeline and the financial obligations invested by Santa Cruz to date, please recognize the urgency and need for this property to be serviced by the Santa Cruz Water Company and Palo Verde Utilities Company. If a CC&N is not approved by February 2006, then the County will not approve the final plats and engineering for our project at that time; thus, resulting in a delay of our project.

Please contact me if you have any questions. I can be reached at 480-889-9900.

Sincerely,

SANTA CRUZ LAND COMPANY,
an Arizona Corporation

By: _____

Craig Emmerson, President

C. KRONWALD CHILDREN'S TRUST

1225 East Warner Road #8
Tempe, Arizona 85284

(480) 755-4740

October 27, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

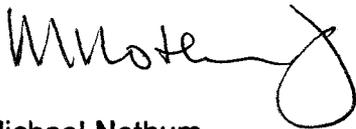
RE: Water and Wastewater Service for approximately 80 acres on the north side of Val Vista Road east of Papoose Road in Pinal County, AZ

Dear Ms. Liles,

Please accept this letter as a request for service from Michael Nothum, Jr. Children's Irrevocable Trust I and Carol Kronwald Children's Irrevocable Trust I for water and wastewater service to approximately 80 acres on the north side of Val Vista Road east of Papoose Road. It is our intention to pursue the preliminary platting and rezoning of this land to serve single family residential homes.

We would like to be included in your next expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Sincerely,



Michael Nothum
Trustee



Carol Kronwald
Trustee

July 1, 2005

Ms. Cindy Liles
Global Water Resources, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services in Southeast Expansion Area

Dear Ms. Liles:

Please accept this letter as a request for water and wastewater services for approximately 807 acres located Southeast of the City of Maricopa, Arizona, specifically referred to as the Southeast Expansion Area. Hampden and Chambers, LLC and BevNorm Olive, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Hampden and Chambers, LLC and BevNorm Olive, LLC are currently in the process of obtaining a Comprehensive Plan amendment, rezoning the land, and preparing to submit a preliminary plat application. Securing water and wastewater services is critical to our land development efforts. We anticipate that our final plat will not be approved if water and wastewater services are not available.

Sincerely,

Hampden and Chambers, LLC
A Colorado Limited Liability Company

By: 
Bruce Galloway, Manager

BevNorm Olive, LLC
An Arizona Limited Liability Company

By: 
Bruce Galloway, Manager

KEJE Group, LLC
7854 W Sahara, Suite 100
Las Vegas, NV 89117
(702) 216-4663

June 27, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N 19th Avenue, Suite 210
Phoenix, AZ 85027

Re: Water and Wastewater Services Southeast of the City of Maricopa

Dear Ms. Liles,

Please accept this letter as a formal request from KEJE Group, LLC for water and wastewater services to the approximately 80 acres of land located Southeast of the City of Maricopa in your Southeast Expansion Area, more specifically identified as APN 501-15-014B and located at the NEC of Porter Rd and Selma Highway. KEJE Group, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company, LLC and Palo Verde Utilities Company, LLC

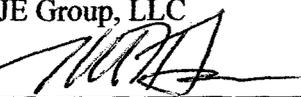
KEJE Group, LLC has recently acquired this land with the intent of rezoning and engineering the land for use as a residential community of single family homes. This process will commence in the coming months.

Based on the significant investment in this property and the upcoming entitlements, please recognize the urgency and need for including this property in your Southeast Expansion Area.

If you need any further details please contact my at the number listed above.

Sincerely,

KEJE Group, LLC

By: 

Kenneth H. Lowman, President
Premier Homesites, Inc
Its Co-Manager

Commercial Investments, Inc.

Real Estate Investment and Development

June 21, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service for approximately 95.5 acres at the SEC of Stanfield Rd. and Miller Road in Pinal County, AZ

Please accept this letter as a request for service from Stanfield Estates (EASTPAC, LLC, GKH Limited, LP and Loren Huweiler - Owners) and Commercial Investments, Inc (Managing Partner) for water and wastewater service to approximately 95.5 acres at the SEC Stanfield Rd. and Miller Roads. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Stanfield Estates would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact me if you have any questions, I can be reached at (602) 861-2202

Sincerely,



Louis L. Turner
Managing Partner
Stanfield Estates

StanfieldGlobalWaterService Ltr6-21-05

10000 N. 31st Avenue, Suite C-109 • Phoenix, AZ 85051

Office: (602) 861-2202 • Fax: (602) 862-6918

July 29, 2005

Ms. Cindy Liles
Santa Cruz Water Company
Palo Verde Utilities Company
22601 N. 19th Ave.
Phoenix, AZ 85027

Re: Water and Sewer Service in the area of Stanfield, Arizona

Dear Ms. Liles:

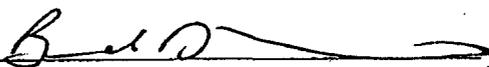
Please accept this letter as a request from Vanderbilt Farms, LLC for water and sewer service to approximately 1920 acres (a.k.a. Thude) located north of Stanfield, AZ within the Southeast Expansion Area. The Requestor would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

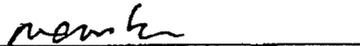
Vanderbilt has approved rezoning and a PAD on the land for use as a master planned community. Vanderbilt anticipates commencement of site engineering upon the availability of water and sewer service.

Please contact me at the number below if you have any questions.

Sincerely,

Vanderbilt Farms L.L.C.
an Arizona Limited Liability company

By: 

Its: 

1121 West Warner Rd., Suite 109
Tempe, Arizona 85284
(480)831-2000 fax (480) 893-1604

June 28, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N. 19th Ave, Suite 210
Phoenix, AZ 85027

Re: Water and Wastewater Services Southeast of the City of Maricopa

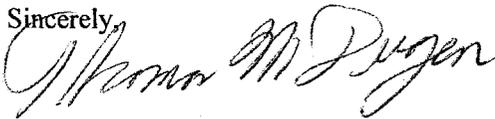
Dear Ms. Liles:

Please accept this letter as a request from TOM-T, L.L.C., T & T FARMS, L.L.C., and TTTT FARMS, LLC, for water and wastewater services to approximately 1,213 acres located on the south side of Highway 84 from Stanfield Road to White and Parker Road, Pinal County, Arizona. I would like the property to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company, which I understand is specifically referred to as the Southeast Expansion Area.

A PAD Rezoning Package is currently being prepared for submittal to Pinal County for approval of a master planned community and water and wastewater services are needed to serve single family residential homes and other planned uses. Following rezoning approval, the engineering and platting of the property will commence and approval of the CC&N is necessary for the County to approve final plats. It is my request that the CC&N approval be obtained as soon as possible to avoid any delays in serving the property.

Please contact me if you have any questions. I can be reached at (602) 390-2733.

Sincerely,



Thomas M. Dugan, Managing Member of
TOM-T, L.L.C., an Arizona limited liability company,
T & T FARMS, L.L.C., an Arizona limited liability company, and
TTTT FARMS, LLC, an Arizona limited liability company

July 29, 2005

Ms. Cindy Liles
Santa Cruz Water Company
Palo Verde Utilities Company
22601 N. 19th Ave.
Phoenix, AZ 85027

Re: Water and Sewer Service in the area of Stanfield, Arizona

Dear Ms. Liles:

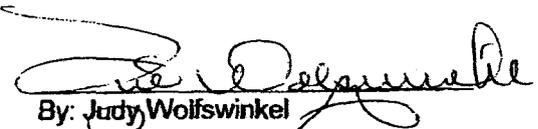
Please accept this letter as a request from ROB-LIN Marketing, Inc. for water and sewer service to approximately 1228 acres (a.k.a. Talla) located north of Stanfield, AZ within the Southeast Expansion Area. The Requestor would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Talla has approved rezoning and a PAD on the land for use as a master planned community. ROB-LIN anticipates commencement of site engineering upon the availability of water and sewer service.

Please contact me at the number below if you have any questions.

Sincerely,

ROB-LIN Marketing Inc.,
an Arizona Corporation


By: Judy Wolfswinkel

Its: PRESIDENT

SCR, L.L.C.

May 25, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services Southeast of the City of Maricopa

Dear Ms. Liles:

Please accept this letter as a request from SCR, LLC, ("Owner") for water and wastewater services to approximately 674 acres located Southeast of the City of Maricopa, Arizona specifically referred to as the Southeast Expansion Area. Owner would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Owner intends to rezone and engineer the land for the use of a master planned community to serve single family residential homes. The Owner has completed the preliminary planning and has submitted a PAD Rezoning Package to Pinal County and anticipates County Approval in July 2005. The final plats and engineering will begin immediately following Rezoning Approval and the Owner anticipates County Approval of all plats and engineering plans by March 2006.

Based on this expedited timeline and the financial obligations invested by the Owner to date, please recognize the urgency and need for this property to be serviced by the Santa Cruz Water Company and Palo Verde Utilities Company. If a CC&N is not approved by February 2006, then the County will not approve the final plats and engineering for our project at that time; thus, resulting in a delay of our project.

Please contact me if you have any questions. I can be reached at 480-889-9900.

Sincerely,

SCR:

SCR, LLC, an Arizona Limited Liability Company

By: 

Bryan Hartman, Managing Member

S:\Properties\Santa Cruz\Correspondence\Global Request for Services Ltr SCRLLC .doc

♦ 2555 East Camelback Road, Suite 200 Phoenix, Arizona 85016 ♦
Phone (602) 778-8700 ♦ Fax (602) 778-8780

JP Holdings, L.P.

33046 W. Barnes Rd. Stanfield, AZ 85272
(520) 424-3303 (520) 424-3364 f

June 3, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company LLC
22601 N. 19th Avenue
Phoenix, AZ 85027

**RE: Water and Wastewater Services
Southeast of the City of Maricopa**

Dear Ms. Liles:

Please accept this letter of agreement from JP Holdings LP ("Owner") allowing Anderson & Miller 694 LLP ("Buyer") to request water and wastewater services to approximately 689 Ac located Southeast of the City of Maricopa, Arizona specifically referred to as the Southeast Expansion Area. The buyer would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Buyer will acquire the 689 Ac from the owner on March 1st 2006 with intent of rezoning and engineering the land for the use of a master planned community to serve single family residential homes. The Buyer has with our knowledge completed the preliminary planning and has submitted a PAD Rezoning Package to Pinal County and anticipates County approval in July 2005. The final plats and engineering will begin immediately following Rezoning Approval. The buyer anticipates County Approval of all plats and engineering by February 2006.

Based on this expedited timeline and the financial obligations invested by the Owner and Buyer to date, please recognize the urgency and need for this property to be serviced by the Santa Cruz Water Company and Palo Verde Utilities Company. If a CC&N is not approved by February 2006, then the County will not approve the final plats and engineering for their project at that time; thus resulting in a delay of their project.

Please contact Maryanne Lucas if you have any questions. She can be reached at (480) 889-9900.

Sincerely,



John Thude, Managing Partner
JP Holdings, LP

July 29, 2005

Ms. Cindy Liles
Santa Cruz Water Company
Palo Verde Utilities Company
22601 N. 19th Ave.
Phoenix, AZ 85027

Re: Water and Sewer Service in the area of Stanfield, Arizona

Dear Ms. Liles:

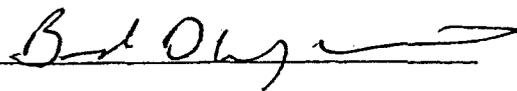
Please accept this letter as a request from ABCDW, LLC for water and sewer service to approximately 1942 acres (a.k.a. Stanfield 1942) located south of Stanfield, AZ within the Southeast Expansion Area. The Requestor would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

ABCDW has started planning and is preparing a PAD on the land for use as a master planned community. Vanderbilt anticipates commencement of site engineering upon the availability of water and sewer service.

Please contact me at the number below if you have any questions.

Sincerely,

ABCDW L.L.C.
an Arizona Limited Liability company

By: 

Its: member

1121 West Warner Rd., Suite 109
Tempe, Arizona 85284
(480)831-2000 fax (480) 893-1604



August 18, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 North 19th Avenue, Suite 210
Phoenix, Arizona 85027

Re: Water and Wastewater

Please accept this letter as a request from the following entity: Langley Stanmar 160, LLC, an Arizona limited partnership, for water and wastewater services. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Robinson Family Farms, LLC, an Arizona limited partnership, would like to have their property included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Please contact Ken Quartermain you have questions at 480 633-0999.

Very truly yours,

Ken Quartermain
Langley Stanmar 160, LLC

August 18, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 North 19th Avenue, Suite 210
Phoenix, Arizona 85027

Re: Water and Wastewater

Please accept this letter as a request from the following entity: Robinson Family Farms, LLC, an Arizona limited partnership, for water and wastewater services. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Robinson Family Farms, LLC, an Arizona limited partnership, would like to have their property included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Please contact Tim Robinson you have questions at 520 251-4488.

Very truly yours,



Timothy A. Robinson
Robinson Family Farms, LLC

September 8, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Please accept this letter as a request for service from Teel 80, LLC for water and wastewater services to approximately 82 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Teel 80, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Teel 80, LLC
an Arizona limited liability company

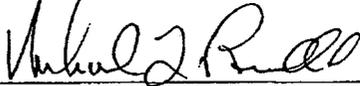
By: 
Michael T. Reinbold
Administrative Agent

Exhibit A
Legal Description

The West half of the Southeast quarter of Section 25, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

Except all oil, gas and other minerals as reserved in Deed recorded as Docket 115, Page 57.

Ms. Cindy Liles
Palo Verde Utilities Company, LLC
22601 N. 19th Ave., Ste. 210
Phoenix, AZ 85027

Re: Water and Sewer CC&N Expansion
Arizona Corporation Commission

Dear Ms. Liles:

The undersigned is owner or authorized representative of the owners of the real property described on the attached Exhibit A and being a part of the projects known as Jorde Hacienda located in Pinal County, Arizona. The owner(s) have no objection to Santa Cruz Water Company's and Palo Verde Utilities Company's inclusion of Owner's land described on Exhibit A in Palo Verde's and Santa Cruz's CC&N expansion application.

Sincerely,
Jorde Hacienda, Inc., an Arizona corporation

Paul Jorde, President

By: Paul Jorde

Date

8-16-05

Its:

**EXHIBIT A TO
PURCHASE AND SALE AGREEMENT**

Legal Description

PARCEL NO. 1:

The Northeast quarter of Section 15, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 2:

The South half of the South half of Section 11, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT that portion of the South half of the South half of Section 11, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, which lies within a strip of land 300 feet in width, being 150 feet wide, when measured at right angles, on each side of the following described line:

BEGINNING at a point on the Easterly line of said Section 11 and from which the Southeast quarter of said section 11 bears South 00 degrees 01 minutes 40 seconds West, 867.59 feet distant therefrom;

Thence North 89 degrees 54 minutes 21 seconds West, (North 89 degrees 52 minutes 59 seconds West, record) along said centerline, a distance of 5286.33 feet to a point on the Westerly line of said Section 11, said point also being the point of terminus, and from which the Southwest corner of said Section 11 bears South 00 degrees 00 minutes 56 seconds West, 876.07 feet distant therefrom;

EXCEPT that portion of the South half of the South half of Section 11, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, lying Easterly of the following described line:

BEGINNING at the Southeast corner of said Section 11;

Thence North 89 degrees 57 minutes 21 seconds West (North 89 degrees 52 minutes 59 seconds West, record) being parallel with the Southerly right-of-way line of the Yuma-Casa Grande Interstate Highway 8, a distance of 68.25 feet;

Thence North 00 degrees 01 minutes 40 seconds East (North 00 degrees 30 minutes 00 seconds East, record), being parallel with the Easterly line of said Section 11, a distance of 717.56 feet (716.90 feet record) to a point on said Southerly right-of-way line of the Yuma-Casa Grande Interstate Highway 8, said point also being the point of terminus of this description; and

EXCEPT that portion of the South half of the South half of Section 11, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, lying Easterly of the following described line:

BEGINNING at the Southeast corner of said Section 11;

Thence North 00 degrees 03 minutes 00 seconds East 1866.90 feet;

Thence North 89 degrees 52 minutes 59 seconds West 57.31 feet;

Thence South 00 degrees 07 minutes 01 seconds West 400 feet;

Thence North 89 degrees 52 minutes 59 seconds West 9.33 feet;

Thence South 00 degrees 07 minutes 01 seconds West 175 feet;

Thence North 89 degrees 52 minutes 59 seconds West 122.93 feet;

Thence South 00 degrees 07 minutes 01 seconds West 275 feet to the North line of the first exception herein and the end of this line description.

PARCEL NO. 3:

The West half of Section 14, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO 4:

The Northwest quarter and the North half of the Southwest quarter of Section 11, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT that portion conveyed to the State of Arizona in Docket 373, page 77 and in Docket 375, page 501.

PARCEL NO. 5:

The Northeast quarter and the North half of the Southeast quarter of Section 11, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT that portion conveyed to the State of Arizona in Docket 373, page 77 and in Docket 375, page 501.

PARCEL NO. 6:

The East half of Section 14, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT all the coal and other minerals as reserved in Patent from United States of America.

EXCEPT that portion conveyed to the State of Arizona by Deed recorded in Docket 383, page 330, described as follows:

The East 68.25 feet of the North 133.10 feet of Section 14, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 7:

Lot 18 and the South half of the Northwest quarter and the North half of the Southwest quarter of Section 13, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT all coal and other minerals as reserved in Patent from United States of America.

PARCEL NO. 8:

Lots 19 and 20 of Section 13, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 9:

That portion of the North half of the Northwest quarter of Section 24, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, described as follows:

BEGINNING at the Southeast corner of the North half of the Northwest quarter of said Section 24;

Thence North 00 degrees 03 minutes East along the East line thereof, 500 feet;

Thence South 89 degrees 59 minutes 45 seconds West, parallel with the South line of the North half of the Northwest quarter of said Section 24, a distance of 232 feet;

Thence South 00 degrees 03 minutes West 500 feet to a point on the South line of the North half of the Northwest quarter of said Section 24;

Thence North 89 degrees 59 minutes 45 seconds East along said South line, 232 feet to the POINT OF BEGINNING.

PARCEL NO. 10:

Lots 5 and 6 of Section 24, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT all the coal and other minerals as reserved in Patent from United States of America.

PARCEL NO. 11:

The South half of the Southwest quarter of Section 13, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 12:

Lots 5, 6, 7, 8, 17, 18, 19 and 20, Section 12, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXCEPT all that portion which lies within a strip of land 300 feet in width, being 150 feet, when measured at right angles on each side of the following described centerline:

BEGINNING at a point on the West line of Section 7, Township 7 South, Range 3 East, which point of 150 feet Southerly of the West quarter corner thereof;

Thence North 89 degrees 52 minutes 59 seconds West, a distance of 10562.63 feet, more or less, to a point on the West line of said Section 12 and the end of this centerline description; and

EXCEPT all the coal and other minerals as reserved in Patent from United State of America. (Affects Lots 5 and 6 of said Section 12)

PARCEL NO. 13:

The West half of Section 12, Township 7 South, Range 4 East of the Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT all that portion which lies within a strip of land 300 feet in width, being 150 feet, when measured at right angles; on each side of the following described centerline:

BEGINNING at a point on the West line of Section 7, Township 7 South, Range 3 East, which point is 150 feet Southerly of the West quarter corner thereof;

Thence North 89 degrees 52 minutes 59 seconds West, a distance of 10562.63 feet, more of less, to a point on the West line of said Section 12 and the end of this centerline description; and

EXCEPT all the coal and other minerals as reserved in Patent from United States of America. (Affects the South half of the Southwest quarter of said Section 12); and

EXCEPT all that portion lying Westerly of the following described line:

COMMENCING at the Northwest corner of Section 13, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

Thence South 00 degrees 03 minutes 00 seconds West, a distance of 133.10 feet;

Thence South 89 degrees 52 minutes 59 seconds East, a distance of 106.79 feet to the TRUE POINT OF BEGINNING;

Thence North 00 degrees 03 minutes 00 seconds East, a distance of 2000 feet and the end of this line description.

PARCEL NO. 14:

Government Lots 3 through 10 inclusive, 15, 16, 17, 21, 22 and the North half of the Northwest quarter of Section 13, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 15:

- Government Lots 3 and 4, Section 24, Township 7 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

BCY Limited Partnership

PO Box 826 ~ Gilbert, AZ 85299
Phone (480) 988-3550 ~ Fax (480) 988-9818

July 18, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde utilities Company, LLC
22601 North 19th Avenue, Suite 210
Phoenix, Arizona 85027

Re: Water and Wastewater

Please accept this letter as a request from the following entity: BCY Limited Partnership an Arizona limited partnership, (Gaylord Bob Yost, as trustee of the Gaylord Bob Yost Family Revocable Trust) for water and wastewater services. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

BCY Limited Partnership an Arizona limited partnership, would like to have their property included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Please contact Bob Yost you have questions at 480 988-3550.

Very truly yours,



Gaylord Bob Yost
BCY Limited Partnership an Arizona limited partnership

Cowley Companies

625 South Fifth Street
Suite E2
Phoenix AZ 85004
Phone 602.385.4200
Fax 602.385.4210

July 18, 2005

Ms. Cindy Liles
Global Water Resources, LLC
Deer Valley Financial Center
22601 N 19th Ave, Ste 210
Phoenix AZ 85027

Re: Water and Wastewater Services

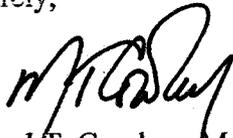
Dear Ms. Liles:

Please accept this letter as a request for service from Emerson Investments, LLC (Michael T. Cowley, Member) for water and wastewater service. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Emerson Investments, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please feel free to contact me if you have any questions at 602-385-4200.

Sincerely,



Michael T. Cowley, Member
Emerson Investments, LLC



Carmichael & Sons, LTD.
14515 East Elgin Street
Gilbert, Arizona 85296
(480) 814-9573
(480) 814-7633 Fax

July 18, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, Arizona 85027

RE: Water and Wastewater Service

Please accept this letter as a request for service from Carmichael & Sons, LTD. (David Carmichael, Managing Partner) for water and wastewater service. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Carmichael & Sons would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact David Carmichael if you have any questions at (480) 814-9573.

Sincerely,

A handwritten signature in cursive script that reads "David Carmichael".

David L. Carmichael, Managing Partner
Carmichael & Sons, LTD.
14515 East Elgin Street
Gilbert, Arizona 85296
(480) 814-9573
(480) 814-7633 Fax

DLC/bp

July 18, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 North 19th Avenue, Suite 210
Phoenix, Arizona 85027

Re: Water and Wastewater

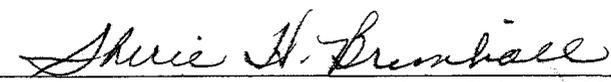
Please accept this letter as a request from the following entity: CACHE Investments, L.L.C. an Arizona limited partnership, (Gale J. Brimhall, as Co-Trustee of the Gale and Sherie Brimhall Family trust, and Dated December 22, 1998, Member and Sherie H. Brimhall, as Co-Trustee of the Gale and Sherie Brimhall Family trust, Dated December 22, 1998, Member) for water and wastewater services. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

CACHE Investments, L.L.C. an Arizona limited partnership, would like to have their property included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Please contact Bob Yost you have questions at 480 988-3550.

Very truly yours,

By: 
Gale J. Brimhall, as Co-Trustee of the Gale and Sherie Brimhall Family trust,
Dated December 22, 1998, Member

By: 
Sherie H. Brimhall, as Co-Trustee of the Gale and Sherie Brimhall Family trust,
Dated December 22, 1998, Member



Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service

Please accept this letter as a request for service from Langley Farm Investment, LLC (Steve Rees, Manager) for water and wastewater service. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Langley Farm Investments would like to be included in you next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Pleas contact Steve Rees if you have any questions at (480) 633-0999.

Sincerely,

Steve Rees, Manager

Harvard Capital Limited Partnership

1819 East Southern Avenue
Suite B-10
Mesa, Arizona 85204
(480) 505-9500
Fax (480) 505-9501

August 4, 2005

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 North 19th Avenue Suite 210
Phoenix, Arizona 85027

Re: Water and Wastewater

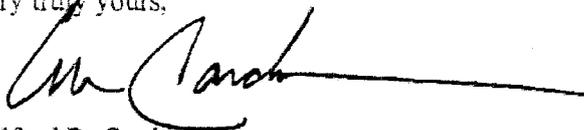
Dear Ms. Liles

Please accept this letter as a request from the following entity: Harvard Capital, LP, an Arizona limited partnership, for water and wastewater services. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area development to serve single family residential homes.

Harvard Capital, LP, an Arizona limited partnership, would like to have its property included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Please contact Wilford R. Cardon if you have questions at 480 926-3200.

Very truly yours,



Wilford R. Cardon, Manager
Harvard Capital, LP

DART PROPERTIES, LLC PO BOX 159, SACATON, AZ 85247

Ms. Cindy Liles
Santa Cruz Water Company, LLC
Palo Verde Utilities Company, LLC
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

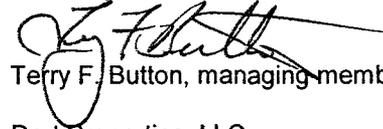
RE: Water and Wastewater Services Southeast of the City of Maricopa

Dear Ms. Liles:

Please accept this letter as a request from Dart Properties, LLC ("Owner") for water and wastewater services to approximately 618 acres located Southeast of the City of Maricopa, Arizona specifically referred to as the Southeast Expansion Area. Owner would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utilities Company.

Please contact me with if you have any questions. I can be reached at (520) 418-3642.

Sincerely,



Terry F. Button, managing member

Dart Properties, LLC.

October 5, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

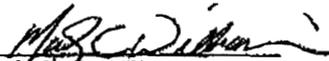
RE: Water and Wastewater Service for approximately 30 acres at the NWC of Woodruff Road and Montgomery Road in Pinal County, Arizona. Pinal County Tax Parcel Numbers: 502-38-009, 502-38-013A, 502-38-013B.

Please accept this letter as a request for service from CRW Holdings I, LLC and Mark C. Williams (Managing Member) and Matt Ladendorf (Member) for water and wastewater service to approximately 30 acres at the NWC of Woodruff Road and Montgomery Road.

We would like this 30 acres to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact me if you have any questions. I can be reached at 480-449-1667.

Sincerely,


Mark C. Williams
Managing Member
CRW Holdings I, LLC


Matt Ladendorf
Member
CRW Holdings I, LLC

October 5, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service for approximately 40 acres at the NWC of Val Vista Road and Montgomery Road in Pinal County, Arizona. Pinal County Tax Parcel Number: 502-32-009D.

Please accept this letter as a request for service from Val Vista & Montgomery, LLC and Mark C. Williams (Managing Member) for water and wastewater service to approximately 40 acres at the NWC of Val Vista Road and Montgomery Road.

We would like this 40 acres to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact me if you have any questions. I can be reached at 480-449-1667.

Sincerely,


Mark C. Williams
Managing Member
Val Vista & Montgomery, LLC

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

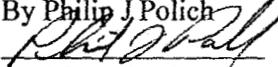
RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Gallup Financial, LLC for water and wastewater services to approximately 2700 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Gallup Financial, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Gallup Financial LLC
An Arizona Limited Liability Company.

By 
Its: Managing Member

**EXHIBIT A
LEGAL DESCRIPTION
POLICH PARCELS
WATER AND SEWER SERVICE AGREEMENT**

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 24,
TOWNSHIP 5 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN,
PINAL COUNTY, ARIZONA.

THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 5 SOUTH, RANGE 5 EAST,
OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19,
TOWNSHIP 5 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN,
PINAL COUNTY, ARIZONA.

THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 29, TOWNSHIP 5 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER
MERIDIAN, PINAL COUNTY, ARIZONA.

THE SOUTH 1878.00 FEET OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 5 EAST OF
THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.
EXCEPT THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST
QUARTER OF SAID SECTION 31.

THE NORTH HALF OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 5 EAST OF THE
GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

THE NORTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 5 EAST OF THE GILA
AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

RECEIVED

DEC 07 2005

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Gallup Financial, LLC for water and wastewater services to approximately 2700 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Gallup Financial, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Gallup Financial LLC
An Arizona Limited Liability Company.

By Philip J Polich

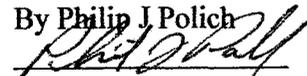

Its: Managing Member

EXHIBIT A

INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

Legal Description

Grande Valley

Parcel No. 1:

A portion of Sections 29,30, and 31, Township 5 South, Range 5 East of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

COMMENCING at the Northwest corner of said Section 30, the TRUE POINT OF BEGINNING;

THENCE North 89 degrees 39 minutes 12 seconds East, a distance of 2662.57 feet to the North quarter corner of said section 30;

THENCE North 89 degrees 39 minutes 11 seconds East, a distance of 2651.77 feet to the Northeast corner of said Section 30 said point also being the Northwest corner of said Section 29;

THENCE South 89 degrees 56 minutes 22 seconds East, along the North line of said Section 29, a distance of 1330.23 feet;

THENCE South 00 degrees 02 minutes 39 seconds West, a distance of 1318.35 feet;

THENCE South 89 degree 56 minutes 46 seconds East, a distance of 1217.90 feet;

THENCE South 00 degrees 04 minutes 18 seconds West, a distance of 1318.14 feet;

THENCE South 00 degrees 05 minutes 45 seconds West, a distance of 2637.11 feet to a point on the South line of said Section 29;

THENCE North 89 degrees 57 minutes 34 seconds West, a distance of 2542.75 feet to the Southwest corner of said Section 29, said point also being the Northeast corner of said Section 31;

THENCE South 00 degrees 10 minutes 05 seconds West, along the West line of said Section 31, a distance of 198.73 feet to a point on the Northerly right-of-way line of the Maricopa-Casa Grande Highway;

THENCE North 53 degrees 48 minutes 11 seconds West, along said right-of-way line, a distance of 6582.80 feet to a point on the West line of said Section 30;

THENCE North 00 degrees 00minutes 39 seconds East, a distance of 1553.34 feet to the TRUE POINT OF BEGINNING.

EXCEPT an undivided ½ interest of all minerals as reserved in Deed recorded June 17, 1985 in Docket 1293, Page 316 and Docket 779, Page 468.

Parcel No. 2:

A portion of Sections 30 and 31, Township 5 South, Range 5 East, and Section 25, Township 5 South, Range 4 East of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

COMMENCING at the Northwest corner of said Section 31, said point also being the Southwest corner of said Section 30, the TRUE POINT OF BEGINNING;

THENCE North 00 degrees 03 minutes 35 seconds West, a distance of 418.83 feet to the Southeast corner of said Section 25;

THENCE North 88 degrees 21 minutes 52 seconds West, along the South line of said Section 25, a distance of 1000.41 feet;

THENCE North 00 degrees 00 minutes 04 seconds West, a distance of 3501.85 feet;

THENCE South 53 degrees 48 minutes 11 seconds East, a distance of 3495.30 feet;

THENCE South 00 degrees 10 minutes 05 seconds West, a distance of 5274.90 feet;

THENCE South 89 degrees 35 minutes 00 seconds West, a distance of 1805.25 feet to a point on the West line of said Section 31;

THENCE North 00 degrees 05 minutes 28 seconds West, a distance of 760.64 feet to the West quarter corner of said Section 31;

THENCE North 00 degrees 02 minutes 13 seconds East, a distance of 2642.33 feet to the TRUE POINT OF BEGINNING.

Parcel No. 3:

A portion of Sections 30 and 31, Township 5 South, Range 5 East of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

COMMENCING at the Northeast corner of said Section 31, said point also being the Southeast corner of said Section 30;

THENCE South 00 degrees 10 minutes 05 seconds West, along the East line of said Section 31, a distance of 705.70 feet to the TRUE POINT OF BEGINNING;

THENCE continuing South 00 degrees 10 minutes 05 seconds West, a distance of 1929.64 feet to the East quarter corner of said Section 31;

THENCE South 00 degrees 03 minutes 41 seconds West, along the East line of the Southeast quarter of said Section 31, a distance of 765.61 feet;

THENCE South 89 degrees 35 minutes 00 seconds West, a distance of 3499.32 feet;

THENCE North 00 degrees 10 minutes 05 seconds East, a distance of 5274.90 feet;

THENCE South 53 degrees 48 minutes 11 seconds East, a distance of 4325.00 feet to the TRUE POINT OF BEGINNING.

Tax Assessor Parcel Numbers:

502-38-004A	502-38-004B	502-38-005A
502-38-005B	502-38-0120	502-39-002A
502-39-002B	502-39-004B	502-39-004C
502-39-004D	503-29-0010	502-25-010B
502-25-010C	502-25-010D	

October 5, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 N. 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Service for approximately 160 acres at the SWC of Woodruff Road and Montgomery Road in Pinal County, Arizona (Pinal County Tax Parcel Number 502-25-009).

Please accept this letter as a request for service from Williams Family Revocable Trust, UTA; Lora G. Williams Special Trust, UTA; Lora A. Williams Trust, UTA, and Mark C. Williams Revocable Trust, UTA (Owners) and Mark C. Williams (Trustee) for water and wastewater service to approximately 160 acres at the SWC of Woodruff Road and Montgomery Road.

We would like this 160 acres to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Please contact me if you have any questions. I can be reached at 480-449-1667.

Sincerely,


Mark C. Williams
Trustee

September 9, 2005

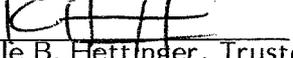
Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Sacaton BL LLC for water and wastewater services to approximately 280 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Sacaton BL LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Sacaton BL LLC
An Arizona Limited Liability Company
By Brown & Bain, P.A. Retirement
Savings Plan and Trust
By 
Kyle B. Hettinger, Trustee

Legal Descriptions

The East half of the Southwest quarter of Section 17, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian.

The West half of the Southwest Quarter of Section 17, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian.

The West half of the Southeast Quarter of Section 17, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian.

The Northeast quarter of the Southeast quarter of Section 17, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian.

September 9, 2005

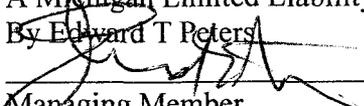
Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

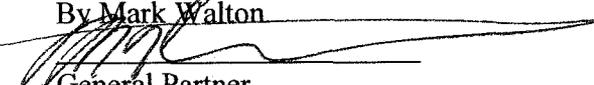
RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Trading Post Road, LLC and DLW Associates Limited Partnership for water and wastewater services to approximately 60 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Trading Post Road LLC and DLW Limited Partnership would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Trading Post Road LLC
A Michigan Limited Liability Company
By Edward T Peters

Managing Member

DLW Associates LP
A Michigan Limited Partnership
By Mark Walton

General Partner

**LEGAL DESCRIPTION
FOR
TRADING POST ROAD, LLC**

THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER TOGETHER
WITH THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 5
EAST, GILA & SALT RIVER BASE MERIDIAN, PINAL COUNTY, ARIZONA

September 9, 2005

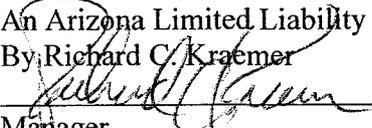
Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Chartwell Casa Grande 40 LLC for water and wastewater services to approximately 40 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Chartwell Casa Grande 40 LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Chartwell Casa Grande 40 LLC
An Arizona Limited Liability Company
By: Richard C. Kraemer

Manager

**LEGAL DESCRIPTION
FOR
CHARTWELL, LLC**

**THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20,
TOWNSHIP 5 SOUTH, RANGE 5 EAST, GILA & SALT RIVER BASE MERIDIAN,
PINAL COUNTY, ARIZONA**

September 9, 2005

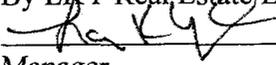
Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Casa Grande Montgomery 240 Limited Partnership LLLP for water and wastewater services to approximately 240 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Casa Grande Montgomery 240 Limited Partnership LLLP would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Casa Grande Montgomery 240 Limited Partnership LLLP
An Arizona Limited Partnership
By LKY Real Estate LLC

Manager

**LEGAL DESCRIPTION
FOR
CASA GRANDE MONTGOMERY 240**

**THE NORTHEAST QUARTER TOGETHER WITH THE EAST HALF OF THE
NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 5
EAST, GILA & SALT RIVER BASE MERIDIAN, PINAL COUNTY, ARIZONA**

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

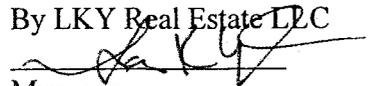
RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from CG 215 Limited Partnership LLLP for water and wastewater services to approximately 215 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

CG 215 Limited Partnership LLLP would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

CG 215 Limited Partnership LLLP
An Arizona Limited Partnership
By LKY Real Estate LLC


Manager

**LEGAL DESCRIPTION
FOR
CG215 LP**

THE EAST HALF OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 4 EAST, GILA & SALT RIVER BASE MERIDIAN, PINAL COUNTY, ARIZONA, TOGETHER WITH THAT PORTION OF THE NORTHWEST QUARTER OF SAID SECTION 25 LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY OF THE MARICOPA-CASA GRANDE HIGHWAY, EXCEPT THE EASTERLY 1000 FEET OF SAID SECTION 25 LYING SOUTHERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD RIGHT-OF-WAY.

September 9, 2005

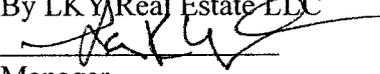
Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Montgomery 156 Limited Partnership LLLP for water and wastewater services to approximately 156 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Montgomery 156 Limited Partnership LLLP would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Montgomery 156 Limited Partnership LLLP
An Arizona Limited Partnership
By LKY Real Estate LLC

Manager

**LEGAL DESCRIPTION
FOR
MONTGOMERY 156**

LOTS 3 AND 4 AND THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 6 SOUTH, RANGE 5 EAST, GILA & SALT RIVER BASE MERIDIAN, PINAL COUNTY, ARIZONA, EXCEPT THAT PORTION OF THE MARICOPA CASA GRANDE HIGHWAY RIGHT-OF-WAY AND THE ADJACENT UNION PACIFIC RAILROAD RIGHT-OF-WAY WITHIN SAID LOTS 3 AND 4.

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

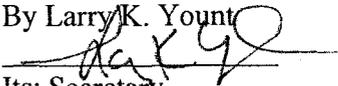
Dear Ms. Liles,

Please accept this letter as a request for service from Robin R. Yount, LTD. for water and wastewater services to approximately 40 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Robin R. Yount, LTD. would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Robin R. Yount, LTD.

By Larry K. Yount



Its: Secretary

**LEGAL DESCRIPTION
FOR
ROBIN R YOUNT, LTD**

**THE WEST HALF OF THE WEST HALF OF THE SOUTHEAST QUARTER OF
SECTION 19, TOWNSHIP 5 SOUTH, RANGE 5 EAST, GILA & SALT RIVER BASE
& MERIDIAN, PINAL COUNTY, ARIZONA.**

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from RRY Casa Grande 320 Limited Partnership LLLP for water and wastewater services to approximately 320 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

RRY Casa Grande 320 Limited Partnership LLLP would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

RRY Casa Grande 320 Limited Partnership LLLP
An Arizona Limited Partnership
By LKY Real Estate LLC

Manager

**LEGAL DESCRIPTION
FOR
RRY CASA GRANDE 320**

**THE NORTH HALF OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 5 EAST,
GILA & SALT RIVER BASE & MERIDIAN, PINAL COUNTY, ARIZONA.**

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

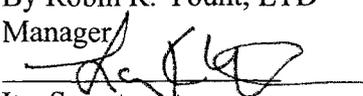
RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from RRY Real Estate, LLC for water and wastewater services to approximately 40 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

RRY Real Estate, LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

RRY Real Estate, LLC
An Arizona Limited Liability Company
By Robin R. Yount, LTD
Manager


Its: Secretary

**LEGAL DESCRIPTION
FOR
RRY REAL ESTATE**

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24,
TOWNSHIP 5 SOUTH, RANGE 4 EAST, GILA & SALT RIVER BASE &
MERIDIAN, PINAL COUNTY, ARIZONA.

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from SVVM 80 Limited Partnership LLLP for water and wastewater services to approximately 80 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

SVVM 80 Limited Partnership LLLP would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

SVVM 80 Limited Partnership LLLP
An Arizona Limited Partnership
By LKY Real Estate LLC


Manager

**LEGAL DESCRIPTION
FOR
SVVM 80**

THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 29,
TOWNSHIP 5 SOUTH, RANGE 5 EAST, GILA & SALT RIVER BASE MERIDIAN,
PINAL COUNTY, ARIZONA.

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

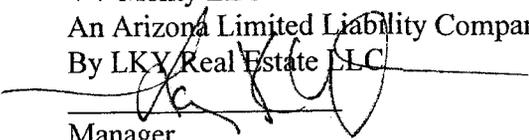
RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from VV Monty LLC for water and wastewater services to approximately 60 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

VV Monty LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

VV Monty LLC
An Arizona Limited Liability Company
By LKY/Real Estate LLC


Manager

**LEGAL DESCRIPTION
FOR
VV MONTY**

**THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER TOGETHER
WITH THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 5 EAST,
GILA & SALT RIVER BASE MERIDIAN, PINAL COUNTY, ARIZONA**

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from 120 Townsend LLC for water and wastewater services to approximately 200 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

120 Townsend LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

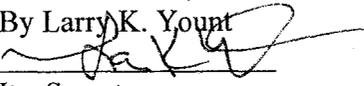
120 Townsend LLC
An Arizona limited liability company
Robin R Yount, LTD.
By Larry K. Yount

Its: Secretary

EXHIBIT A

INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The East half of the Northwest quarter and the Northwest quarter of the Northeast quarter of Section 24, Township 5 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

Along with:

The North half of the West half of the Southeast quarter of Section 24, Township 5 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

Along with:

The South half of the Northwest quarter of the Southwest quarter and the North half of the Southwest quarter of the Southwest quarter of Section 20, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from NS 120 Limited Partnership LLLP for water and wastewater services to approximately 120 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

NS 120 Limited Partnership LLLP would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

NS 120 Limited Partnership LLLP
An Arizona Limited Partnership
By LKY Real Estate LLC


Manager

EXHIBIT A

INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The Southwest quarter of the Northeast quarter and the Northeast quarter of the Southeast quarter of Section 24, Township 5 South, Range 4 East, of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

Along with:

The Southeast quarter of the Northeast quarter of Section 24, Township 5 South, Range 4 East, of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

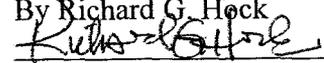
Dear Ms. Liles,

Please accept this letter as a request for service from Richard and Dana LLC for water and wastewater services to approximately 20 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Richard and Dana LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Richard and Dana LLC
An Arizona Limited Liability Company

By Richard G. Hock



Manager

EXHIBIT A

INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The North half of the South half of the West half of the Southeast quarter of Section 24, Township 5 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

Along with:

The South half of the Southwest quarter of the Southwest quarter of Section 20, Township 5 South, Range 5 East, of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

September 9, 2005

Ms. Cindy Liles
Vice President and CEO
Global Water Management, LLC
22601 North 19th Avenue, Suite 210
Phoenix, AZ 85027

RE: Water and Wastewater Services

Dear Ms. Liles,

Please accept this letter as a request for service from Bruce and Karen LLC for water and wastewater services to approximately 20 acres, more particularly described as Exhibit A attached hereto. It is our intention to continue to pursue the preliminary platting, rezoning and development of this planned area, in order to serve single family residential homes, multi-family residential homes, and/or commercial uses.

Bruce and Karen LLC would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

Bruce and Karen LLC
An Arizona Limited Liability Company
By Bruce H. Combe

Manager

EXHIBIT A

INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The South half of the South half of the West half of the Southeast quarter of Section 24, Township 5 South, Range 4 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

Along with:

The North half of the Northwest quarter of the Southwest quarter of Section 20, Township 5 South, Range 5 East, of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

BLEVINS FARMS

3345 N FUQUA RD. STANFIELD, AZ 85272

480-883-3131

520-524-3671

520-424-3673(FAX)

December 16, 2005

Ms. Cindy Liles
Vice President & CEO
Global Water Management, LLC
Dear Valley Financial Center
22601 North 19th Ave, Suite 210
Phx, AZ 85027

RE: Water and Wastewater Service for approximately 160 acres at Northeast Corner of Barnes and Stanfield roads the legal description of this property is NE of SEC 7-6s-4E

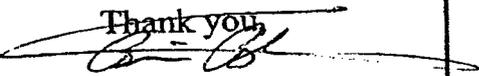
Dear Ms Liles,

Please accept this letter as a request for service from Brian Blevins owner and manager of this property for service of water and wastewater to 160 acres at the SW corner of Barnes and Stanfield roads it is our intent to pursue and sell this 160 acres to a future developer. The legal description of this property is NE of Sec 7-6S-4E. I would like to be included in your next available expansion of service areas for Santa Cruz Water Company and Palo Verde Utility Company.

I also understand that Global Water Resources, LLC (Global") is in the process of filing an application for an amendment to the CAAG 208 Area wide plan for its subsidiary Palo Verde Utility Company ("PVUC") in the vicinity that it is located southeast of the City of Maricopa, specifically in the area known as the Southeast Expansion Area. We do not oppose a

filing by PVUC to expand its CAAG to 208 boundaries over the property described above. We desire however, to be included in the next available expansion of the service areas of the property listed above. For any information needed in the future please contact Scott Blevins at 602 339 4550.

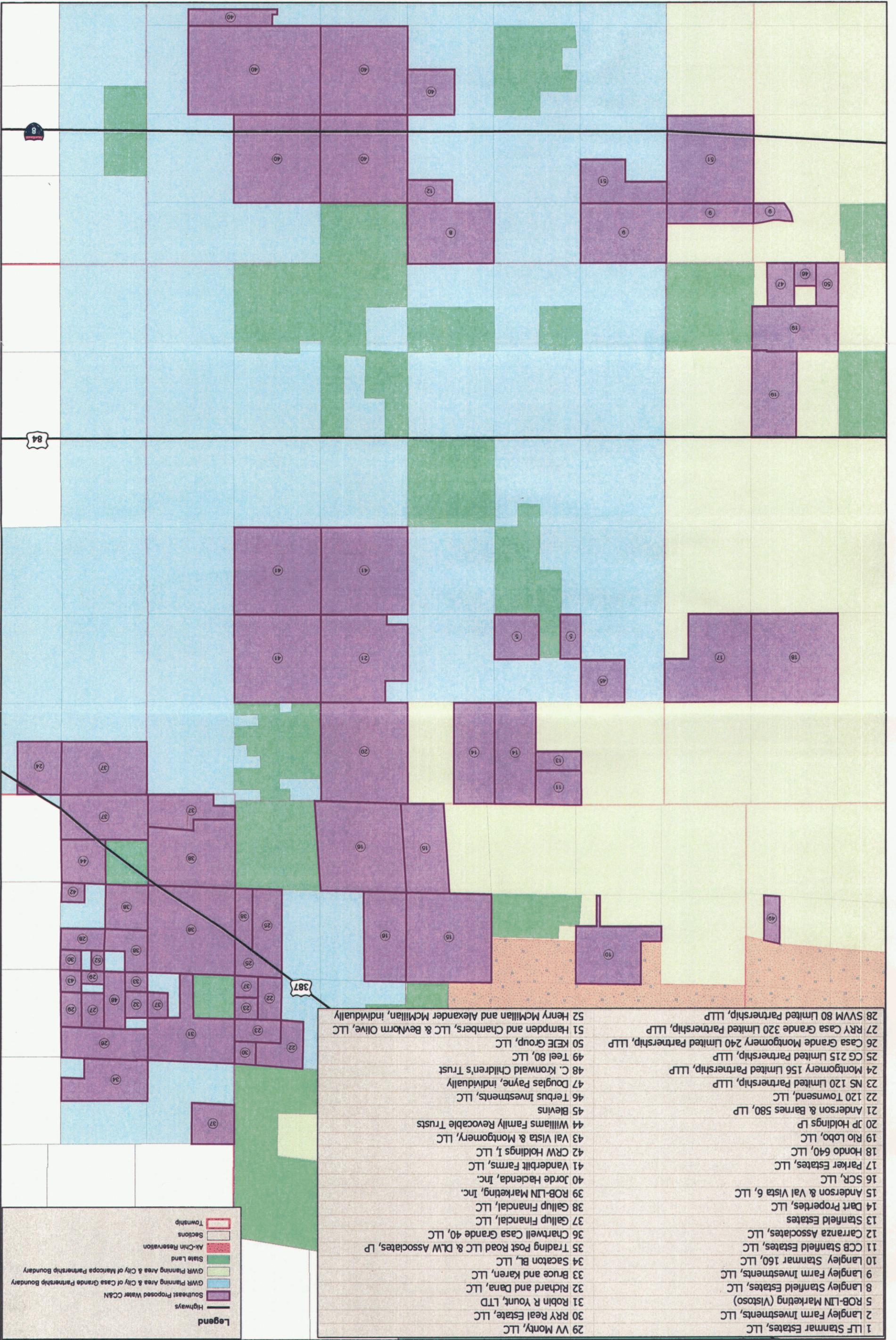
Thank you,



Brain Blevins
Managing Partner
Blevins Farms

3

SCWC Proposed Southeast CC&N Service Area



Legend

- Highways
- Southeast Proposed Water CC&N
- GWR Planning Area & City of Casa Grande Partnership Boundary
- GWR Planning Area & City of Maricopa Partnership Boundary
- State Land
- Ak-Chin Reservation
- Sections
- Township

- 1 LTF Stanmar Estates, LLC
- 2 Langley Farm Investments, LLC
- 5 ROB-LIN Marketing (Vistoso)
- 8 Langley Stanfield Estates, LLC
- 9 Langley Farm Investments, LLC
- 10 Langley Stanmar 160, LLC
- 11 CCB Stanfield Estates, LLC
- 12 Carranza Associates, LLC
- 13 Stanfield Estates
- 14 Dart Properties, LLC
- 15 Anderson & Val Vista 6, LLC
- 16 SCR, LLC
- 17 Parker Estates, LLC
- 18 Hondo 640, LLC
- 19 Rio Lobo, LLC
- 20 JP Holdings LP
- 21 Anderson & Barnes 580, LP
- 22 120 Townsend, LLC
- 23 NS 120 Limited Partnership, LLP
- 24 Montgomery 156 Limited Partnership, LLP
- 25 CG 215 Limited Partnership, LLP
- 26 Casa Grande Montgomery 240 Limited Partnership, LLP
- 27 RRY Casa Grande 320 Limited Partnership, LLP
- 28 SVM 80 Limited Partnership, LLP
- 29 V Monty, LLC
- 30 RRY Real Estate, LLC
- 31 Robin R Yount, LTD
- 32 Richard and Dana, LLC
- 33 Bruce and Karen, LLC
- 34 Sacaton BL, LLC
- 35 Trading Post Road LLC & DLW Associates, LP
- 36 Charwell Casa Grande 40, LLC
- 37 Gallup Financial, LLC
- 38 Gallup Financial, LLC
- 39 ROB-LIN Marketing, Inc.
- 40 Jorde Hacenda, Inc.
- 41 Vanderbilt Farms, LLC
- 42 CRW Holdings I, LLC
- 43 Val Vista & Montgomery, LLC
- 44 Williams Family Revocable Trusts
- 45 Blevins
- 46 Terbus Investments, LLC
- 47 Douglas Payne, individually
- 48 C. Kronwald Children's Trust
- 49 Teel 80, LLC
- 50 KEJE Group, LLC
- 51 Hampden and Chambers, LLC & BevNorm Olive, LLC
- 52 Henry McMillan and Alexander McMillan, individually

**SOUTHEAST WATER EXPANSION LEGAL
DESCRIPTION**

PAGE 1 OF 4

TOWNSHIP 5 SOUTH, RANGE 3 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 25.

TOWNSHIP 5 SOUTH, RANGE 4 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE EAST HALF OF SECTION 24, TOGETHER WITH THE EAST HALF OF THE
NORTHWEST QUARTER THEREOF.

THE EAST HALF OF SECTION 25.

THE WEST HALF OF SECTION 26, EXCEPT THE NORTHERLY 700 FEET THEREOF.

SECTION 27.

THE WEST 950 FEET OF SECTION 28, EXCEPT THE NORTH 750 FEET THEREOF, AND
EXCEPT THE SOUTH 1930 FEET THEREOF.

THE NORTH 3400 FEET OF SECTION 29, EXCEPT THE NORTH 750 FEET THEREOF,
AND EXCEPT THE WEST 850 FEET OF THE NORTH 2640 FEET THEREOF; TOGETHER
WITH THE EAST 350 FEET OF THE SOUTH 1930 FEET OF SAID SECTION 29.

THE SOUTH 750 FEET OF THE EAST 400 FEET OF THE NORTHEAST QUARTER OF
SECTION 30.

THE EAST 350 FEET OF THE NORTH 750 FEET OF THE NORTHEAST QUARTER OF
SECTION 32.

THE EAST HALF OF SECTION 34.

SECTION 35.

TOWNSHIP 5 SOUTH, RANGE 5 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE SOUTH HALF OF SECTION 17, EXCEPT THE SOUTHEAST QUARTER OF THE
SOUTHEAST QUARTER THEREOF.

THE NORTHWEST QUARTER OF SECTION 18.

THE NORTH HALF OF SECTION 19, TOGETHER WITH THE WEST HALF OF THE
WEST HALF OF THE SOUTHEAST QUARTER, AND TOGETHER WITH THE
NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 19.

SECTION 20, EXCEPT THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, AND EXCEPT THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND EXCEPT THE EAST HALF OF THE SOUTHWEST QUARTER.

SECTION 29, EXCEPT THE NORTH HALF OF THE SOUTHEAST QUARTER THEREOF, AND EXCEPT THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND EXCEPT THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, AND EXCEPT THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER, AND EXCEPT THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, AND EXCEPT THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER.

SECTION 30.

SECTION 31, EXCEPT THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER.

SECTION 32, EXCEPT THE NORTHWEST QUARTER.

TOWNSHIP 6 SOUTH, RANGE 3 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

SECTION 11.

SECTION 12, EXCEPT THE EAST HALF OF THE SOUTHEAST QUARTER.

THE EAST HALF OF SECTION 26.

SECTION 35, EXCEPT THE SOUTHEAST QUARTER, AND EXCEPT THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF.

TOWNSHIP 6 SOUTH, RANGE 4 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

SECTION 3.

THE WEST HALF OF SECTION 4.

THE EAST HALF OF SECTION 5, TOGETHER WITH THE NORTHWEST QUARTER OF SAID SECTION 5.

THE SOUTH HALF OF SECTION 8, EXCEPT THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF.

SECTION 10, EXCEPT THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER,
AND EXCEPT THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE
SOUTHWEST QUARTER THEREOF.

SECTION 11.

TOWNSHIP 6 SOUTH, RANGE 5 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE NORTH HALF OF SECTION 6.

TOWNSHIP 7 SOUTH, RANGE 3 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THAT PORTION OF THE SOUTH HALF OF SECTION 1 KNOWN AS ANZONE ACRES,
UNIT 2, AS RECORDED IN BOOK 11, PAGE 48, RECORDS OF THE PINAL COUNTY
RECORDER, CONSISTING OF LOTS 17 THRU 23 INCLUSIVE.

TOWNSHIP 7 SOUTH, RANGE 4 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

SECTION 3.

SECTION 5.

THE SOUTH HALF OF THE SOUTH HALF OF SECTION 6.

SECTION 7.

THE NORTH HALF OF THE NORTH HALF OF SECTION 8, TOGETHER WITH THE
SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 8.

THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 10.

SECTION 11.

THE WEST HALF OF SECTION 12. (NOTE: SECTION 12 IS TWO (2) MILES WIDE.)

THE WEST HALF OF THE EAST HALF OF SECTION 13, TOGETHER WITH THE WEST
HALF OF SECTION 13. (NOTE: SECTION 13 IS TWO (2) MILES WIDE, THEREFORE
THIS PARCEL IS 1.50 MILES WIDE (EAST-WEST).)

SECTION 14.

THE NORTHEAST QUARTER OF SECTION 15.

THE NORTH HALF OF THE NORTH HALF OF THE WEST HALF OF THE EAST HALF
OF SECTION 24. (NOTE: SECTION 24 IS TWO (2) MILES WIDE.)

THE NORTH HALF OF THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF SECTION 24. (NOTE: SECTION 24 IS TWO (2) MILES WIDE.)

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 24; THENCE EASTERLY ALONG THE EAST-WEST MIDSECTION LINE A DISTANCE OF 2640 FEET; THENCE NORTH 1320 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 500 FEET; THENCE WEST 232 FEET; THENCE SOUTH 500 FEET; THENCE EAST 232 FEET TO THE TRUE POINT OF BEGINNING.

END

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The West half of the Southeast quarter of Section 35, Township 6 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The Southeast quarter of the Southwest quarter of the Southeast quarter of Section 35, Township 6 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The East half of the Southwest quarter of Section 20, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

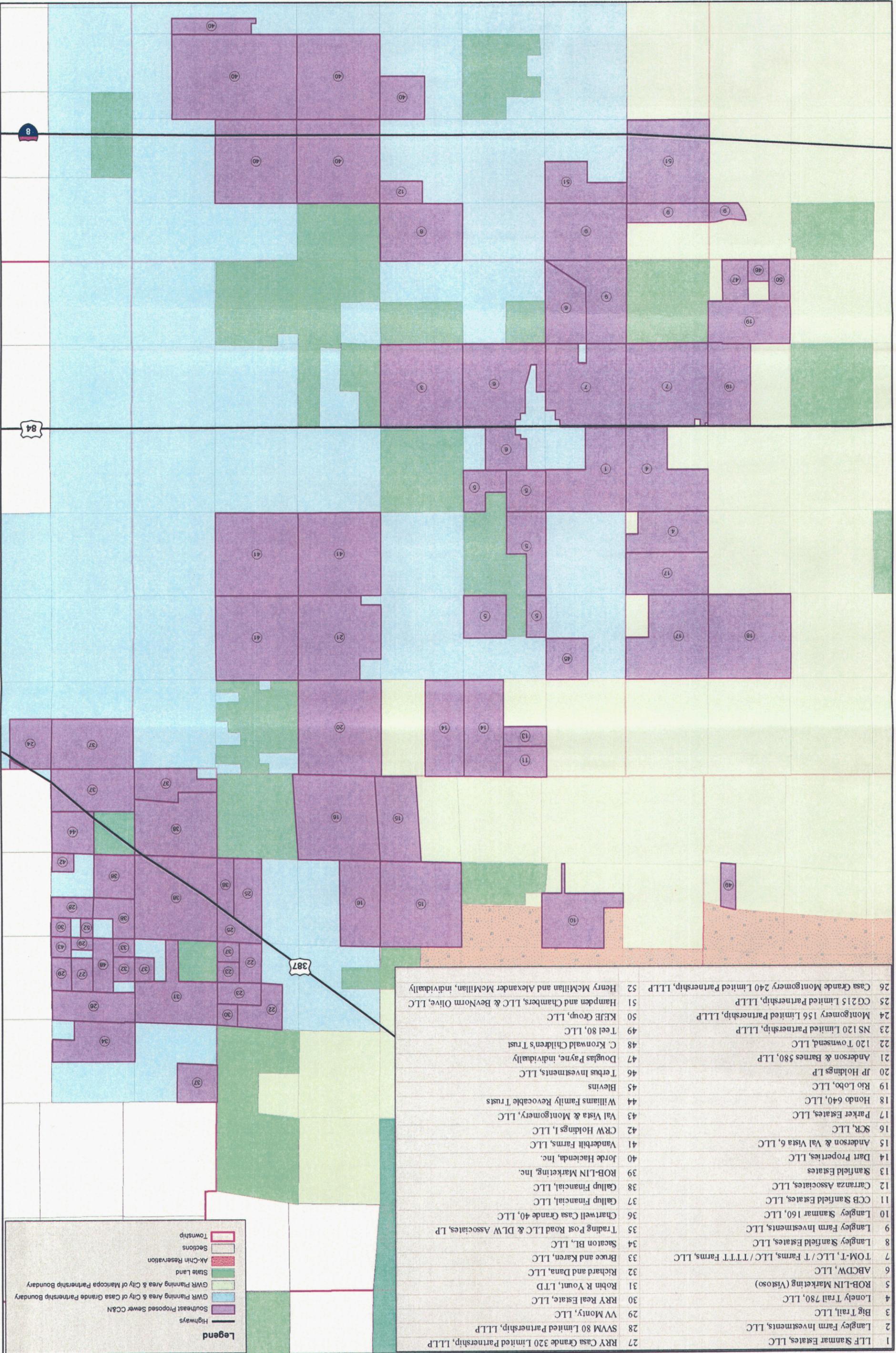
EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The Northeast quarter of Section 7, Township 6 South, Range 4 East, of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

4

PVUC Proposed Southeast CC&N Service Area



**SOUTHEAST SANITARY SEWER EXPANSION LEGAL
DESCRIPTION**

PAGE 1 OF 5

TOWNSHIP 5 SOUTH, RANGE 3 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 25.

TOWNSHIP 5 SOUTH, RANGE 4 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE EAST HALF OF SECTION 24, TOGETHER WITH THE EAST HALF OF THE
NORTHWEST QUARTER THEREOF.

THE EAST HALF OF SECTION 25.

THE WEST HALF OF SECTION 26, EXCEPT THE NORTHERLY 700 FEET THEREOF.

SECTION 27.

THE WEST 950 FEET OF SECTION 28, EXCEPT THE NORTH 750 FEET THEREOF, AND
EXCEPT THE SOUTH 1930 FEET THEREOF.

THE NORTH 3400 FEET OF SECTION 29, EXCEPT THE NORTH 750 FEET THEREOF,
AND EXCEPT THE WEST 850 FEET OF THE NORTH 2640 FEET THEREOF; TOGETHER
WITH THE EAST 350 FEET OF THE SOUTH 1930 FEET OF SAID SECTION 29.

THE SOUTH 750 FEET OF THE EAST 400 FEET OF THE NORTHEAST QUARTER OF
SECTION 30.

THE EAST 350 FEET OF THE NORTH 750 FEET OF THE NORTHEAST QUARTER OF
SECTION 32.

THE EAST HALF OF SECTION 34.

SECTION 35.

TOWNSHIP 5 SOUTH, RANGE 5 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

THE SOUTH HALF OF SECTION 17, EXCEPT THE SOUTHEAST QUARTER OF THE
SOUTHEAST QUARTER THEREOF.

THE NORTHWEST QUARTER OF SECTION 18.

THE NORTH HALF OF SECTION 19, TOGETHER WITH THE WEST HALF OF THE
WEST HALF OF THE SOUTHEAST QUARTER, AND TOGETHER WITH THE
NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 19.

SECTION 20, EXCEPT THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, AND EXCEPT THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND EXCEPT THE EAST HALF OF THE SOUTHWEST QUARTER.

SECTION 29, EXCEPT THE NORTH HALF OF THE SOUTHEAST QUARTER, AND EXCEPT THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND EXCEPT THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, AND EXCEPT THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER, AND EXCEPT EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, AND EXCEPT THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER.

SECTION 30.

SECTION 31, EXCEPT THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER.

SECTION 32, EXCEPT THE NORTHWEST QUARTER.

TOWNSHIP 6 SOUTH, RANGE 3 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

SECTION 11.

SECTION 12, EXCEPT THE EAST HALF OF THE SOUTHEAST QUARTER.

SECTION 13, EXCEPT THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER THEREOF.

SECTION 24, EXCEPT THE SOUTHWEST QUARTER THEREOF.

SECTION 25.

THE EAST HALF OF SECTION 26.

SECTION 35, EXCEPT THE SOUTHEAST QUARTER, AND EXCEPT THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF.

TOWNSHIP 6 SOUTH, RANGE 4 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

SECTION 3.

THE WEST HALF OF SECTION 4.

THE EAST HALF OF SECTION 5, TOGETHER WITH THE NORTHWEST QUARTER OF SAID SECTION 5.

THE SOUTH HALF OF SECTION 8, EXCEPT THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF.

SECTION 10, EXCEPT THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, AND EXCEPT THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER THEREOF.

SECTION 11.

SECTION 14.

SECTION 15.

THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 17, TOGETHER WITH THE SOUTHWEST QUARTER OF SAID SECTION 17.

SECTION 19, EXCEPT THE SOUTHEAST QUARTER, AND EXCEPT THE SOUTH 410.3 FEET OF THE WEST HALF, AND EXCEPT THE FOLLOWING: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 19; THENCE NORTH ALONG THE NORTH-SOUTH MID-SECTION LINE A DISTANCE OF 410.3 FEET TO THE TRUE POINT OF BEGINNING; THENCE WESTERLY 659.8 FEET; THENCE NORTHERLY 620 FEET; THENCE EASTERLY 230 FEET; THENCE SOUTHERLY 130 FEET; THENCE EASTERLY 260 FEET; THENCE SOUTHERLY 460 FEET; THENCE EASTERLY 169.8 FEET; THENCE SOUTHERLY 29.7 FEET TO THE TRUE POINT OF BEGINNING.

THE NORTH HALF OF SECTION 20, EXCEPT THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER; TOGETHER WITH THE WEST HALF OF THE SOUTHEAST QUARTER; TOGETHER WITH THE EAST HALF OF THE SOUTHWEST QUARTER EXCEPT THE FOLLOWING: BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 20; THENCE NORTH $00^{\circ}35'48''$ EAST TO A POINT WHICH LIES 225.20 FEET SOUTH OF THE CENTER OF THE AFORESAID SOUTHWEST QUARTER OF SECTION 20; THENCE NORTH $89^{\circ}58'58''$ EAST A DISTANCE OF 322.18 FEET; THENCE SOUTH $00^{\circ}05'48''$ WEST A DISTANCE OF 435.31 FEET; THENCE NORTH $89^{\circ}58'40''$ EAST A DISTANCE OF 238.00 FEET; THENCE SOUTH $00^{\circ}05'48''$ WEST A DISTANCE OF 660.57 FEET, MORE OR LESS, TO THE SOUTH LINE OF SAID SECTION 20; THENCE NORTH $89^{\circ}57'17''$ WEST ALONG THE SOUTH LINE OF SAID SECTION 20 A DISTANCE OF 560 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING.

SECTION 28.

SECTION 29, EXCEPT THE FOLLOWING DESCRIBED PARCEL; COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 29; THENCE NORTH ALONG THE

WEST LINE OF SAID SECTION 29 A DISTANCE OF 535.68 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 89°57'08" EAST A DISTANCE OF 247.86 FEET; THENCE NORTH 00°02'27" WEST A DISTANCE OF 291.15 FEET; THENCE SOUTH 89°48'31" EAST A DISTANCE OF 445.83 FEET; THENCE SOUTH 03°02'38" WEST A DISTANCE OF 1977.58 FEET; THENCE NORTH 89°58'58" EAST A DISTANCE OF 225.00 FEET; THENCE NORTH 54°45'13" EAST A DISTANCE OF 1237.66 FEET; THENCE NORTH 00°12'35" WEST A DISTANCE OF 1758.56 FEET; THENCE NORTH 89°5'01" EAST A DISTANCE OF 161.82 FEET; THENCE NORTH 00°02'39" WEST A DISTANCE OF 660.69 FEET; NORTH 89°58'30" EAST A DISTANCE OF 165.09 FEET; THENCE NORTH 00°02'40" WEST A DISTANCE OF 660.67 FEET, MORE OR LESS TO THE NORTH LINE OF SAID SECTION 29; THENCE NORTH 89°57'17" WEST ALONG THE NORTH LINE OF SAID SECTION 29 A DISTANCE OF 2145 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF SAID SECTION 29; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID SECTION 29 A DISTANCE OF 2105 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING.

SECTION 30, EXCEPT THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER.

SECTION 31.

TOWNSHIP 6 SOUTH, RANGE 5 EAST, G&SRB&M, PINAL COUNTY, ARIZONA
THE NORTH HALF OF SECTION 6.

TOWNSHIP 7 SOUTH, RANGE 3 EAST, G&SRB&M, PINAL COUNTY, ARIZONA
THAT PORTION OF THE SOUTH HALF OF SECTION 1 KNOWN AS ANZONE ACRES, UNIT 2, AS RECORDED IN BOOK 11, PAGE 48, RECORDS OF THE PINAL COUNTY RECORDER, CONSISTING OF LOTS 17 THRU 23 INCLUSIVE.

TOWNSHIP 7 SOUTH, RANGE 4 EAST, G&SRB&M, PINAL COUNTY, ARIZONA

SECTION 3.

SECTION 5.

THE SOUTH HALF OF THE SOUTH HALF OF SECTION 6.

SECTION 7.

THE NORTH HALF OF THE NORTH HALF OF SECTION 8, TOGETHER WITH THE SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 8.

THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 10.

SECTION 11.

THE WEST HALF OF SECTION 12. (NOTE: SECTION 12 IS TWO (2) MILES WIDE.)

THE WEST HALF OF THE EAST HALF OF SECTION 13, TOGETHER WITH THE WEST HALF OF SECTION 13. (NOTE: SECTION 13 IS TWO (2) MILES WIDE, THEREFORE THIS PARCEL IS 1.50 MILES WIDE (EAST-WEST).)

SECTION 14.

THE NORTHEAST QUARTER OF SECTION 15.

THE NORTH HALF OF THE NORTH HALF OF THE WEST HALF OF THE EAST HALF OF SECTION 24. (NOTE: SECTION 24 IS TWO (2) MILES WIDE.)

THE NORTH HALF OF THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF SECTION 24. (NOTE: SECTION 24 IS TWO (2) MILES WIDE.)

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 24; THENCE
EASTERLY ALONG THE EAST-WEST MIDSECTION LINE A DISTANCE OF 2640 FEET;
THENCE NORTH 1320 FEET TO THE TRUE POINT OF BEGINNING; THENCE
CONTINUING NORTH 500 FEET; THENCE WEST 232 FEET; THENCE SOUTH 500 FEET;
THENCE EAST 232 FEET TO THE TRUE POINT OF BEGINNING.

END

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The West half of the Southeast quarter of Section 35, Township 6 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The Southeast quarter of the Southwest quarter of the Southeast quarter of Section 35, Township 6 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The East half of the Southwest quarter of Section 20, Township 5 South, Range 5 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXHIBIT A
INFRASTRUCTURE COORDINATION AGREEMENT

LEGAL DESCRIPTION OF LAND

The Northeast quarter of Section 7, Township 6 South, Range 4 East, of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

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STATE OF ARIZONA



Office of the
CORPORATION COMMISSION

CERTIFICATE OF GOOD STANDING

To all to whom these presents shall come, greeting:

I, Brian C. McNeil, Executive Director of the Arizona Corporation Commission, do hereby certify that

*****SANTA CRUZ WATER COMPANY, LLC*****

a domestic limited liability company organized under the laws of the State of Arizona, did organize on the 15th day of June 2001.

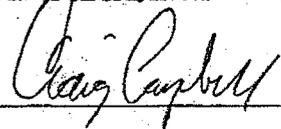
I further certify that according to the records of the Arizona Corporation Commission, as of the date set forth hereunder, the said limited liability company is not administratively dissolved for failure to comply with the provisions of A.R.S. section 29-601 et seq., the Arizona Limited Liability Company Act; and that the said limited liability company has not filed Articles of Termination as of the date of this certificate.

This certificate relates only to the legal existence of the above named entity as of the date issued. This certificate is not to be construed as an endorsement, recommendation, or notice of approval of the entity's condition or business activities and practices.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the Arizona Corporation Commission. Done at Phoenix, the Capital, this 21st Day of November, 2005, A. D.




EXECUTIVE SECRETARY

BY: 

STATE OF ARIZONA



Office of the
CORPORATION COMMISSION

CERTIFICATE OF GOOD STANDING

To all to whom these presents shall come, greeting:

I, Brian C. McNeil, Executive Director of the Arizona Corporation Commission, do hereby certify that

*****PALO VERDE UTILITIES COMPANY, LLC*****

a domestic limited liability company organized under the laws of the State of Arizona, did organize on the 15th day of June 2001.

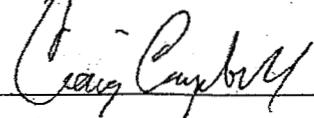
I further certify that according to the records of the Arizona Corporation Commission, as of the date set forth hereunder, the said limited liability company is not administratively dissolved for failure to comply with the provisions of A.R.S. section 29-601 et seq., the Arizona Limited Liability Company Act; and that the said limited liability company has not filed Articles of Termination as of the date of this certificate.

This certificate relates only to the legal existence of the above named entity as of the date issued. This certificate is not to be construed as an endorsement, recommendation, or notice of approval of the entity's condition or business activities and practices.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the Arizona Corporation Commission. Done at Phoenix, the Capital, this 21st Day of November, 2005, A. D.




EXECUTIVE SECRETARY

BY: 



MEMORANDUM

December 20, 2005

**Re: South East Service Area (SESA)
Water and Wastewater Services**

This memorandum defines the service requirements of the South East Service Area ("SESA") from the perspective of water supply and wastewater treatment. This memorandum will assume that the water treatment facilities will be newly constructed in the SESA and will be operated independently of existing Santa Cruz Water Company ("SCWC") infrastructure. For wastewater, flows generated in the SESA will be collected in new infrastructure and conveyed to existing Palo Verde Utilities Company ("PVUC") facilities for treatment.

The proposed SESA is somewhat unique in that the water and sewer certificated areas are not congruent – there is an existing water CC&N administered under Arizona Water. Arizona Water as a policy does not provide wastewater services, and as a result many landowners within Arizona Water's CC&N have approached Global to provide wastewater services. The proposed water CC&N, then, serves 19,373 acres, whereas the wastewater CC&N serves 25,554 acres. The proposed South East Expansion Area has an initial build-out capacity of 67,804 dwelling units for the water services, and 89,437 dwelling units for the wastewater services.

MUNICIPAL SUPPORT

The proposed extension area is in unincorporated Pinal County, but exists within the planning areas of the Cities of Maricopa and Casa Grande. Both municipal entities support and endorse the application, and Global has or will enter into agreements¹ with both Cities to establish the obligations of service. These MOUs identify Global Water Resources as the water and wastewater service provider in defined areas within each City's planning area (not including portions that are served by others under a current CC&N or approved 208 amendments.) Pinal County has also endorsed the agreements.

As a result of these landmark agreements, the Cities receive the benefit of true consolidated regional planning for infrastructure. Exhibit 1 shows these defined service areas.

As part of the MOUs, the Cities are committed to entering into operating or franchise agreements for any infrastructure within their jurisdictional boundaries. Areas outside the jurisdictional boundaries will require application and attainment of a Pinal County franchise agreement, as previously acquired by PVUC and SCWC prior to the City of Maricopa's incorporation. Discussions with Pinal County indicate their support of such a franchise agreement.

WATER SYSTEM

Exhibit 2 shows the requested Water CC&N area. From a water perspective, there are ample resources in the area. Indeed the groundwater table has been increasing in recent years as the conversion from an agricultural demand to a municipal demand has taken place (the conversion

¹ December 6, 2005, a Memorandum of Understanding (MOU) between the City of Maricopa and Global Water Resources was affirmed by the City Council; on December 19, 2005, a similar MOU was affirmed by the City Council of Casa Grande.

of land from an agricultural use to residential consumption represents a three to four fold reduction in the volume of water consumed.) As a former agricultural area, much of the land in the proposed CC&N extension area is encumbered with Irrigation Grandfathered Rights (IGR) which, along with the Pinal AMA groundwater allowance and recharge credits will provide sufficient water rights to SCWC to serve water.

Water supply for the SESA will be assured through the acquisition/annexation of former irrigation supply wells and their conversion to domestic supply wells. A review of the available wells in the service area indicates that there are several high production wells available that would be suitable for the rehabilitation process.

As with all ground-water-based systems, the water quality varies by well and structure. Nitrate, arsenic and fluoride are expected to be discovered in varying concentrations as the evaluation of the water supplies is finalized. SCWC maintains the following strategies with respect to water quality:

1. Identify and rehabilitate high quality wells in the service area. Clearly this represents the least costly (from a capital and operations point of view) option for the SCWC.
2. Development of blending mechanisms and control strategies to blend high quality water with water that is of poorer quality to ensure compliance with the Safe Drinking Water Act and AAC R18-4.
3. Re-screen, deepen or otherwise modify existing wells to isolate areas of high contaminant concentrations or access higher quality water.
4. Provide a surface water treatment option (CAP water is available via the Maricopa-Stanfield Irrigation and Drainage District (MSIDD) canal system which passes many areas in the extension area).
5. Provide slipstream treatment processes which in conjunction with an effective blending plan will meet the requirements.
6. Provide full scale treatment of groundwater.

SCWC remains confident that the water needs of the extension area may be met without treatment, as water quality generally improves moving eastward. SCWC is, however, prepared to install, operate and maintain any treatment processes that may be required.

Well Evaluation Program

Global Water employs a three phased approach to the evaluation of wells:

1. Phase 1 – review of available ADWR and ADEQ data and physical assessment of wells;
2. Phase 2 – analytical sampling of flow rates and quality (depth specific sampling, spinner logs);
3. Phase 3 – rehabilitation. Installation of sanitary seal, re-screening, renewal of electrical control system, installation of SCADA control system, New Source Approval.

During Phase 2 of the evaluation program, a full suite of analytical data is taken from the water including:

Metals
Inorganics
Synthetic Organic Compounds
Volatile Organic Compounds
Nutrients
Bacteriological Analyses
Radiochemical constituents

The results of these analyses will determine the requirements for treatment of the groundwater. The preliminary report is included at Exhibit 3. Table 2 of that Report shows the water quality data available from the ADWR Database and includes a comparison to recent data from SCWC existing potable wells.

For wells approximately 1,000 feet deep, the ranges of constituents of concern are:

Arsenic: 0.008 - 0.018 mg/L
Fluoride: 1.75 - 5.89 mg/L compared to .9 - 3.1 mg/L in the SESA wells
Nitrate: 2.7 - 3.6 mg/L
TDS: 682 - 1100 mg/L compared to 1235 - 1300 mg/L in the SESA wells

For wells approximately 800 feet deep, the ranges of constituents of concern are:

Arsenic: 0.008 - 0.010 mg/L
Fluoride: 0.67 - 1.37 mg/L compared to .5 - 1.5 mg/L in the SESA wells
Nitrate: 7.9 - 11.7 mg/L
TDS: 1233 - 1500 mg/L compared to 393 - 975 mg/L in the SESA wells

As further evaluation is conducted in Phase 2 of the Clear Creek work, water quality data for candidate wells in the SESA will be collected. On completion of the Phase 2 work, wells suitable for inclusion in the potable inventory will be re-habilitated.

Flow Requirements SESA

The minimum acceptable flow standards that will be met are based on the following criteria:

1. Average Day Flow = 250 gallons per unit per day
2. Maximum Day Flow = 495 gallons per unit per day (250 x 1.8 + 10% for potential line losses)
3. Peak Hour Flow = 0.58 GPM per unit (1.7 x Max Day Flow)
4. Fire Flow = 2100 GPM for 4 hours

For the projected build-out scenario (67,804 units), the following are required:

Well Production: \approx 11,800 GPM to satisfy maximum daily demand (Firm Capacity - that is, production capacity with largest well out of production)
Booster Pump Capacity: \approx 39,400 GPM (Peak hour flow)

Identification of Potential Wells to Meet Demand

Clear Creek & Associates has been contracted to execute SCWC's three phase evaluation of all the wells in the area to determine their suitability for conversion to potable water wells. Results of the first phase evaluation are included in Appendix A. From the wells recommended for further evaluation (Phase 2 of the program), over 17,000 gpm has been identified, substantially more than the firm capacity requirement of 11,800 gpm. Additional wells have also been identified and are shown in Exhibit 4. These wells will be evaluated with the three phase approach when additional water is required and/or when development occurs in the southern portion of the CC&N.

Ownership of Wells

For each potential development in the service area, SCWC requires that any wells located in the area to be developed be evaluated to determine whether they meet the criteria for inclusion in the potable or raw water inventory. On the assessment of the wells, SCWC will take ownership of those wells suitable for use. The remaining wells are required to be abandoned in accordance with ADWR abandonment procedures.

With respect to water rights, SCWC requires that all Irrigation Grandfathered Rights (IGR) be transferred from the land-owner to SCWC as a condition of the provision of service. These IGRs are extinguished in favor of the SCWC designation. A small portion of the IGR may be converted to Type 1 rights for use in landscape irrigation.

In conjunction with the service area right (56-001355.0000) SCWC believes that there will be ample water physically, legally and continuously available to serve the extension area under consideration.

Fire Flow Requirements

In February 2003, the City of Maricopa adopted the 1997 Uniform Fire Code as the standard for fire flow. In paragraph 5.1 of Section 5 of that Standard, the minimum fire flow for one and two-family dwellings (having a fire area not exceeding 3,600 square feet) is 1,000 gallons per minute at a residual pressure of 20 psi. SCWC designs to this standard throughout its current service area and will employ the same criteria in the proposed SESA.

For buildings other than one and two-family dwellings and dwellings in excess of 3,600 square feet the standard is 1,500 gallons per minute at 20 psi (1997 Uniform Fire Code, paragraph 5.2 of Section 5). SCWC employs this higher design flow standard when required (e.g. commercial sites, schools, etc.) and upsizes infrastructure to accommodate this. In residential areas, where homes exceed a fire area of greater than 3600 sq ft as defined by the 1997 Uniform Fire Code, houses will require to be sprinkled. The sprinkler requirement will be established in CC&Rs and exists in municipal building codes.

Storage Requirements

According to Arizona Administrative Code (A.A.C.) Title 18, Chapter 5 Section 503:

R18-5-503. Storage Requirements

A. The minimum storage capacity for a CWS or a non-community water system that serves a residential population or a school shall be equal to the average daily demand during the peak month of the year. Storage capacity may be based on existing consumption and phased as the water system expands.

B. The minimum storage capacity for a multiple-well system for a CWS or a noncommunity water system that serves a residential population or a school may be reduced by the amount of the total daily production capacity minus the production from the largest producing well.

Historical data suggests the peak month for SCWC is July, with an average demand of 11,000 gallons per month, or 355 GPD. At 67,804 units, the peak month flow for the potable water system would be approximately 24.07 million gallons per day².

Assuming a firm capacity of 11,800 GPM (17.0 million gallons per day) a minimum storage volume of $24.07 - 17.0 = 7.07$ million gallons of storage is required. For storage purposes, SCWC adds a requirement for 2100 GPM of fire flow for 4 hours, increasing the storage requirement by 0.504 MGal, for a total of 7.6 MGal. SCWC's standard configuration for water treatment plants is to provide 3.0 million gallons of storage which allows for substantial storage capacity and flexibility. It is anticipated that there will be a minimum of three water distribution centers each with 3 MGal of storage in the SESA.

Storage Requirement (AAC R18-5-503)	Fire Flow Storage	Requirement	Minimum Provided
7.07 MGal	0.504 MGal	7.6 MGal	9.0 MGal

Treatment Facilities

SCWC requires that each section of land provide a 2 acre site for the provision of a water distribution/treatment site. This gives enormous flexibility to site additional treatment, storage and distribution infrastructure throughout the service area.

The SESA will initially be configured with a water treatment plant located in the east side of Section 37, T5S R4E on 3.971 acres, similar in configuration to the existing SCWC treatment site (3.0 million gallons storage, emergency generator, sodium hypochlorite disinfection, four to six VFD-controlled booster pumps). As growth proceeds, additional water distribution/treatment sites will be constructed, or additional treatment capacity will be added to the original site, to provide redundancy and flexibility in the operation of the system. Such a system will also allow for consolidation of raw water supplies.

² Historic data from SCWC suggests the peak-month flow occurs in July, with consumption reaching 141% of the average annual flow.

Depending on the quality achieved during the well evaluation program, the treatment included in these systems may be as little as chlorination, or could also include a blending control algorithm, or other treatment methodology to meet the MCLs. The specifics of the treatment program will be determined based on the data collected during the well evaluations.

Allowing for a clustering of wells provides the opportunity to centralize treatment and distribution facilities, with a minimum of raw water piping. Opportunities exist to take advantage of centralized treatment, most notably in sections 34 and 35, T5S, R4E, and Section 31, T5S, R5E (see Clear Creek Figure 2, Exhibit 5).

In addition, SCWC is advancing the deployment of surface water to the area, and will incorporate a CAP Surface Water Treatment Facility into the servicing plan. Originally, the water will be supplied by the MSIDD canal system via an excess water agreement with CAP. As Global moves forward, this supply will be firmed up with the acquisition of specific CAP water allocations. The implementation of a surface water treatment plan allows for:

1. Augmentation of groundwater supplies via surface water reduces reliance of the area on ground water and increases redundancy of service; and
2. Surface water treatment provides for an additional arsenic remediation strategy to be employed to augment groundwater blending. This can provide access to additional water from wells that were considered too poor from a quality standpoint to be included in the potable well inventory;

Phasing of Water Treatment and Distribution Systems

As this is a new service area, there will be no requirement to provide the build-out configuration immediately. As a result, SCWC plans to deploy infrastructure in a phased approach to meet demand. Initially, a minimum of two sources of water generating a total of 3000 GPM will be established, proven and made available for service prior to commencing service.

The following graph details the water (well) production requirements and the booster pump capacities throughout the life of the development in the SESA.

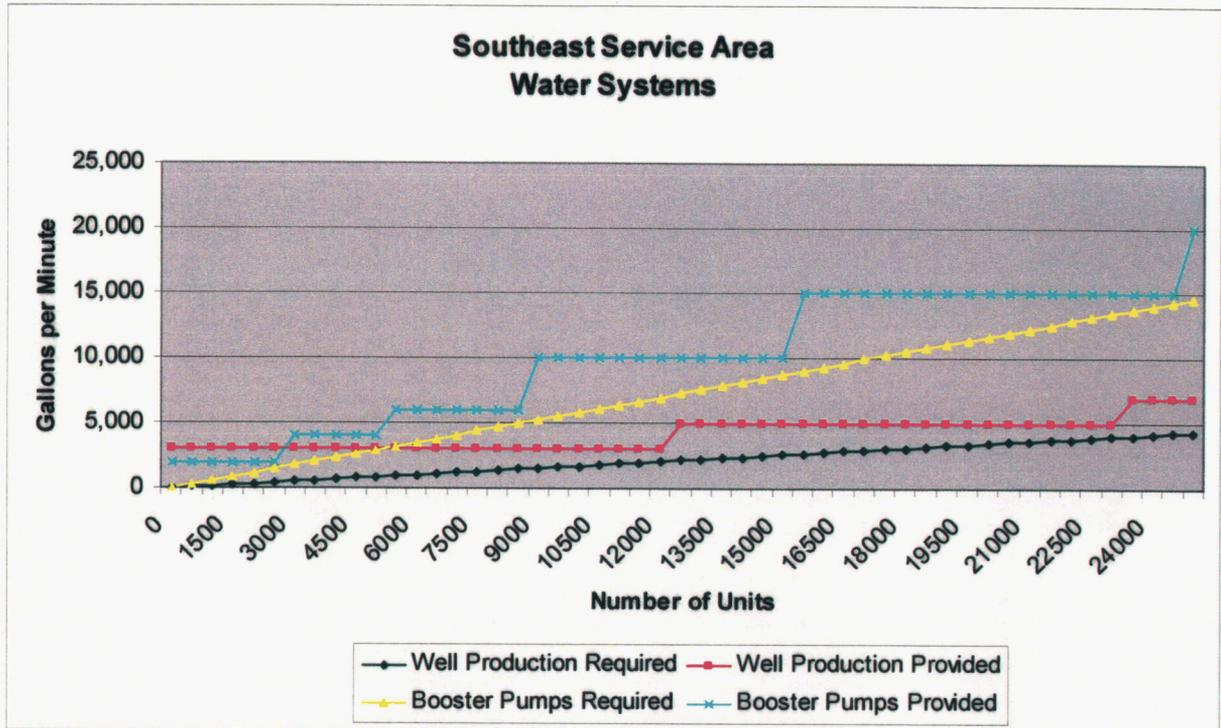


Figure 1: Infrastructure Requirements SESA Water System

SCWC has employed the Design-Build method to provide water treatment facilities at other sites in its CC&N and plans to replicate this in the SESA. The treatment facility will be contracted to be on-line in November 2006.

Installation of Distribution Lines

With respect to the extension of distribution lines, in 1915, the Pinal County Board of Supervisors established 33 foot wide prescriptive easements along each section line within Pinal County. Effectively, this established a 66 foot wide road easement along each section line (33 feet on either side). These easements have been employed by all utility providers for the installation of utilities. The map included in Exhibit 2 shows that all of the properties in the proposed extension area may be serviced without requiring access to State land parcels, by employing these prescriptive easements. There is no requirement for SCWC to obtain State approval as no planned infrastructure crosses State land.

When the southern portion of the proposed service area begins to develop, the distribution system will be constructed in the prescriptive easements along the section lines and connectivity will be maintained with the infrastructure to the north without the need to obtain additional easements through the Arizona Water service area.

Approval to Construct/Approval of Construction

Application for Approvals to Construct for the Water Treatment/Distribution Plant will be submitted on completion of the design report. On-site distribution system ATCs will be obtained by the individual builders; off-site distribution lines will be obtained by SCWC. On completion, Approvals of Construction will be obtained from ADEQ.

Financial Capability

The proposed water facilities are modeled on the existing SCWC water treatment site located on Smith-Enke Road, and for a 3 MGD storage reservoir, chlorination, VFD-controlled booster pumps, and fire-flow capability, designed to be expanded as the service area development builds out. The cost is approximately \$3.5-4.5 MM. A copy of the plans for the Smith-Enke Plant is included as Exhibit 6. Well rehabilitation costs are in the order of \$150,000 per well (depending on the work necessary). All infrastructure improvements required for production, treatment, storage and distribution will be funded by equity from SCWC's parent company, Global Water Resources, LLC.

SCWC contracts with the owners of the land to provide water to the section line and as such will supply a backbone distribution network to supply this water. All in-parcel distribution systems and service lines, will be installed by the developers as an advance-in-aid-of-construction (AIAC), and will be subject to reimbursement under the terms of the line extension agreements.

Designation of Assured Water Supply (DAWS)

SCWC intends on extending its current Designation of Assured Water Supply (DAWS) on completion of the well-site evaluation, completion of the hydrogeologic review, and completion of the demand analysis. SCWC expects that this application will be submitted by 31 August 2006.

At present, SCWC's DAWS is undergoing amendment to include the properties of the Eastern Expansion Area (ACC Decision 67830, 3 May 2005) and the 387 Domestic Water Improvement District. This includes an increase of the Physical Availability Demonstration (PAD) from 9,305 ac-ft/year to 20,768 ac-ft/year, with a current, committed and projected demand of 11,236 ac-ft/year. While not specifically related to the South East service extension area, it does provide an indicator of the volume of water available. SCWC will be applying in January 2006 for an extension of the DAWS for the South West extension area which will include an increased PAD and an increased AWS.

WASTEWATER SYSTEMS

Exhibit 7 shows the requested PVUC Wastewater CC&N area, which represents 91,047 units. The requested PVUC SESA Wastewater CC&N area is almost a third larger than the requested SCWC SESA Water CC&N due to the presence of the existing water CC&N (Arizona Water Company).

Permitting Requirements

In order to provide treatment services, a number of regulatory agency permits must be received, including:

- CAAG 208 Water Quality Master Plan Consistency
- Aquifer Protection Permits
- AzPDES Surface Water Discharge Permits
- Underground Storage Facility Permit (recharge)
- Type 2 Re-Use Permits
- Air Quality Permits
- Industrial/Special Use Permits

208 Consistency

A Consolidated 208 amendment that will blanket the SESA and consolidate the existing PVUC 208, the pending PVUC SW 208 and the 387 WWID 208 areas will be submitted to the Central Arizona Association of Governments ("CAAG") in January 2006. A copy will be provided to the ACC as soon as it is submitted to CAAG.

Aquifer Protection Permit (APP)

PVUC has not yet submitted its application for an Aquifer Protection Permit (APP) for the proposed facility to service the extension area. From a permitting perspective, ADEQ requires consistency with the Section 208 Plan and as a result the Section 208 Plan Amendment is the priority application. The 208 amendment is expected to be filed in January 2006 and approved by July 2006.

The technology selected is identical to the PVUC water reclamation facility employed in the northern service area (APP 105228) and as a result, PVUC expects the review process to be expedited by ADEQ, once the 208 plan amendment is approved. However, because the treatment plant is not required until November 2012 it is anticipated that this application will be submitted in January 2011. If growth occurs at a faster rate, the APP application will be submitted earlier in order to be approved and in place when the new SESA Campus 3 WRF is constructed.

From a servicing perspective, because the initial wastewater flow (up to 2.0 MGD) will be accommodated by pumping to the existing infrastructure, the typical time-pressure associated with acquiring the necessary operating permits is substantially mitigated.

AzPDES Surface Water Discharge Permits

An AzPDES permit is required at any time a discharge will occur to "waters of the United States". In this case, waters of the United States include named and other jurisdictional washes in the area. As a result, any intermittent discharge will require a valid AzPDES.

PVUC will apply for and receive a valid AzPDES permit for the facility.

Underground Storage Facility Permit (recharge)

In order to collect recharge credits that may be applied against the water balance in the area, an Underground Storage Facility permit is required, which will require the approval of the recharge program by ADWR.

Type 2 Re-Use Permits

Type 2 Reclaimed Water General Permits (A+) will be required to be obtained by the end-users of the reclaimed water. This permit specifies the public notification and signage requirements for the areas employing reclaimed water. PVUC will facilitate this activity.

Air Quality Permits

An air quality permit will be required to be obtained for the WRF. Full integrated odor control is supplied as part of the standard design.

Industrial/Special Use Permits

The zoning of the facility will result in a requirement to obtain a Special Use Permit from Pinal County.

Treatment System

Initially the flow will be collected in a newly built influent lift station and conveyed to the PVUC Campus #1 WRF located in the NW corner of Section 13 T4S R3E. This lift station will be designed to be converted to the main influent pump station for the planned PVUC Campus #3 WRF to be located at the NW corner of Tract 40 T5S, R4.

Until the flows reach an average daily flow of 2.0 MGD, wastewater from the SESA will be conveyed to the existing PVUC WRF Campus #1 facility via a 3.5 mile force main. This forcemain will be designed to accommodate peak flows up to 4 MGD, pumping the South East flows from the influent lift station to a receiving manhole located at Peters & Nall Road and the Santa Cruz Wash. From this point the wastewater will be conveyed by gravity to the water reclamation facility.

The treatment capacity extant in the PVUC Campus 1 WRF is such that the flows may be handled without issue at the facility. This is shown graphically below:

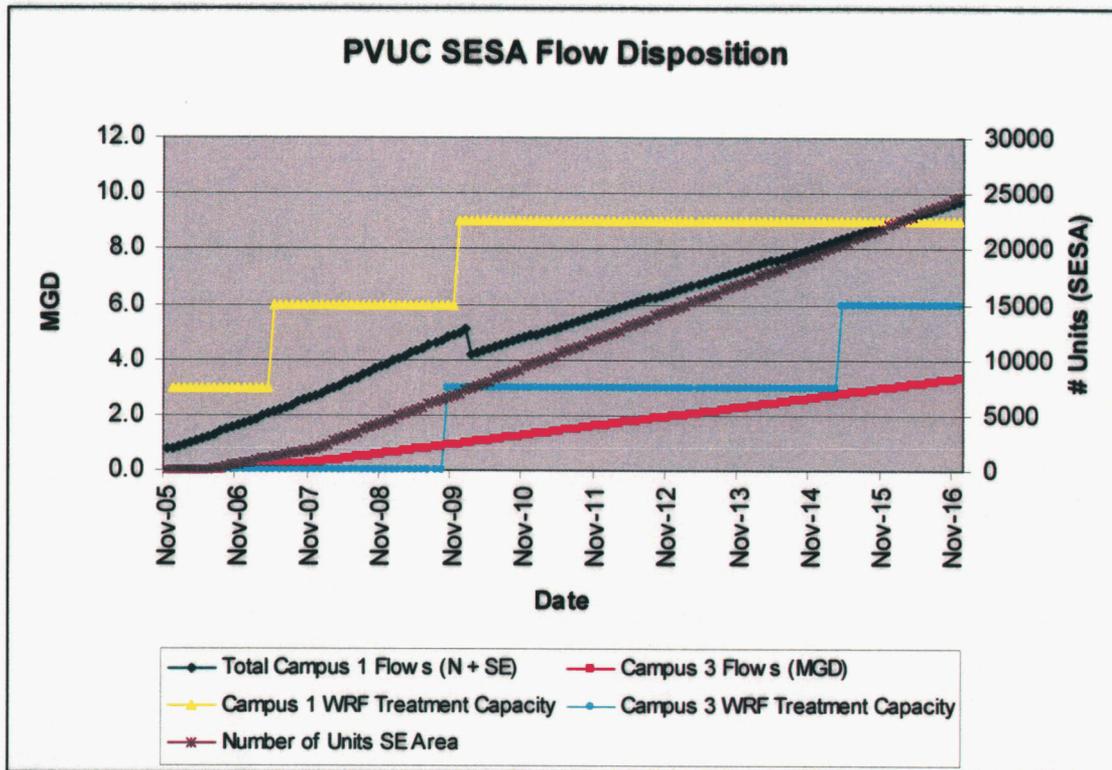


Figure 2: PVUC Projected Flows and Location of Treatment

Site and Design Plans

The land area under consideration drains to the north west, and allows the service area to be sewerred relatively easily, and without unnecessary lift stations. PVUC will deploy a treatment system modeled on the AquaTec sequencing batch reactor (“SBR”) employed at PVUC Campus 1 WRF, and the proposed South West (SW) WRF. This is a robust system, capable of producing Class A+ water under a range of hydraulic and biologic loadings, and is scalable from a small, start-up facility to a full-scale municipal system. In this case, as a result of employing a lift station/forcemain to convey wastewater to the Campus 1 WRF, the initial phase constructed at the SESA will be 6.0 MGD.

The site for the South East Treatment Facility has been identified (NW corner of Tract 40 T5S, R4E). PVUC owns this 36 acre site in fee which is suitable to accommodate the 350’ setbacks required around the entire WRF, and for the WRF’s ultimate build-out capacity of 13 MGD. A site plan has not yet been developed specifically for the site, but it will resemble the attached Exhibit 8 which is the site plan for the SW WRF.

As with the existing and planned SW PVUC infrastructure, this facility will have the following features:

1. Production of A+ Reclaimed Water;
2. Compliant with BADCT requirements (R18-9-B201 *et seq*);
3. Totally enclosed process tanks;
4. Odor control facilities (chlorine impregnated activated carbon scrubber media);
5. Aesthetic controls consistent with the surrounding architecture;

6. Noise abatement systems (equipment housed in purpose built masonry block buildings);
7. Peaking factor design 2.0.



Figure 3: Typical Odor Control Piping

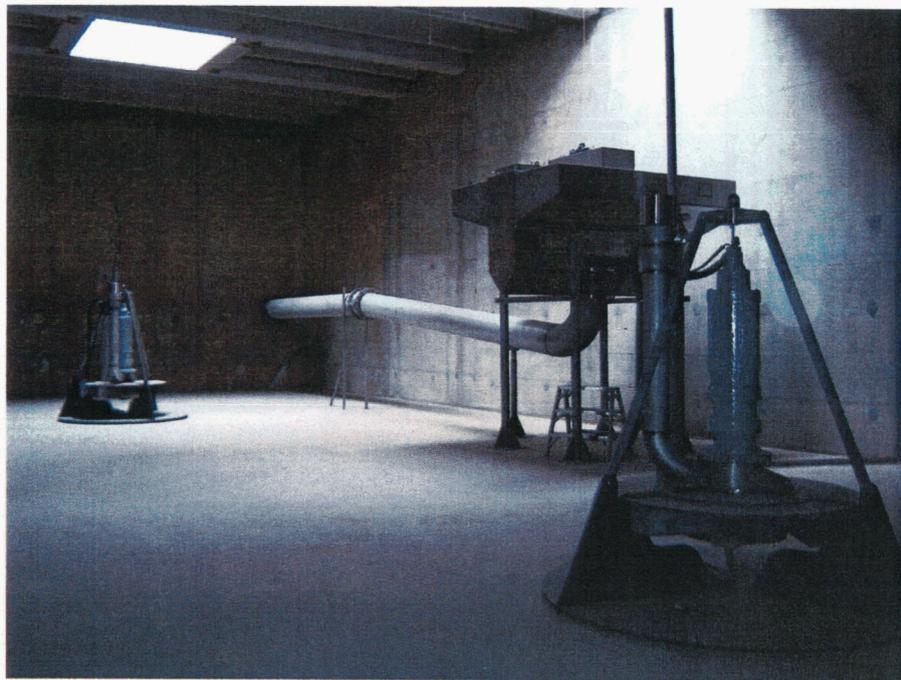


Figure 4: Sequencing Batch Reactor General Arrangement (Decanters & Aerators)

The initial 6.0 MGD facility will follow the modular, phased design developed for the PVUC Campus 1 WRF, and will be expanded as dictated by growth to the ultimate flow of 13 MGD.

As development proceeds, additional WRFs will be built in accordance with the regional master plan developed by Global, Pinal County and the Cities of Maricopa and Casa Grande. These additional facilities have been located in the consolidated regional 208 Water Quality Management Plan to be submitted to CAAG in January 2006.

As the PVUC expands in this region, it will interconnect its wastewater and reclaimed water systems to provide flexibility to optimize existing infrastructure while accommodating service requests, building new Campuses when required.

Enclosed at Exhibit 9 are the plans from the Campus 1 3.0 MGD treatment infrastructure. The PVUC Campus 3 WRF will deploy this same plant system, deployed in two modules to meet the 6.0 MGD treatment requirement.

Effluent Management

Global Water, SCWC and PVUC are at the forefront of water reclamation activities in the state of Arizona. Corporately, this philosophy includes the highest and best use for all water sources, and a mandate to minimize the impact of development on non-renewable resources. This translates into employing the appropriate grade of water for the appropriate use. By deploying an extensive network of reclaimed water distribution lines, PVUC is able to deliver reclaimed water for the following uses:

1. irrigation of common areas in all subdivisions and schools;
2. recharging to manage seasonal demand fluctuation and to reduce the impact of groundwater pumping on the aquifer;
3. deploying reclaimed water to other distribution networks in exchange for other sources of water (eg CAP water from the MSIDD canal system);
4. as a source of water for cooling and process water for industrial purposes, and as flush water for toilets and urinals inside commercial and municipal buildings;
5. as a source of irrigation water for individual home sites

In the event that the above uses are insufficient to consume the production of reclaimed water, PVUC will maintain the necessary infrastructure and permits to allow for discharge to various washes in the service area under an AzPDES permit.

Global Water Resources requires that all developments maximize the use of reclaimed water throughout their development areas. This includes the use of reclaimed water as the primary source of irrigation water, and for use in any recreational impoundments. To address the seasonality of demand for reclaimed water, PVUC is providing both a recharge activity under the APP for the WRF (which will allow for recovery of stored water by SCWC in high demand time periods) and will provide multiple AzPDES discharge locations for each plant. The diversity of reclaimed water management is shown in Figure 5. The expected disposition is reuse and recharge, with discharge a last resort. Figure 6 illustrates this expectation.

GENERAL RECLAIMED WATER DISPOSITION PLAN FOR PALO VERDE UTILITIES COMPANY

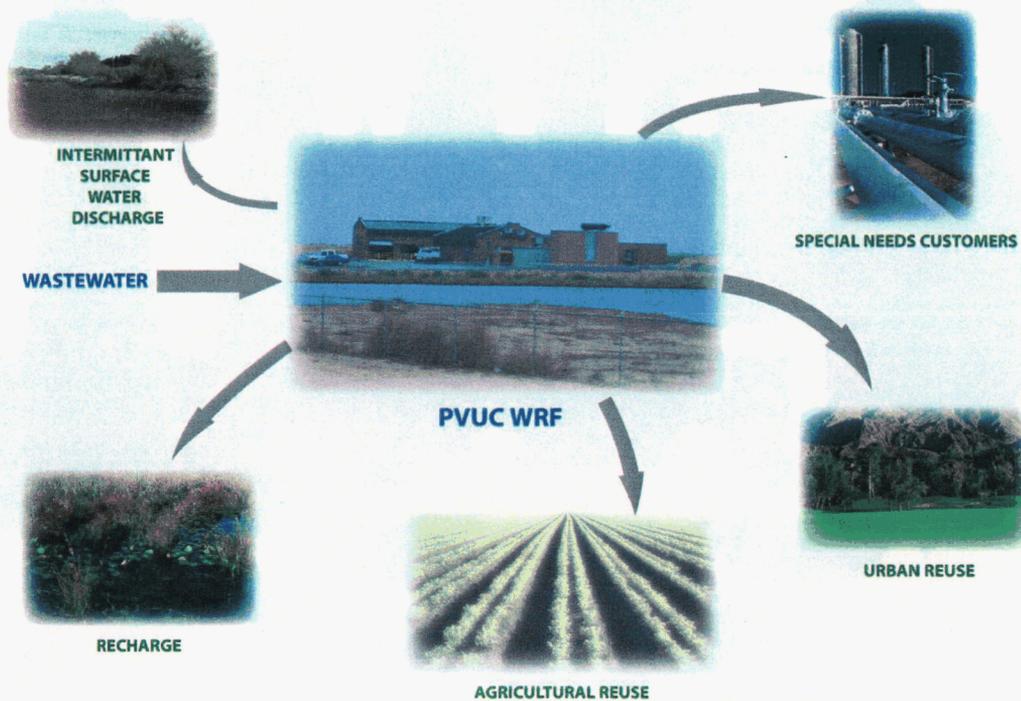


Figure 5: Reclaimed Water Disposition Plan for PVUC

A map showing the proposed AzPDES discharge locations for Campus 3 is shown as Exhibit 10. Discharge points must be permitted and constructed to allow discharge in the unlikely event that reclaimed water must be disposed. Recharge generally is sited on the WRF site and permitted as part of the APP through ADEQ, and the Underground Storage Facility (USF) permit from ADWR.

PVUC will install the necessary reclaimed water system to the proposed extension area delivery points (development reclaimed water integrated irrigation impoundments) and to the AzPDES points noted in Exhibit 10.

Costs

The treatment facilities costs are being refined at this point. The influent lift station is expected to cost in the order of an additional \$2.0 MM. The initial WRF treatment phase will be 6.0 MGD, and so the treatment costs are anticipated to be \$40-50 MM – a facility that will be required in 2012.

PVUC expects to install approximately 25 to 30 miles of sewer backbone infrastructure and approximately 15 to 20 miles of reclaimed infrastructure.

Approval to Construct/Approval of Construction

On-site collection system ATCs will be obtained by the individual builders; off-site distribution lines will be obtained by PVUC. On completion, Approvals of Construction will be obtained from ADEQ.

There is no ATC/AOC required for the treatment facilities.

Financial Capability

All of the off-site infrastructure improvements necessary to provide water service to the proposed extension area will be financed by equity from the parent company of PVUC, Global Water Resources, LLC. PVUC contracts with the owners of the land to provide water to the section line and as such will supply a backbone distribution network to supply this water. All in-parcel distribution systems and service lines, will be installed by the developers as an advance-in-aid-of-construction (AIAC), and will be subject to reimbursement under the terms of the line extension agreements.

Schedule

Please see Exhibit 11 for the expected construction schedule. This schedule is subject to change, as market forces will determine when and where infrastructure needs to be in place.



Figure 6: Treated Water Quality

CONCLUSIONS

Both PVUC and SCWC has reviewed the requirements necessary to serve the area under the current CC&N request and have concluded that service may be provided without impediment. Water can be obtained via the conversion of agricultural resources to potable, and wastewater treatment may be provided through existing infrastructure initially, and then through deployment of the modular system developed by PVUC.

LIST OF EXHIBITS

- Exhibit 1: MOU Service Areas for SCWC and PVUC
- Exhibit 2: Map of Water Requested Service Territory – show developers and lots
- Exhibit 3: Preliminary Clear Creek Report
- Exhibit 4: Map of Wells in ADWR Database that Meet Initial Screen
- Exhibit 5: Figure 2 from Clear Creek Report – Well Inventory Map for Phase I Evaluation
- Exhibit 6: Water Treatment Plant Preliminary Design Plans
- Exhibit 7: Map of Wastewater Requested Service Territory – show developers and lots
- Exhibit 8: Generic Site Plan for Water Reclamation Facility
- Exhibit 9: 3.0 MGD Treatment Module
- Exhibit 10: Proposed AzPDES Discharge Locations
- Exhibit 11: Map showing Trunk Lines and Construction Schedule

6

SCWC and PVUC Southeast CC&N Service Area MOU Service Areas for SCWC and PVUC

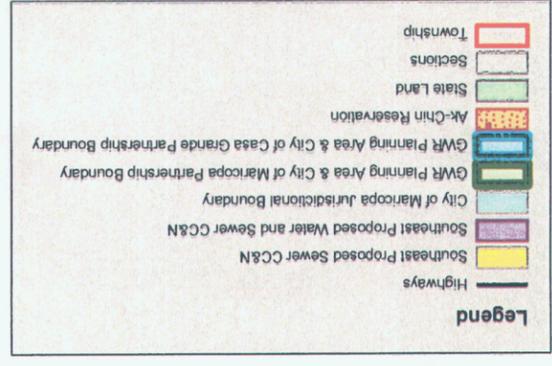
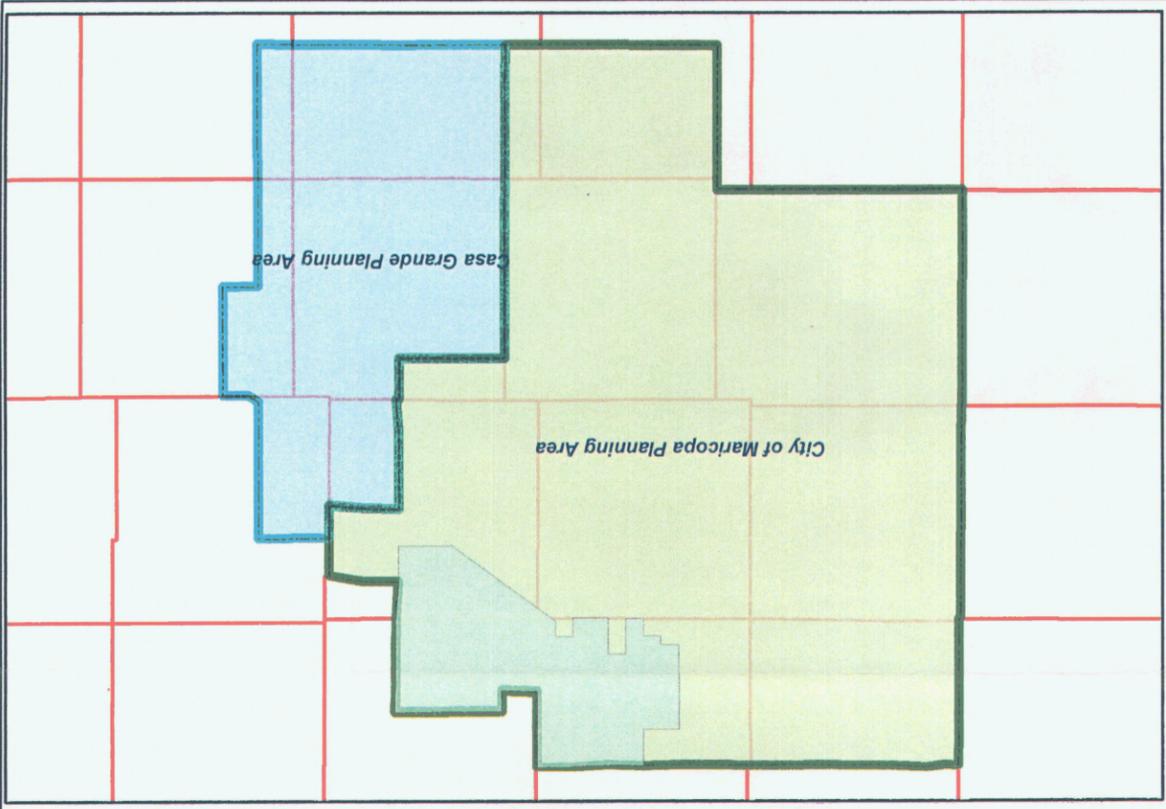
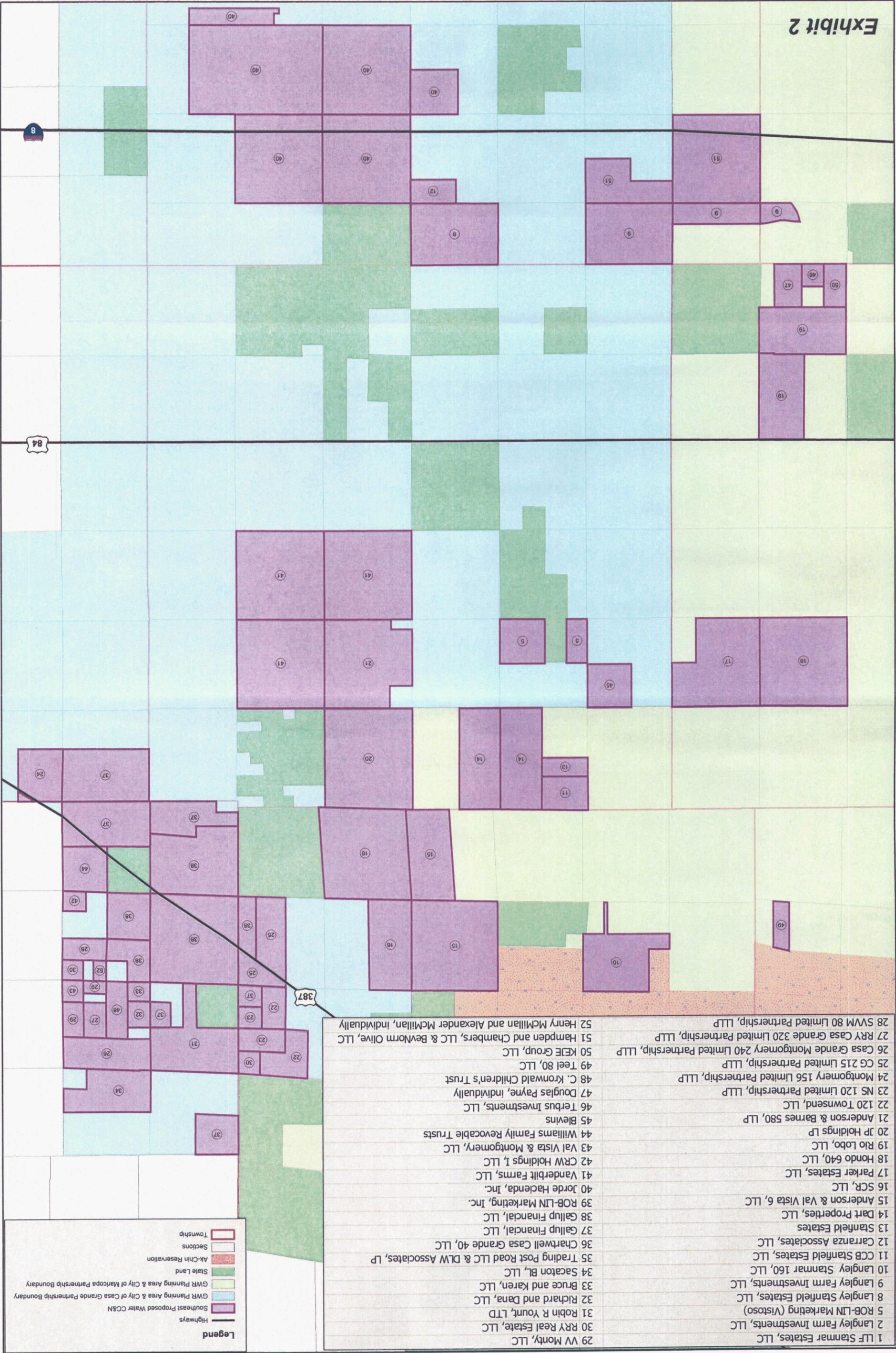


Exhibit 1

SCWC Proposed Southeast CC&N Service Area

Exhibit 2



1	LLF Stanmar Estates, LLC
2	Langley Farm Investments, LLC
5	ROB-LIN Marketing (Vistoso)
8	Langley Stanfield Estates, LLC
9	Langley Farm Investments, LLC
10	Langley Stanmar 160, LLC
11	CCB Stanfield Estates, LLC
12	Carranza Associates, LLC
13	Stanfield Estates
14	Dart Properties, LLC
15	Anderson & Val Vista 6, LLC
16	SCR, LLC
17	Parker Estates, LLC
18	Hondo 640, LLC
19	Rio Lobo, LLC
20	JP Holdings LP
21	Anderson & Barnes 580, LLP
22	120 Townsend, LLC
23	NS 120 Limited Partnership, LLP
24	Montgomery 156 Limited Partnership, LLP
25	CG 215 Limited Partnership, LLP
26	Casa Grande Montgomery 240 Limited Partnership, LLP
27	RRY Casa Grande 320 Limited Partnership, LLP
28	SVM 80 Limited Partnership, LLP
29	VV Monty, LLC
30	RRY Real Estate, LLC
31	Robin R Yount, LTD
32	Richard and Dana, LLC
33	Bruce and Karen, LLC
34	Sacaton BL, LLC
35	Trading Post Road LLC & DLW Associates, LP
36	Chartwell Casa Grande 40, LLC
37	Gallup Financial, LLC
38	Gallup Financial, LLC
39	ROB-LIN Marketing, Inc.
40	Jorde Hacenda, Inc.
41	Vanderbilt Farms, LLC
42	CRW Holdings I, LLC
43	Val Vista & Montgomery, LLC
44	Williams Family Revocable Trusts
45	Blevins
46	Terbus Investments, LLC
47	Douglas Payne, individually
48	C. Kronwald Children's Trust
49	Teel 80, LLC
50	KEJE Group, LLC
51	Hamden and Chambers, LLC & BevNorm Olive, LLC
52	Henry McMillan and Alexander McMillan, individually

Legend

- Highways
- Southeast Proposed Water CC&N
- GWR Planning Area & City of Casa Grande Partnership Boundary
- GWR Planning Area & City of Maricopa Partnership Boundary
- State Land
- Ark-Chin Reservation
- Sections
- Township

PRELIMINARY

December 1, 2005

Mr. Scott Lee, P.E.
Global Water Management, LLC
22601 N. 19th Avenue, Suite 210
Phoenix, Arizona 85027

**Well Inventory and Data Review
Global Water Southeast Service Area
Maricopa, Arizona**

Dear Scott:

This letter report documents the results of the well inventory and data review prepared for the Global Water Southeast Service Area in Maricopa, Arizona. The Study Area encompasses two separate parcels of land located within the Pinal Active Management Area (AMA), within Township 5 South, Range 4 East; Township 5 South, Range 5 East; Township 6 South, Range 4 East; and Township 6 South, Range 5 East, as shown on Figure 1. These areas collectively represent the initial phase of the Global Water Management Southeast Service Area.

In preparation to serve future developments in the area, Global Water Management (Global) has retained Clear Creek Associates to investigate data on existing wells within the Southeast Service Area. Global's goal for this area is to locate existing wells suitable for conversion to potable water supply wells, which will minimize initial capital costs.

WELL INVENTORY

A well inventory search for the Study Area was conducted using the Arizona Department of Water Resources (ADWR) "Wells 55" database (ADWR, October 2004). Results of the inventory search are presented on Table 1.

DRAFT

November 23, 2005
Mr. Scott Lee, P.E.
Global Water Management, L.L.C.

The Study Area includes two separate areas that equal approximately 8 square miles. Within the Study Area, the ADWR database indicated 32 registered including 23 irrigation wells, and 6 domestic wells, 1 cathodic protection well, 1 geotechnical boring, and 1 mineral exploration well. Information relating to the wells within the study area is summarized in Table 1, and the well locations are illustrated on Figure 2. The well categories illustrated on Figure 2 include irrigation wells, municipal wells, and domestic wells. Other types of wells such as piezometers, geotechnical borings, cathodic protection wells, monitoring wells, hydrologic test wells, and "cancelled" wells were not included on the well inventory map because they would not be production well candidates.

CANDIDATE WELL SELECTION CRITERIA

Wells being considered for this project are located within the current Southeast Service Area boundaries. The candidate well selection criteria include wells having a diameter of 16 inches or larger to accommodate large pumping equipment; having a reported pump rate of 1,000 gallons per minute (gpm) or higher; a significant saturated thickness (approximately 300 feet or more), and were reportedly installed after 1960. If only partial records were available in the ADWR database, and the existing data met the criteria for a listed irrigation well, it was included in the wells recommended for further analysis. It is assumed that some of the wells recommended for further analysis will be found to be unusable during the initial well site reconnaissance, reducing the potential supply well site candidates.

Based on these criteria, Clear Creek Associates identified 13 irrigation wells that are recommended for further evaluation. Eight of the wells recommended for further evaluation are located within Township 5 South, Range 4 East, four more are located within Township 5 South, Range 5 East, and one well is located within Township 6 South, Range 4 East. These wells are highlighted in blue in Table 1, and circled on Figure 2.

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Mr. Scott Lee, P.E.
Global Water Management, L.L.C.

The data used for the candidate well selection was obtained from the ADWR database. Although the data obtained from this database are the best readily available, the records may or may not be accurate in some cases.

AREA HYDROGEOLOGY

There are three significant hydrogeologic units within the Maricopa-Stanfield sub-basin of the Pinal AMA including: the Upper Alluvial Unit (UAU), the Middle Silt and Clay Unit (MSCU), and the Lower Conglomerate Unit (LCU). The regional aquifer system is characterized by downward vertical hydraulic head gradients and delayed drainage from the UAU to the LCU (Corkhill and Hill, 1990).

The UAU consists primarily of unconsolidated to slightly consolidated interstratified lenses of sand and gravel, which are exposed at land surface. The UAU is an “*unconfined*” aquifer, which is in equilibrium with atmospheric pressure, so it does not have artesian pressure to make it rise above the depth at which it was encountered.

The MSCU consists of fine-grained sediments such as silt, clay, and fine sand. The MSCU is a “*confined*” aquifer, which is under artesian pressure that exceeds atmospheric pressure, so the groundwater level will rise above the depth at which it was encountered. This aquifer is regionally is less productive than the UAU (Corkhill and Hill, 1990).

The LCU is characterized by semi-consolidated to consolidated coarse-grained sediments. Where the LCU aquifer is in direct contact with the UAU (because the MSCU is missing in some areas), it is generally *unconfined*. Where the MSCU is present, the LCU is generally under *confined to semi-confined* aquifer conditions (Wickham and Corkhill, 1989).

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Global Water Management, L.L.C.

SOUTHEAST AREA GROUNDWATER QUALITY

The majority of wells located within the study area are irrigation wells with limited water quality data available in the ADWR GWSI database (ADWR, September 15, 2003).

Fluoride

The water quality data for fluoride (F) obtained from ADWR are presented in Table 2. The concentration of fluoride is shown in milligrams per liter (mg/l). The Primary Drinking Water Standard for fluoride is 4 mg/l. No wells that have been tested by ADWR within the Study Area have reported concentrations exceeding this Maximum Contaminant Level (MCL). Fluoride concentrations in the Study Area range from 0.5 to 3.1 mg/l (Table 2).

Electrical Conductivity

The electrical conductivity (EC) values obtained from the ADWR database are presented in Table 2. Electrical conductivity of water is defined as the ability to conduct an electrical current. Since electrical currents flow through ionized or mineralized water, the amount of dissolved salts and minerals increase the electrical conductivity. This value is important since total dissolved solids (TDS) concentrations can be generally estimated by multiplying the electrical conductivity values by 0.65. The electrical conductivity values in the Study Area are shown in microsiemens per centimeter ($\mu\text{S}/\text{cm}$), and range from approximately 400 to 1,300 $\mu\text{S}/\text{cm}$ (Table 2).

Nitrate

Major sources of nitrate include fertilizers, livestock feeding operations, inputs to sewer and septic systems, atmospheric deposition, industrial waste, and stream flow. There were no data available for nitrate concentrations in the area. However, due to past and current agricultural

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November 23, 2005
Mr. Scott Lee, P.E.
Global Water Management, L.L.C.

land use in the Study Area, elevated nitrate levels are a likely problem in the shallow aquifer. The Primary Drinking Water Standard for nitrate is 10 mg/l.

Arsenic

There were no data available for arsenic in the Study Area. Elevated arsenic concentrations are a common naturally-occurring groundwater quality problem in many portions of Central and Southern Arizona. The current U.S. Environmental Protection Agency (US EPA) MCL for arsenic in drinking water is 50 micrograms per liter ($\mu\text{g/l}$). A new MCL for arsenic of 10 $\mu\text{g/l}$ will take effect January 2006.

RECOMMENDATIONS

Based on the well inventory data, Clear Creek has identified a total of 13 wells that meet the selection criteria outlined above for potential conversion to public supply wells. Accordingly, we recommend these wells for further assessment.

The water quality of the wells in this area is largely unknown. However, based on Clear Creek Associates experience, arsenic and nitrate concentrations in many wells are likely above their MCL and Primary Drinking Water Standards, respectively. Based on historical sample results collected by ADWR, fluoride may be close to the MCL of 4 in some wells. Based on estimations derived from the ADWR electrical conductivity data, TDS will also be high in some wells (Table 2).

Clear Creek Associates appreciates this opportunity to provide hydrogeologic services to Global Water Management, L.L.C. If you require additional information or have any questions regarding the analysis, findings, or recommendations presented herein, please call.

DRAFT

November 23, 2005
Mr. Scott Lee, P.E.
Global Water Management, L.L.C.

Sincerely,
CLEAR CREEK ASSOCIATES, PLC

Marvin F. Glotfelty, R.G.
Principal Hydrogeologist

cc: Wesley Smith – Global Water Management
Dave Wrzosek, G.I.T.– Clear Creek Associates

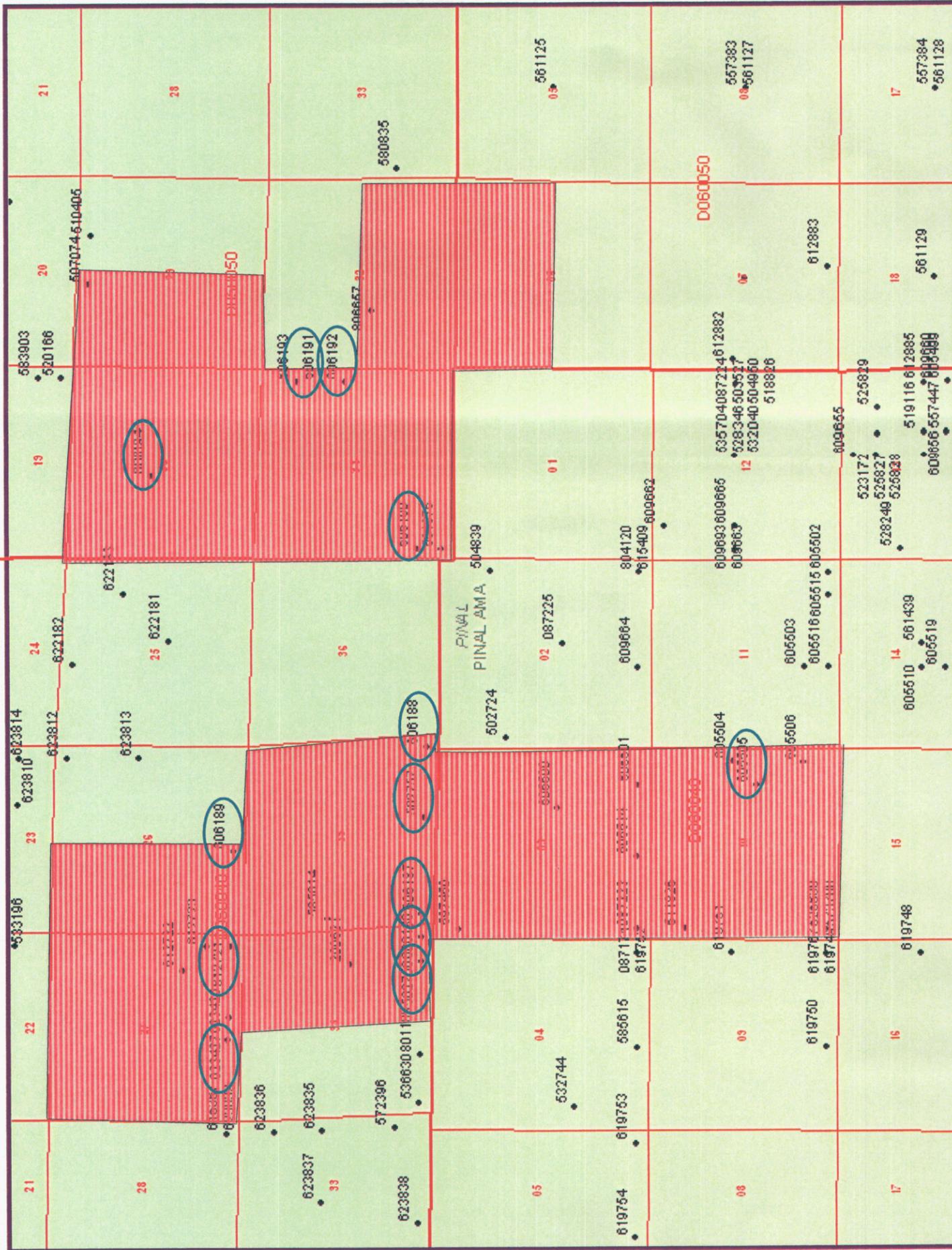
Attachments: Figure 1 - Southeast Service Area Well Evaluation Boundaries
Figure 2 - Southeast Service Area Well Inventory Map
Table 1 - Registered Well Inventory, Southeast Service Area
Table 2 - General Water Quality

PRELIMINARY

FIGURES

R5E

R4E



EXPLANATION

 Southeast Service Area
(Study Area for this project)

 Well well recommended for further evaluation



Approximate Scale (miles)
0 0.5 1.0 2.0

FIGURE 2
Well Inventory Map
Southeast Service Area
Global Water Management, LLC
Pinal County, Arizona

T5S

T6S

PRELIMINARY

TABLES

TABLE 2
General Water Quality
Southeast Service Area
Global Water Management

Well Registration No	Location	Well Depth (ft)	Conductivity (µS)	Fluoride (mg/l)	Temperature (°C)	TDS* (mg/l)	pH	Alkalinity (mg/l)
605506	D-06-04 10DDA	1250	1900	0.9	27	1235	7.4	
605505	D-06-04 10DAB	800	1500	0.7	27.5	975	7.5	
605504	D-06-04 10ADD	1100	2000	0.9	26.5	1300	7.3	
606188	D-05-04 35DDD	850	1020	1.5	28	663		
606188	D-05-04 35DDD	850	1230	1.4	28	800	7.4	
606187	D-05-04 35CCB	850	604	0.8	25	393		120
606187	D-05-04 35CCB	850	1200	0.5		780		132
606187	D-05-04 35CCB	850	1360	0.5		884		125
606192	D-05-05 31ADD	1000	1990	3.1	30.5	1294	7.6	127

* - Total Dissolved Solids is an estimate derived from the conductivity result (65%)
 Data collected from Arizona Department of Water Resources

SCWC Existing Wells and Data

Well Registration No	SCWC Name	Well Depth (ft)	Fluoride (mg/l)	Nitrate (mg/l)	As (mg/l)	TDS (mg/l)	Alkalinity (mg/l)
55-621408	Neely East	1000	5.886	3.643	0.018	682	48
55-621407	Neely West	700	0.667	11.68	0.01	1500	158
55-621406	Neely North	1000	1.75	6.6	0.008	1100	86
55-617336	Vance	800	1.365	7.873	0.008	1233	94
55-612737	Smith	1000	2.083	2.718	0.01	702	83

Wells with depth @1,000 feet
 Wells with depth @ 800 feet

SCWC Proposed Southeast Service Area Wells in ADWR Database

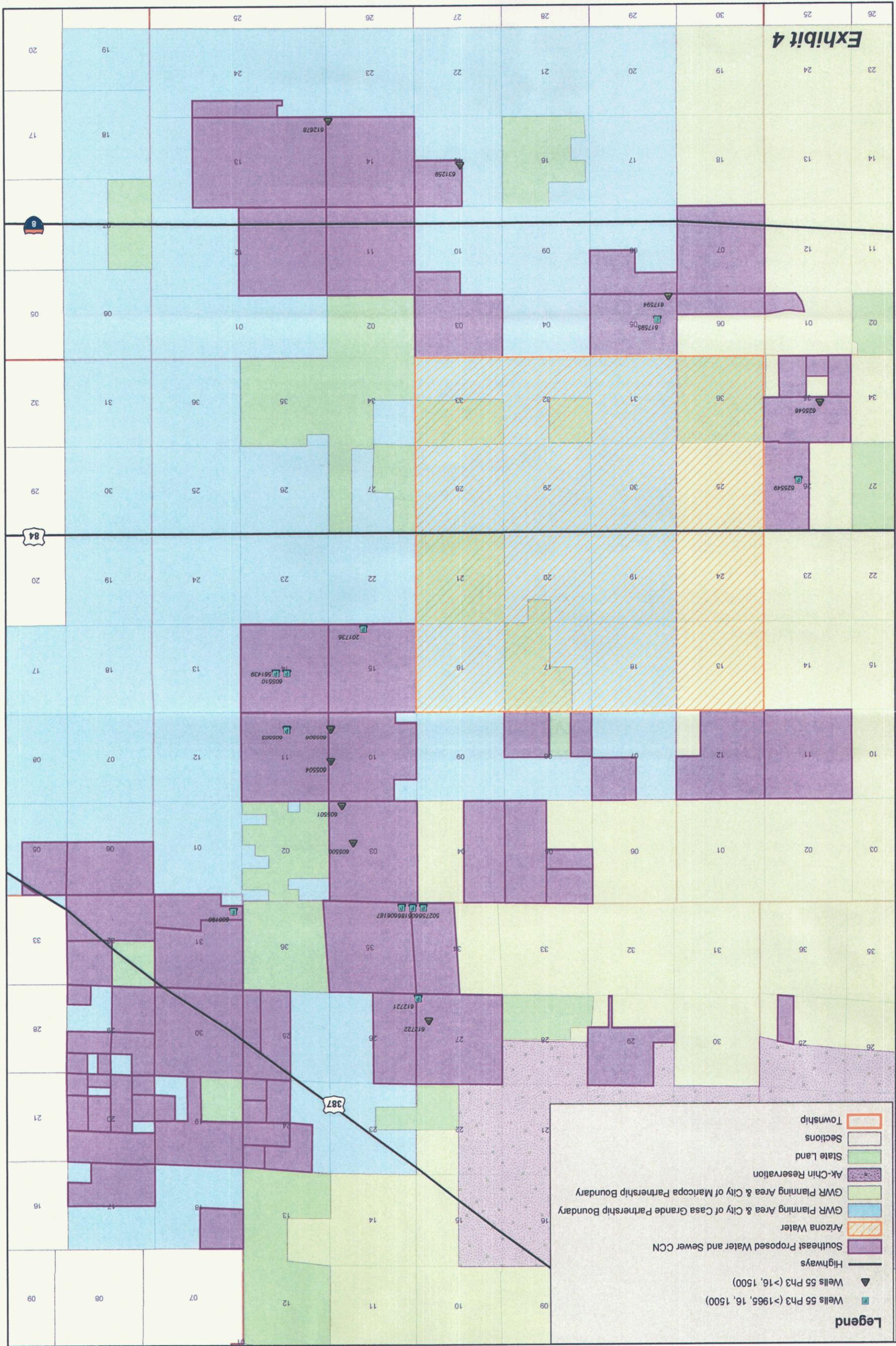
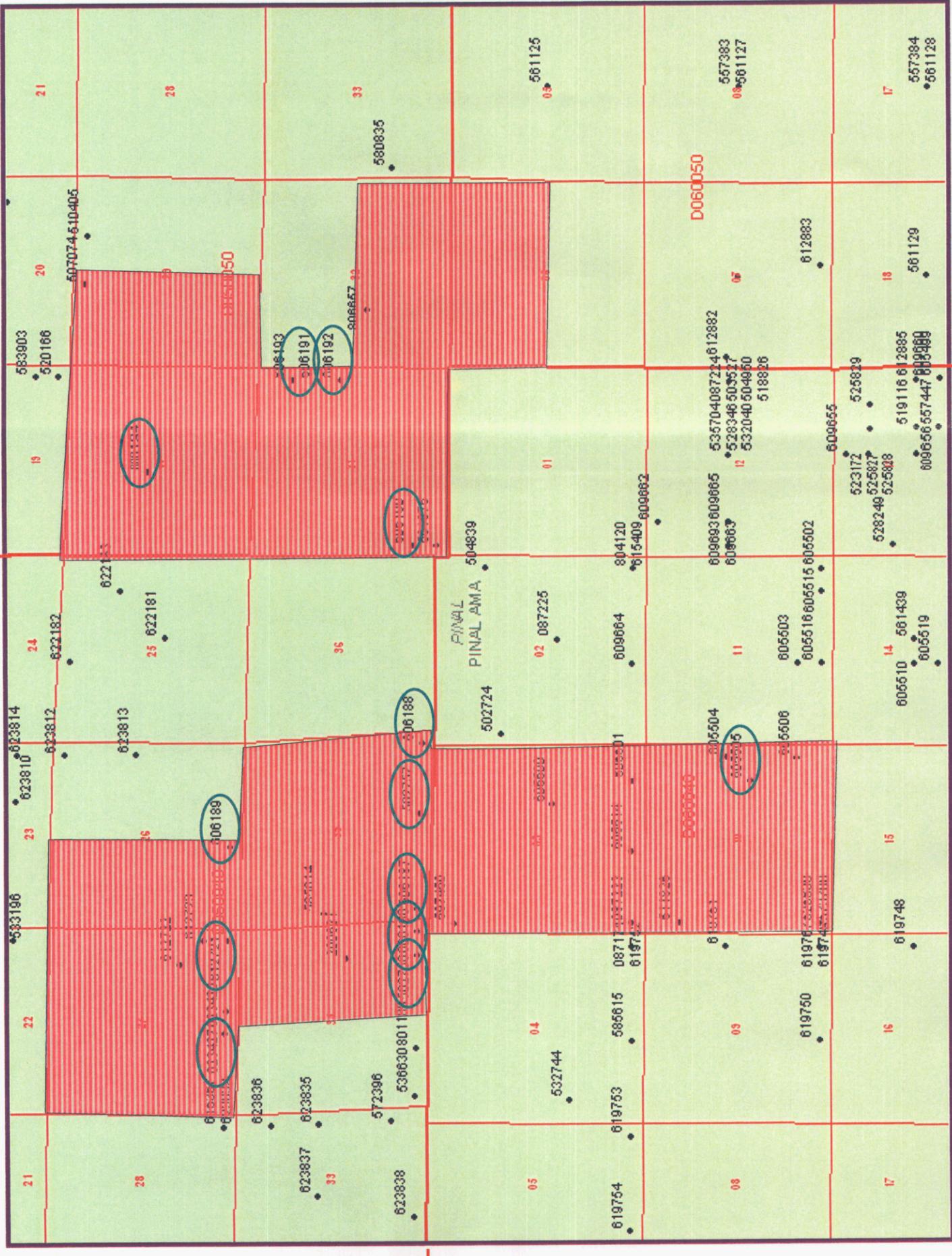


Exhibit 4

R5E

R4E

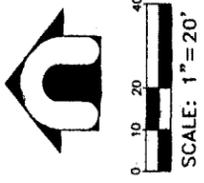
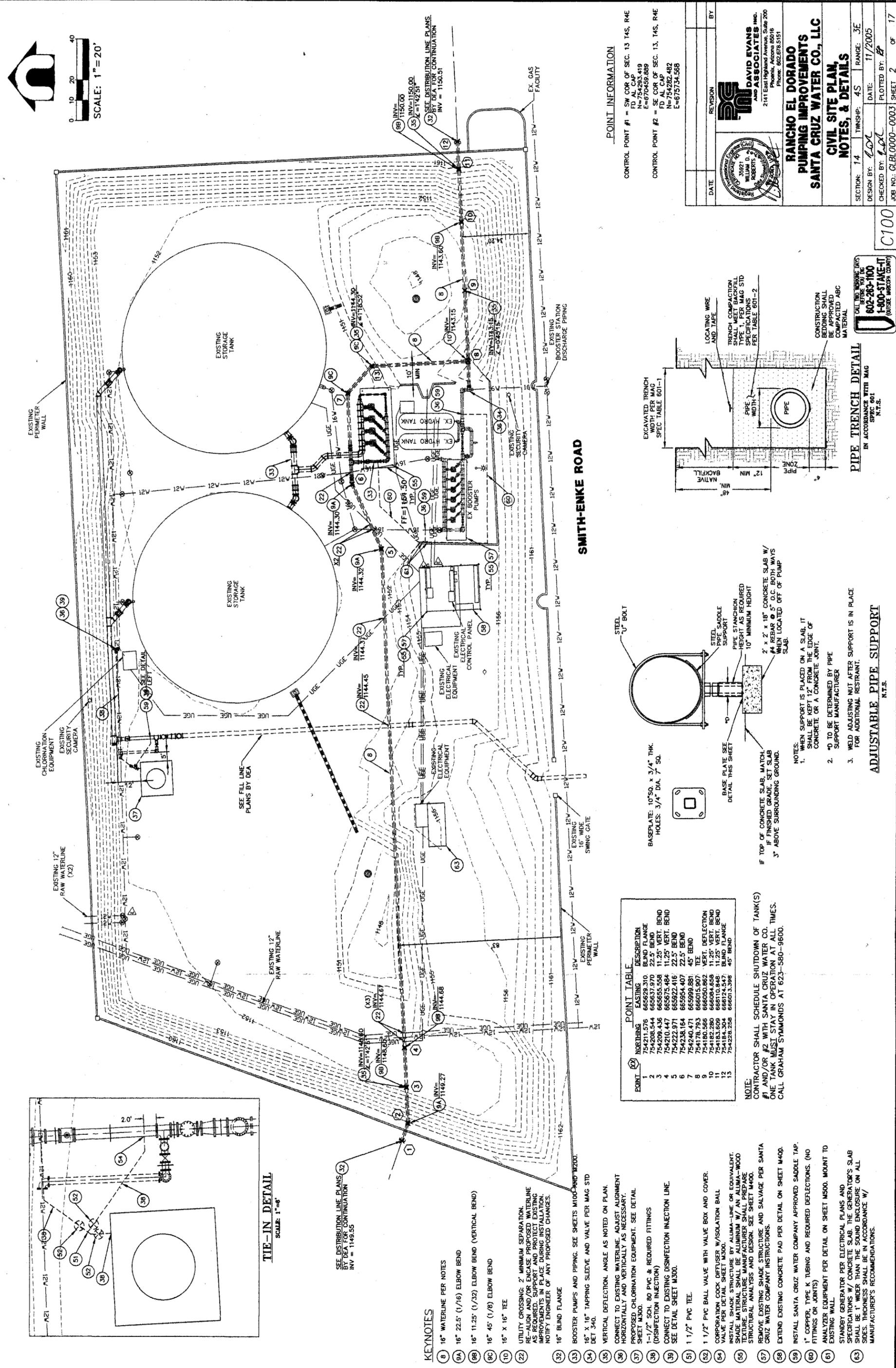


EXPLANATION

-  Southeast Service Area
(Study Area for this project)
-  Well well recommended for further evaluation



FIGURE 2
Well Inventory Map
Southeast Service Area
Global Water Management, LLC
Pinal County, Arizona



POINT INFORMATION

CONTROL POINT #1 = SW COR OF SEC. 13 T4S, R4E
 PD AL CAP 419
 E=670459.889
 N=754210.447

CONTROL POINT #2 = SE COR OF SEC. 13, T4S, R4E
 PD AL CAP
 N=754282.482
 E=675734.568

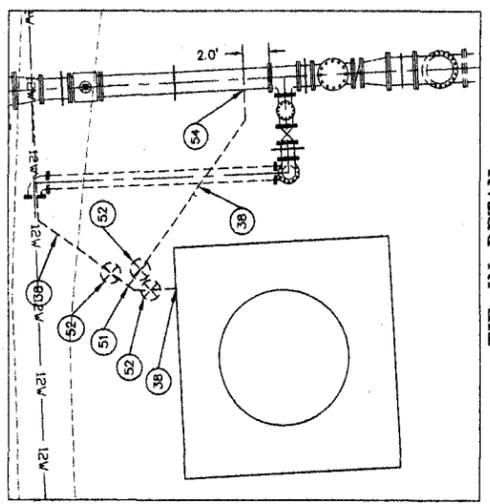
DATE	REVISION	BY

DAVID EVANS AND ASSOCIATES, INC.
 2141 East Highland Avenue, Suite 200
 Phoenix, AZ 85016
 Phone: 602.678.5151

RANCHO EL DORADO PUMPING IMPROVEMENTS SANTA CRUZ WATER CO., LLC

CIVIL SITE PLAN NOTES, & DETAILS

SECTION: 14 THNSHIP: 4S RANGE: 3E
 DESIGN BY: LEX DATE: 11/2005
 CHECKED BY: LEX PLOTTED BY: LEX
 JOB NO.: GLBL0000-0903 SHEET 2 OF 17



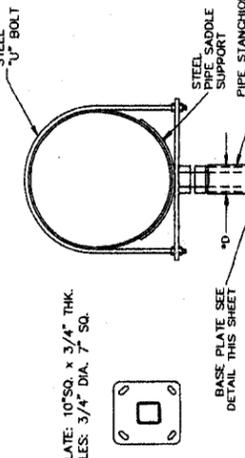
KEYNOTES

- 8 16" WATERLINE PER NOTES
- 9A 16" 22.5° (1/16) ELBOW BEND
- 9B 16" 11.25° (1/32) ELBOW BEND (VERTICAL BEND)
- 9C 16" 45° (1/8) ELBOW BEND
- 10 16" x 16" TEE
- 22 UTILITY CROSSING: 2' MINIMUM SEPARATION. RE-ALIGN AND/OR ENCASE PROPOSED WATERLINE AS REQUIRED. SUPPORT AND PROTECT EXISTING IMPROVEMENTS IN PLACE DURING INSTALLATION. NOTIFY ENGINEER OF ANY PROPOSED CHANGES.
- 32 SEE DISTRIBUTION LINE PLANS BY DEA FOR CONTINUATION INV = 1149.27
- 33 BOOSTER PUMPS AND PIPING. SEE SHEETS M10C AND M20D.
- 34 16" x 16" TAPPING SLEEVE AND VALVE PER MAG STD DET 346.
- 35 VERTICAL DEFLECTION. ANGLE AS NOTED ON PLAN.
- 36 CONNECT TO EXISTING WATERLINE. ADJUST ALIGNMENT HORIZONTALLY AND VERTICALLY AS NECESSARY.
- 37 PROPOSED CHLORINATION EQUIPMENT. SEE DETAIL SHEET M300.
- 38 1-1/2" SCH. 80 PVC & REQUIRED FITTINGS (DISINFECTION INJECTION)
- 39 CONNECT TO EXISTING DISINFECTION INJECTION LINE. SEE DETAIL SHEET M300.
- 51 1 1/2" PVC TEE
- 52 1 1/2" PVC BALL VALVE WITH VALVE BOX AND COVER.
- 53 CORPORATION COOK DEFUSER W/ISOLATION BALL VALVE PER DETAIL SHEET M300.
- 54 INSTALL SHADE STRUCTURE BY ALUMINA-LINE OR EQUIVALENT. SHADE MATERIAL SHALL BE ALUMINA-LINE OR ALUMINA-WOOD TEXTURE. STRUCTURE MANUFACTURER SHALL PREPARE STRUCTURAL ANALYSIS AND DESIGN. SEE SHEET M400.
- 57 REMOVE EXISTING SHADE STRUCTURE AND SALVAGE PER SANTA CRUZ WATER COMPANY INSTRUCTIONS.
- 58 EXTEND EXISTING CONCRETE PAD PER DETAIL ON SHEET M400.
- 59 INSTALL SANTA CRUZ WATER COMPANY APPROVED SADDLE TAP. 1" COPPER, TYPE K TUBING AND REQUIRED DEFLECTIONS. (NO FITTINGS OR JOINTS)
- 60 ANALYZER EQUIPMENT PER DETAIL ON SHEET M500. MOUNT TO EXISTING WALL.
- 61 STANDBY GENERATOR PER ELECTRICAL PLANS AND SPECIFICATIONS W/ CONCRETE SLAB. THE GENERATOR'S SLAB SHALL BE 1" THICKER THAN THE SOUND ENCLASURE ON ALL SIDES. THICKNESS SHALL BE IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS.

POINT TABLE

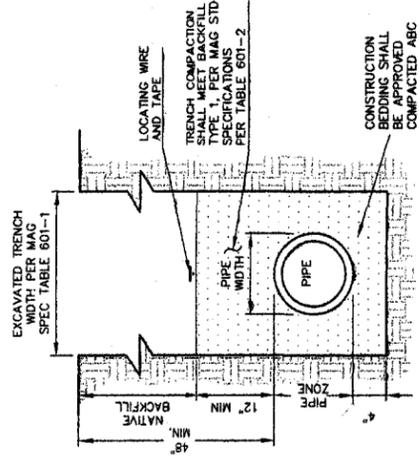
POINT	NORTHING	EASTING	DESCRIPTION
1	754211.576	665629.310	BLIND FLANGE
2	754208.544	665637.970	22.5° BEND
3	754209.436	665655.558	11.25° VERT. BEND
4	754210.447	665675.484	11.25° VERT. BEND
5	754222.971	665922.416	22.5° BEND
6	754238.164	665954.407	22.5° BEND
7	754240.471	665999.881	45° BEND
8	754178.793	666015.907	TEE
9	754180.566	666050.862	VERT. DEFLECTION
10	754182.280	666084.668	11.25° VERT. BEND
11	754184.504	666124.547	BLIND FLANGE
12	754228.258	666131.398	45° BEND
13			

NOTE:
 CONTRACTOR SHALL SCHEDULE SHUTDOWN OF TANK(S) #1 AND/OR #2 WITH SANTA CRUZ WATER CO. AT ALL TIMES. ONE TANK MUST STAY IN OPERATION AT ALL TIMES. CALL GRAHAM SYMONDS AT 623-560-9600.

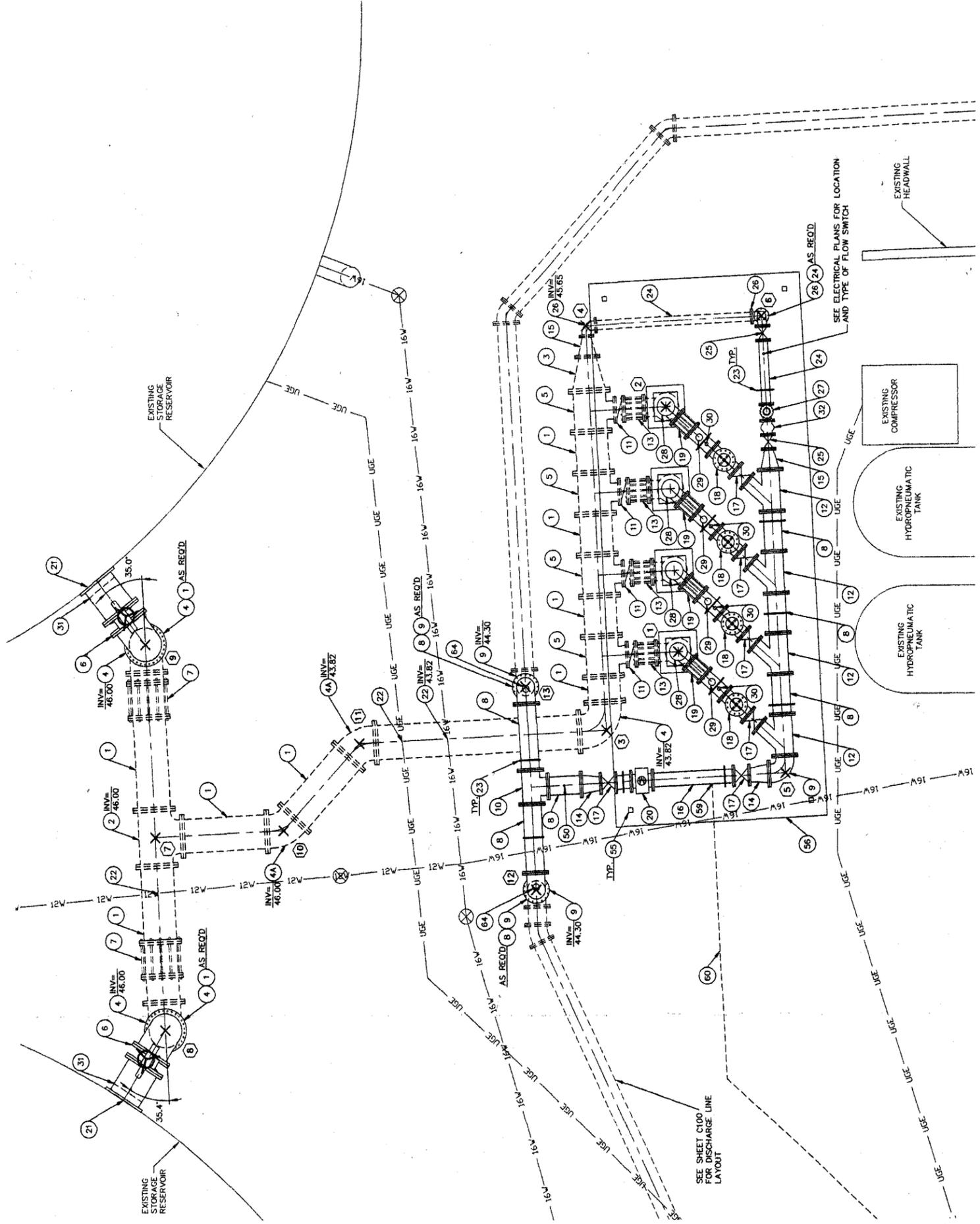
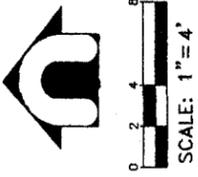


- NOTES:**
- WHEN SUPPORT IS PLACED ON A SLAB, IT SHALL BE KEPT 12" FROM THE EDGE OF CONCRETE OR A CONCRETE JOINT.
 - TO BE DETERMINED BY PIPE SUPPORT MANUFACTURER
 - WELD ADJUSTING NUT AFTER SUPPORT IS IN PLACE FOR ADDITIONAL RESTRAINT.

ADJUSTABLE PIPE SUPPORT
N.T.S.



CALL FOR WORKING DRAWINGS BEFORE YOU BUY
 602-283-1100
 1-800-STAKE-IT
 (IN THE MOUNTAIN COUNTY)



KEYNOTES

- 1 30" WATERLINE PER NOTES
- 2 30" X 30" TEE
- 3 30" X 16" ECCENTRIC REDUCER
- 4 30" 90° (1/4) ELBOW BEND
- 4A 30" 45° (1/8) ELBOW BEND
- 5 30" X 16" TEE
- 6 30" BUTTERFLY VALVE BY DEZURIK OR APPROVED EQUAL. INCLUDE ACTUATOR BY ROTORK OR APPROVED EQUAL.
- 7 30" RESTRAINED FLEXIBLE COUPLING
- 8 16" WATERLINE PER NOTES
- 9 16" 90° (1/4) ELBOW BEND
- 10 16" X 16" TEE
- 11 16" BUTTERFLY VALVE CLASS 150 W/VALVE BOX PER MAG STD DET 391-1 AND 391-2.
- 12 16" X 12" WYE
- 13 16" RESTRAINED FLEXIBLE COUPLING PER SPECIFICATIONS.
- 14 16" X 12" ECCENTRIC REDUCER
- 15 16" X 8" ECCENTRIC REDUCER
- 16 12" WATERLINE PER NOTES
- 17 12" GATE VALVE WITH HANDWHEEL ASSEMBLY, CLASS 150 - AWWA APPROVED ONLY
- 18 12" NON-SLAMMING CHECK VALVE BERHAD MODEL 760-03-V OR APPROVED EQUAL, CLASS 125.
- 19 12" RESTRAINED FLEXIBLE COUPLING PER SPECIFICATIONS.
- 20 12" ELECTROMAGNETIC FLOW METER
- 21 CONNECT TO EXISTING STORAGE TANK WITH REINFORCING PLATES PER TANK DESIGNER/CONTRACTOR REQUIREMENTS.
- 22 UTILITY CROSSING: 2" MINIMUM SEPARATION. RE-ALIGN AND/OR ENCASE PROPOSED WATERLINE AS REQUIRED. SUPPORT AND PROTECT EXISTING IMPROVEMENTS IN PLACE DURING INSTALLATION. NOTIFY ENGINEER OF ANY PROPOSED REVISIONS.
- 23 ADJUSTABLE PIPE SUPPORT PER DETAIL SHEET C100.
- 24 8" WATERLINE PER NOTES
- 25 8" GATE VALVE WITH HANDWHEEL ASSEMBLY, CLASS 150 - AWWA APPROVED ONLY
- 26 8" 90° (1/4) ELBOW BEND
- 27 PRESSURE RELIEF VALVE, BERHAD MODEL 730 OR APPROVED EQUAL
- 28 VERTICAL TURBINE PUMP, 150 H.P. RATED 2000 GPM @ 213 FT. TYP BY NATIONAL PUMP CO. (MODEL PHAROS) OR EQUIVALENT. SEE DETAIL ON SHEET M200.
- 29 LIQUID FILLED PRESSURE GAUGE W/CORP STOP. SEE DETAIL ON SHEET M200.
- 31 ANTI-VORTEX DEVICE SEE DETAIL SHEET M200
- 32 8" WAFER STYLE CHECK VALVE - AWWA APPROVED ONLY.
- 33 PRESSURE TRANSMITTER - SEE ELECTRICAL PLANS AND SPECIFICATIONS.
- 34 SHADE STRUCTURE SHALL BE ALUMINA-WOOD BY ALUMINA-LINE OR EQUIVALENT. THE MANUFACTURER SHALL PREPARE STRUCTURAL ANALYSIS AND DESIGN. SEE M400.
- 35 40" X 16" CONCRETE PAD FOR NEW BOOSTER PUMPS. SEE DETAIL ON SHEET M200.
- 36 INSTALL SANTA CRUZ WATER COMPANY APPROVED SADDLE TAP.
- 37 1" COPPER TYPE "K" TUBING AND REQUIRED DEFLECTIONS (NO FITTINGS OR JOINTS).
- 38 COMPOUND LEVER AIR RELEASE VALVE BY VALMATIC OR EQUIVALENT.

PIPE COATING:

ALL FERROUS METAL SHALL BE COATED WITH ONE PRIMER COAT (INEMEC SERIES 27 F OR EQUIVALENT), ONE INTERMEDIATE COAT (INEMEC SERIES 66 H-BUILD EPOXYLINE POLYAMIDAMINE EPOXY OR EQUIVALENT), AND ONE FINISH COAT (INEMEC SERIES 75 ENDURA-SHIELD OR EQUIVALENT). ALL COATING SHALL BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

POINT TABLE

POINT	NORTHING	EASTING	DESCRIPTION
1	754227.388	665975.092	CENTER OF PUMP
2	754226.300	665963.069	CENTER OF PUMP
3	754232.914	665988.349	30" - 90° BEND
4	754234.418	665988.077	8" - 90° BEND
5	754231.408	665986.182	8" - 90° BEND
6	754266.944	665981.532	30" X 30" TEE
7	754266.223	665947.327	30" - 90° BEND (VERTICAL)
8	754267.664	665975.738	30" - 90° BEND (VERTICAL)
9	754251.581	665968.402	30" - 45° BEND
10	754251.581	665968.402	30" - 45° BEND
11	754238.328	665957.633	16" - 90° BEND
12	754238.328	665957.633	16" - 90° BEND
13	754238.084	665972.540	16" - 90° BEND

DATE	REVISION	BY

DAVID EVANS
 AND ASSOCIATES INC.
 2141 East Highland Avenue, Suite 200
 Phoenix, Arizona 85016
 Phone: 602.678.2191

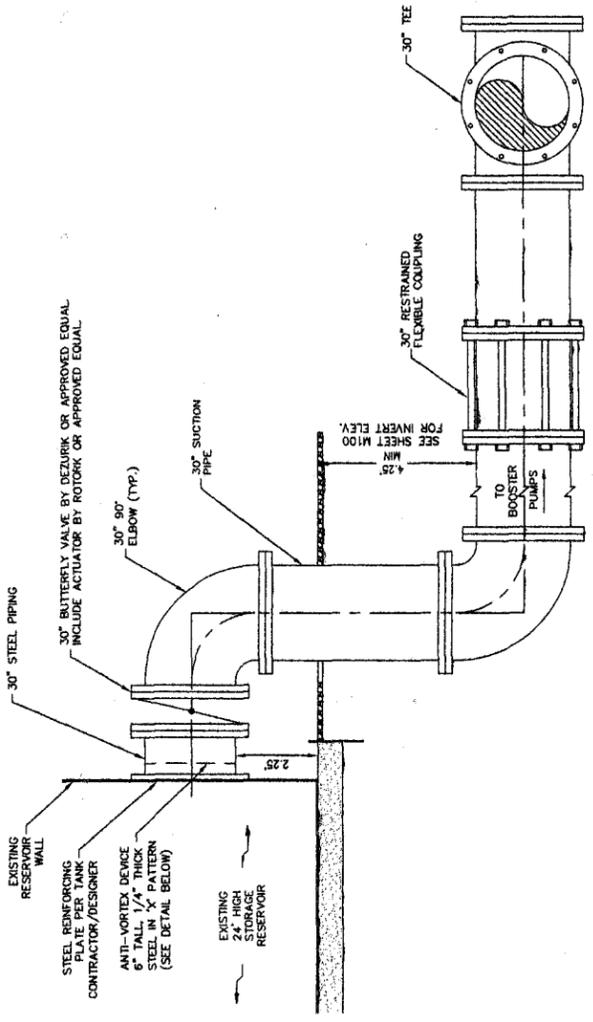
RANCHO EL DORADO
PUMPING IMPROVEMENTS
SANTA CRUZ WATER CO., LLC

PIPING PLAN

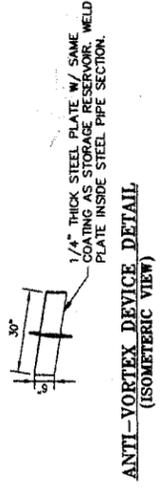
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DESIGN BY: <i>hox</i>	DATE: 11/2005	
CHECKED BY: <i>hox</i>	PLOTTED BY: <i>JMM</i>	
JOB NO.: GBL0000-0003	SHEET 3	OF 17

CALL THE NUMBER INSIDE
 BEFORE YOU DIAL
802-263-1100
1-800-STAKE-IT
 (OUTSIDE WORKING COUNTY)

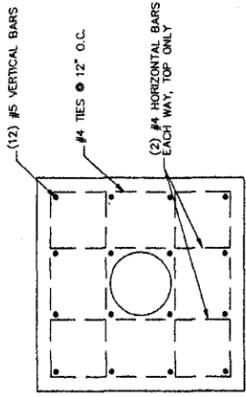
M100



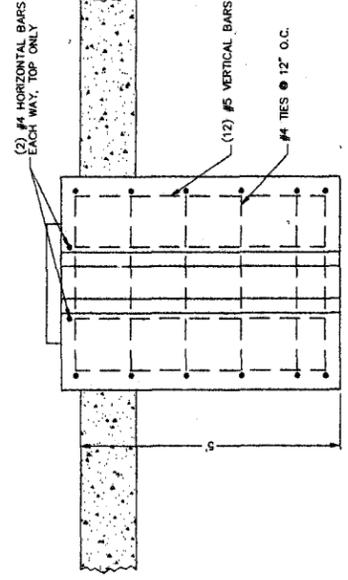
TANK CONNECTION DETAIL
N.T.S.



ANTI-VORTEX DEVICE DETAIL
(ISOMETRIC VIEW)

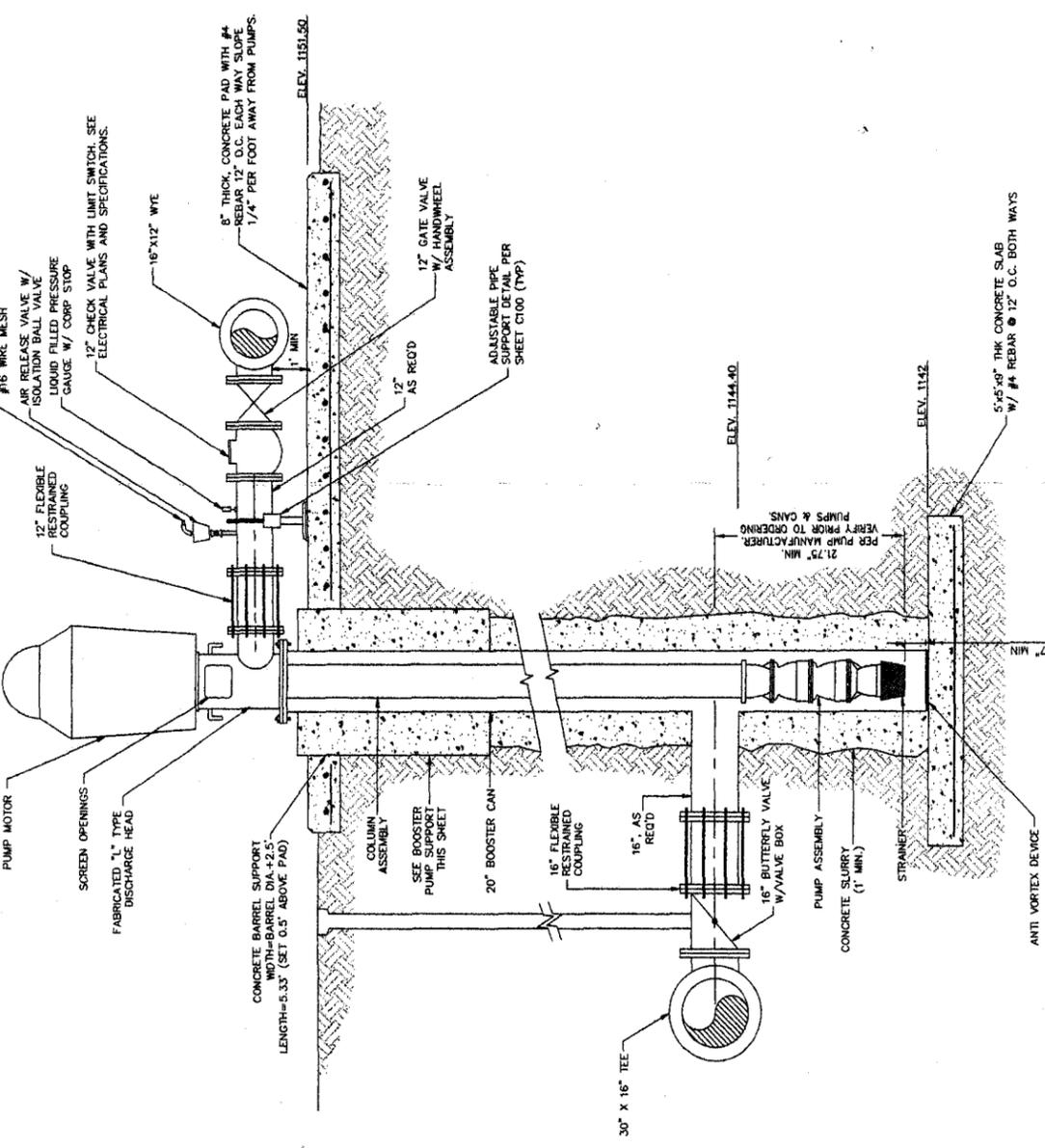


PLAN



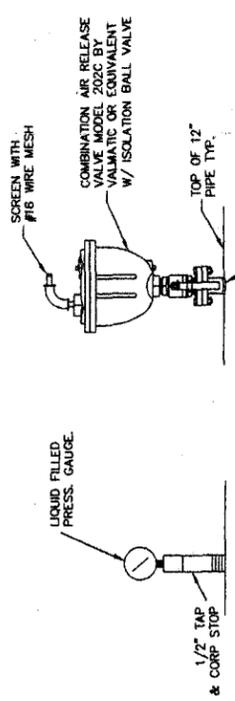
SECTION

BOOSTER PUMP SUPPORT
N.T.S.



TYPICAL VERTICAL TURBINE PUMP DETAIL
N.T.S.

NOTE: SEE SHEET M100 FOR SPECIFIC PUMP, PIPING, AND FITTING SIZES.



PRESSURE GAUGE & AIR RELEASE VALVE
N.T.S.

DATE	REVISION	BY

DAVID EVANS AND ASSOCIATES, INC.
35821 WILLIAM D. ROBERTS
2141 East Highland Avenue, Suite 200
Phoenix, Arizona 85016
Phone: 602.678.5151

RANCHO EL DORADO PUMPING IMPROVEMENTS SANTA CRUZ WATER CO., LLC

DETAIL SHEET

SECTION: 14	TOWNSHIP: 4S	RANGE: 3E
DESIGN BY: JMM	DATE: 11/2005	
CHECKED BY: JMM	PLOTTED BY: JMM	
JOB NO.: GBL0000-0003	SHEET: 4	OF: 17

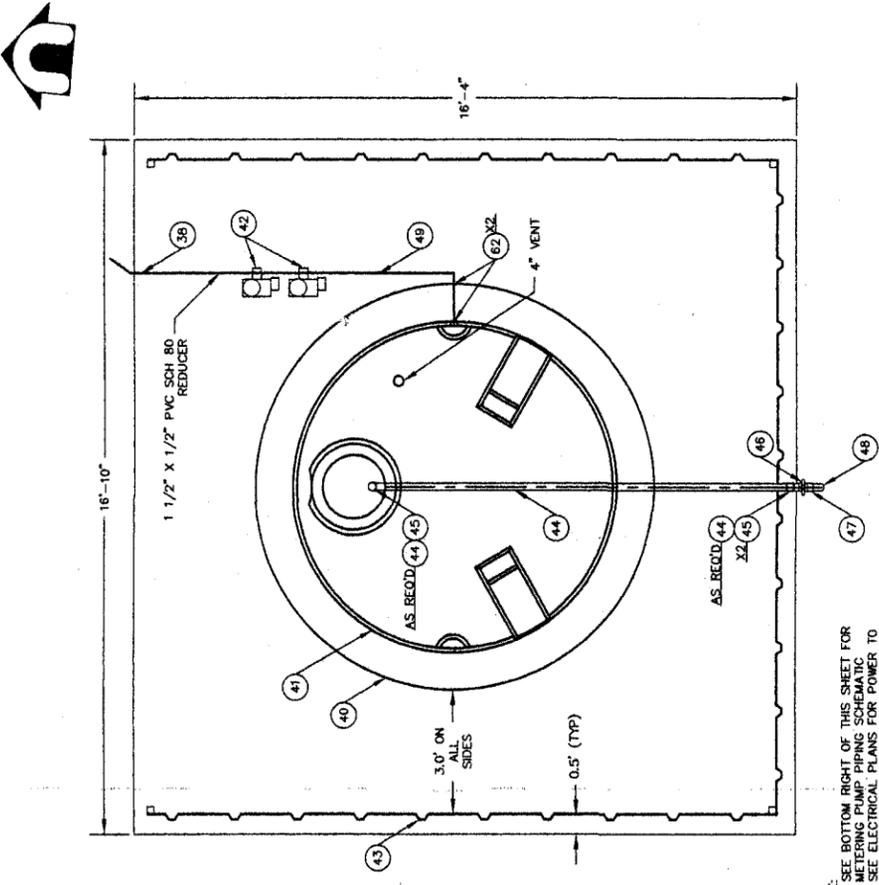
M200

ALL TWO WORKS BARS BEFORE YOU FOR 602-283-1100 1-800-STAKE-IT (OUTSIDE MARICOPA COUNTY)

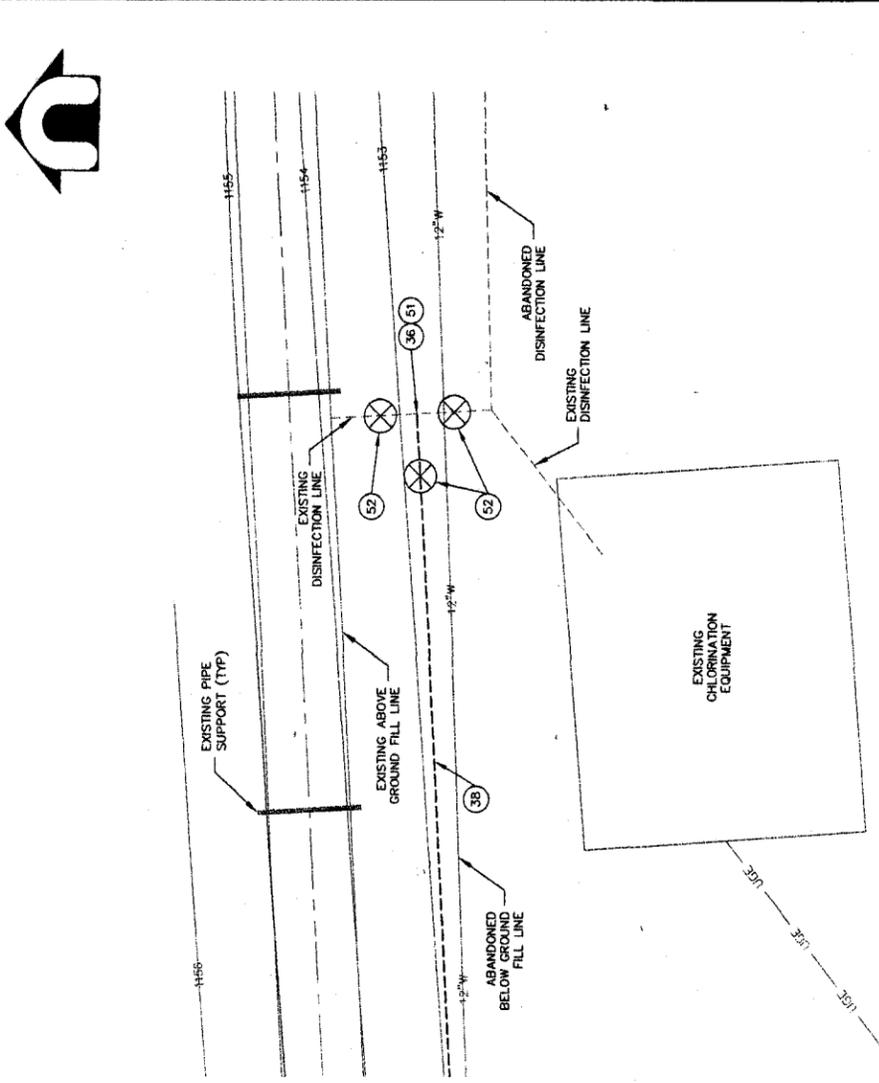
KEYNOTES

- 38 CONNECT TO EXISTING WATERLINE, ADJUST ALIGNMENT HORIZONTALLY AND VERTICALLY AS NECESSARY.
- 39 1-1/2" SCH. 80 PVC & REQUIRED FITTINGS (DISINFECTION INJECTION)
- 40 118" DIA. X 77" TALL (3,370 GALLONS) CONTAINMENT BASIN #6574 BY ROTONICS MFG OR EQUIVALENT
- 41 96" DIA. X 92" TALL (2,500 GALLONS) VERTICAL STORAGE TANK #6386 BY ROTONICS MFG OR EQUIVALENT
- 42 MECHANICALLY ACTUATED METERING PUMP CAPABLE OF HANDLING FLOWS BETWEEN 25 GPD AND 250 GPD BY MILTON ROY OR EQUIVALENT. SEE PROJECT SPECIFICATIONS.
- 43 SHADE STRUCTURE BY ALUMA-LINE OR EQUIVALENT. WALLS TO BE INSTALLED ON WEST, SOUTH, AND EAST SIDES OF STRUCTURE. LEAVE 1" GAP BETWEEN PAD AND BOTTOM OF WALL AND BETWEEN ROOF AND TOP OF WALL. ROOF SHALL OVERHANG WALL BY 1" ALL SIDES. ROOF AND WALLS TO BE ALUMA-WOOD OR EQUIVALENT. CONTRACTOR SHALL COORDINATE W/ STRUCTURE FABRICATOR/INSTALLER FOR SUPPORTING OF LIGHTS.
- 44 2" SCHEDULE 80 PVC (SODIUM HYPOCHLORITE SOLUTION FILL LINE). SECURE TO SHADE STRUCTURE ROOF FRAME.
- 45 2" SCHEDULE 80 PVC 90° (1/4) ELBOW BEND
- 46 2" PVC BALL VALVE
- 47 2" SCHEDULE 80 PVC 45° (1/9) ELBOW BEND
- 48 SANTA CRUZ WATER COMPANY APPROVED CONNECTION. INLET TO BE 4" ABOVE FINISHED GROUND.
- 49 1/2" SCHEDULE 80 PVC AND REQUIRED FITTINGS (DISINFECTION INJECTION)
- 51 PVC TEE. SIZE TO MATCH INJECTION LINES.
- 52 PVC BALL VALVE WITH VALVE BOX AND COVER. SIZE TO MATCH LINE.
- 53 8" THICK SLAB WITH #4 @ 16" O.C. EACH WAY
- 62 FACTORY INSTALLED BULKHEAD FITTING

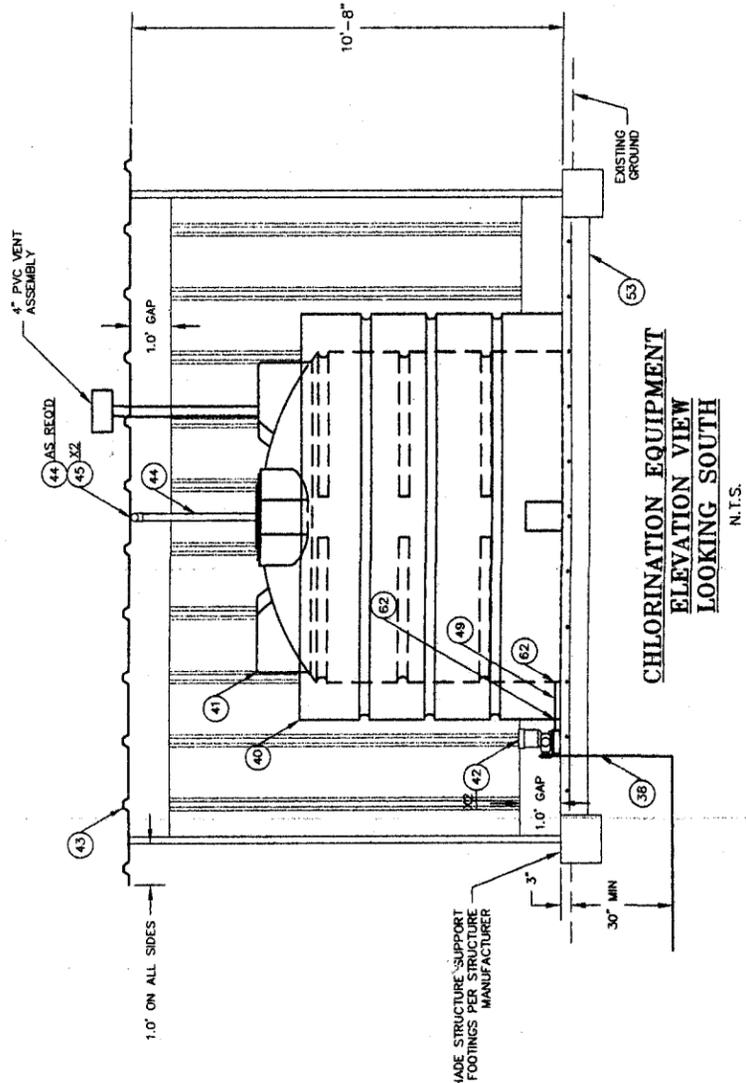
PIPE COATING:
ALL PLASTIC PIPING EXPOSED TO SUNLIGHT SHALL BE COATED OR WRAPPED WITH A SANTA CRUZ WATER COMPANY APPROVED MATERIAL TO PROTECT THE PIPE FROM UV EXPOSURE.



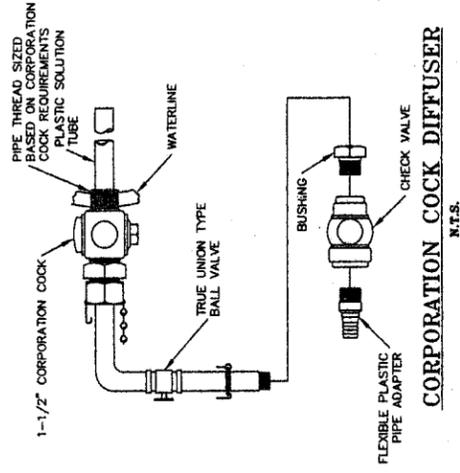
CHLORINATION EQUIPMENT PLAN VIEW
N.T.S.



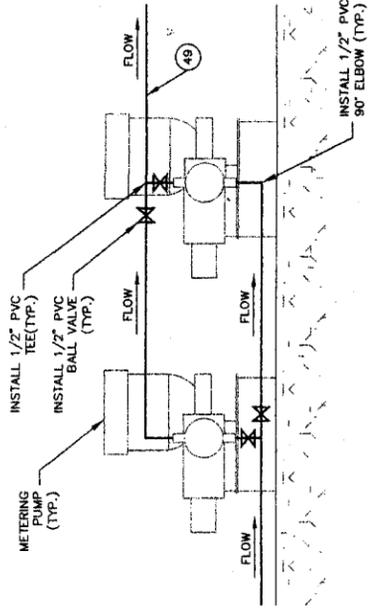
DISINFECTION INJECTION LINE CONNECTION DETAIL
N.T.S.



CHLORINATION EQUIPMENT ELEVATION VIEW LOOKING SOUTH
N.T.S.



CORPORATION COCK DIFFUSER
N.T.S.



NOTE: CONTRACTOR TO INCLUDE CALIBRATION COLUMN, PRESSURE REDUCING VALVES, BACK PRESSURE REGULATOR VALVES, AND ALL OTHER APPURTENANCES REQUIRED BY THE PROJECT SPECIFICATIONS AND THE MANUFACTURER FOR SUCCESSFUL PUMP OPERATION. NOT SHOWN FOR CLARITY.

METERING PUMP PIPING SCHEMATIC
N.T.S.

DATE	REVISION	BY

DAVID EVANS AND ASSOCIATES INC.
35521 WILLOW D. ROBERTS
2141 East Highland Avenue, Suite 200
Phoenix, Arizona 85016
Phone: 602.678.5151

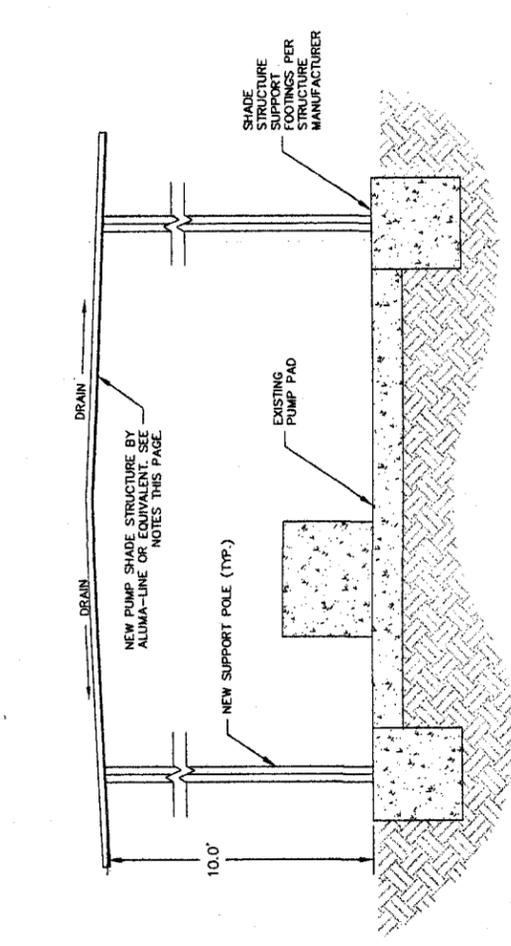
RANCHO EL DORADO PUMPING IMPROVEMENTS
SANTA CRUZ WATER CO., LLC

DETAIL SHEET

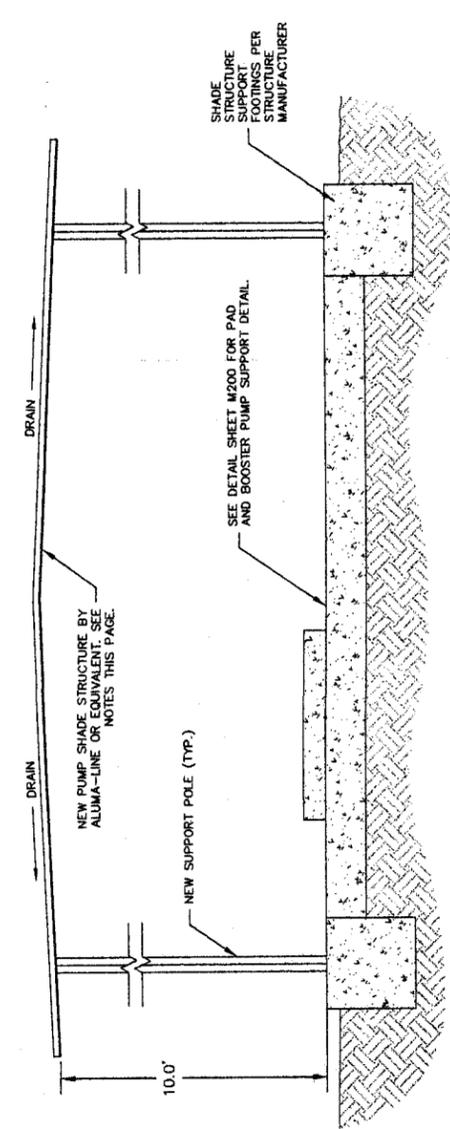
SECTION: 14 TWSHP: 4S RANGE: 3E
DESIGN BY: JDC DATE: 11/2005
CHECKED BY: JDC PLOTTED BY: JMW
JOB NO.: GBL0000-0003 SHEET 5 OF 17

CALLING NUMBER: 602-263-1000
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

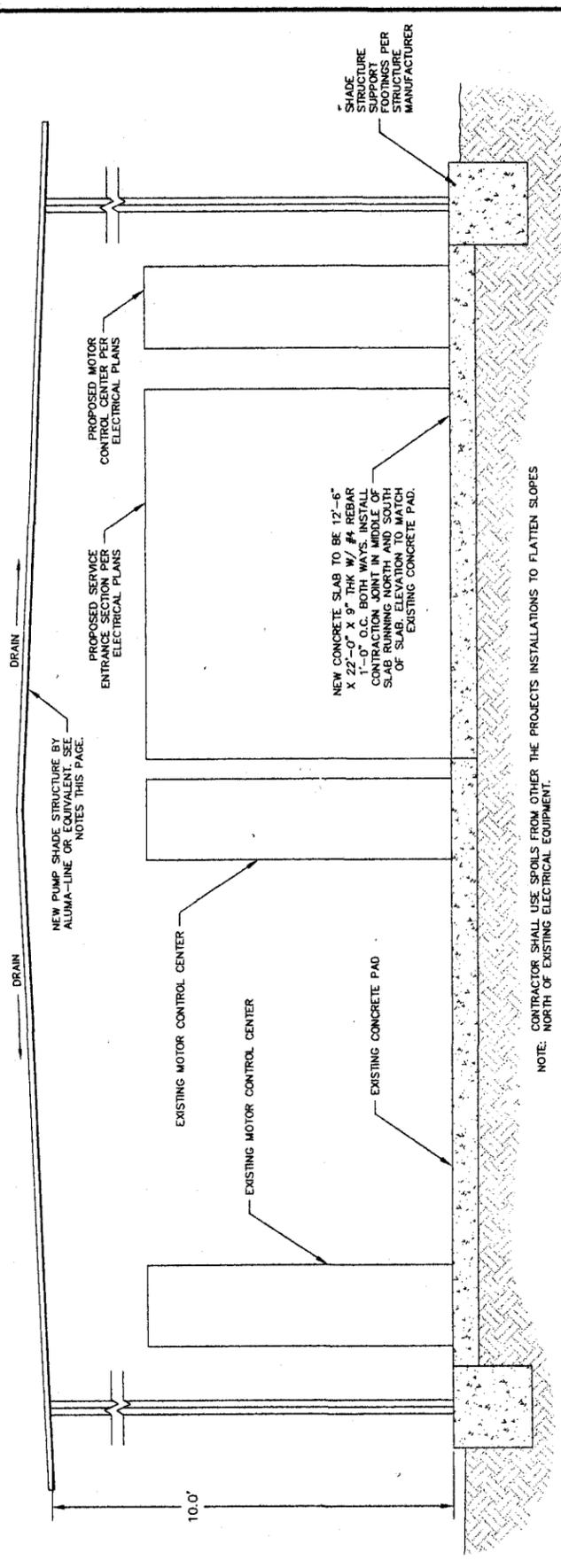
M300



EXISTING PUMPS SHADE STRUCTURE
ELEVATION VIEW
LOOKING EAST
 N.T.S.



NEW PUMP SHADE STRUCTURE
ELEVATION VIEW
LOOKING EAST
 N.T.S.



ELECTRICAL EQUIPMENT SHADE STRUCTURE
ELEVATION VIEW
LOOKING EAST
 N.T.S.

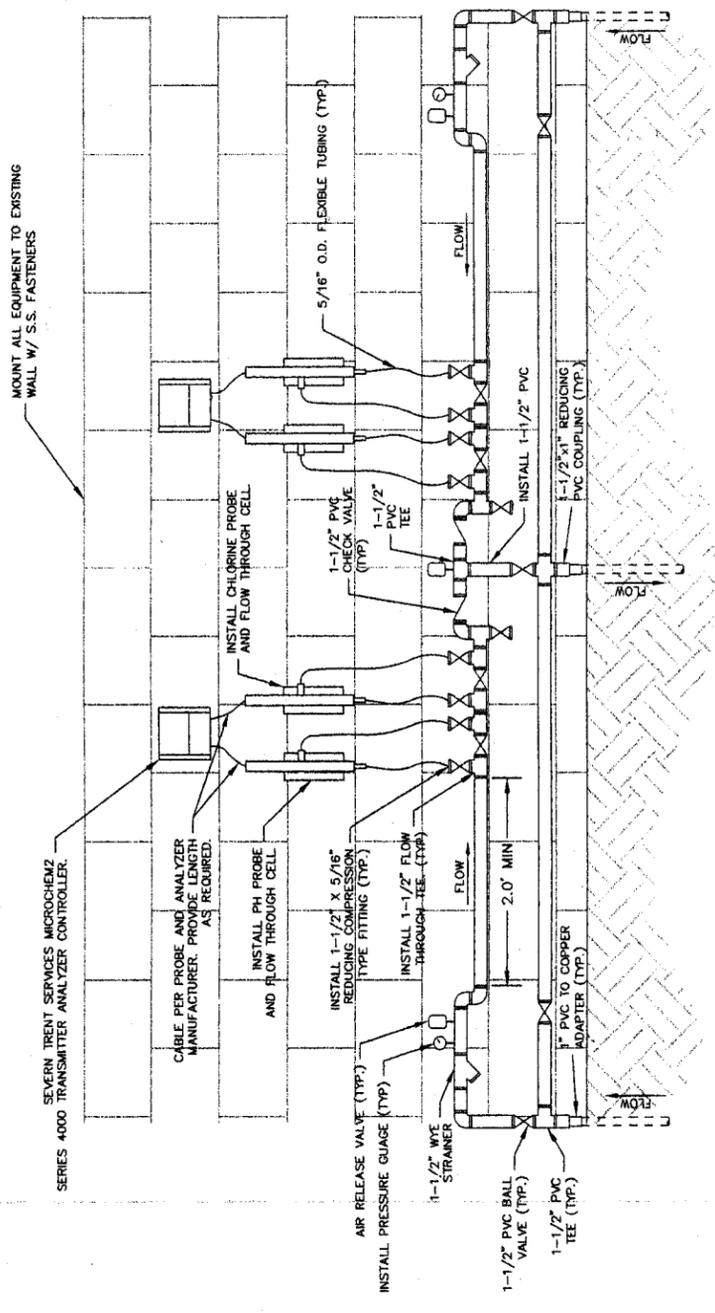
NOTE: CONTRACTOR SHALL USE SPOILS FROM OTHER THE PROJECTS INSTALLATIONS TO FLATTEN SLOPES NORTH OF EXISTING ELECTRICAL EQUIPMENT.

- SHADE STRUCTURE NOTES:**
- STRUCTURES SHALL BE 10' HIGH AT THE LOWEST POINT AND COVER THE ENTIRE SLAB.
 - ALL ROOFS SHALL DRAIN TO THE NORTH AND SOUTH SIDES OF THE SITE.
 - SHADE STRUCTURES SHALL BE ALUMINA-WOOD BY ALUMINA-LINE OR EQUIVALENT.
 - THE SHADE STRUCTURES COLOR SHALL BE DESERT TAN OR AS DIRECTED BY SANTA CRUZ WATER COMPANY.
 - THE STRUCTURES' SHOP DRAWINGS AND DESIGN SHALL BE PREPARED BY THE STRUCTURE'S FABRICATOR/INSTALLER. DESIGN SHALL INCLUDE REQUIRED CONCRETE FOOTINGS/BASES PER STRUCTURE MANUFACTURER. ALL STRUCTURES SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN ARIZONA.
 - CONTRACTOR SHALL COORDINATE W/ STRUCTURE FABRICATOR/INSTALLER FOR SUPPORTING OF LIGHTS.

DATE	REVISION	BY
DAVID EVANS AND ASSOCIATES INC. 2141 East Highland Avenue, Suite 200 Phoenix, Arizona 85016 Phone: 602.678.5151		
RANCHO EL DORADO PUMPING IMPROVEMENTS SANTA CRUZ WATER CO., LLC		
DETAIL SHEET		
SECTION: 14	TWNSHIP: 4S	RANGE: 3E
DESIGN BY: <i>LDK</i>	DATE: 11/2005	
CHECKED BY: <i>LDK</i>	PLOTTED BY: <i>JME</i>	
JOB NO.: GLRL0000-0003		SHEET 6 OF 17

SURVEYING AND MAPPING SERVICES
 602-283-1100
 1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

M400



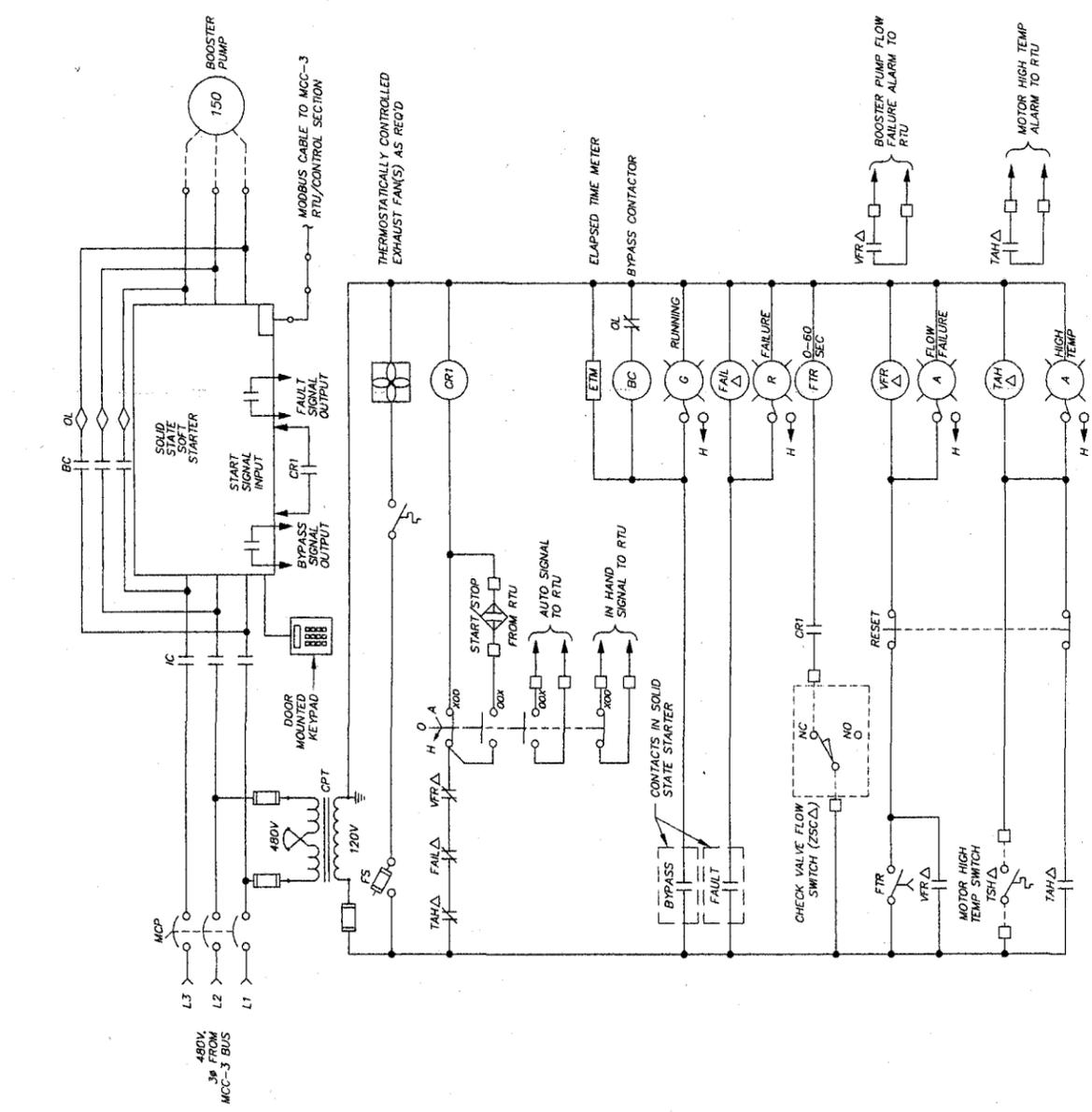
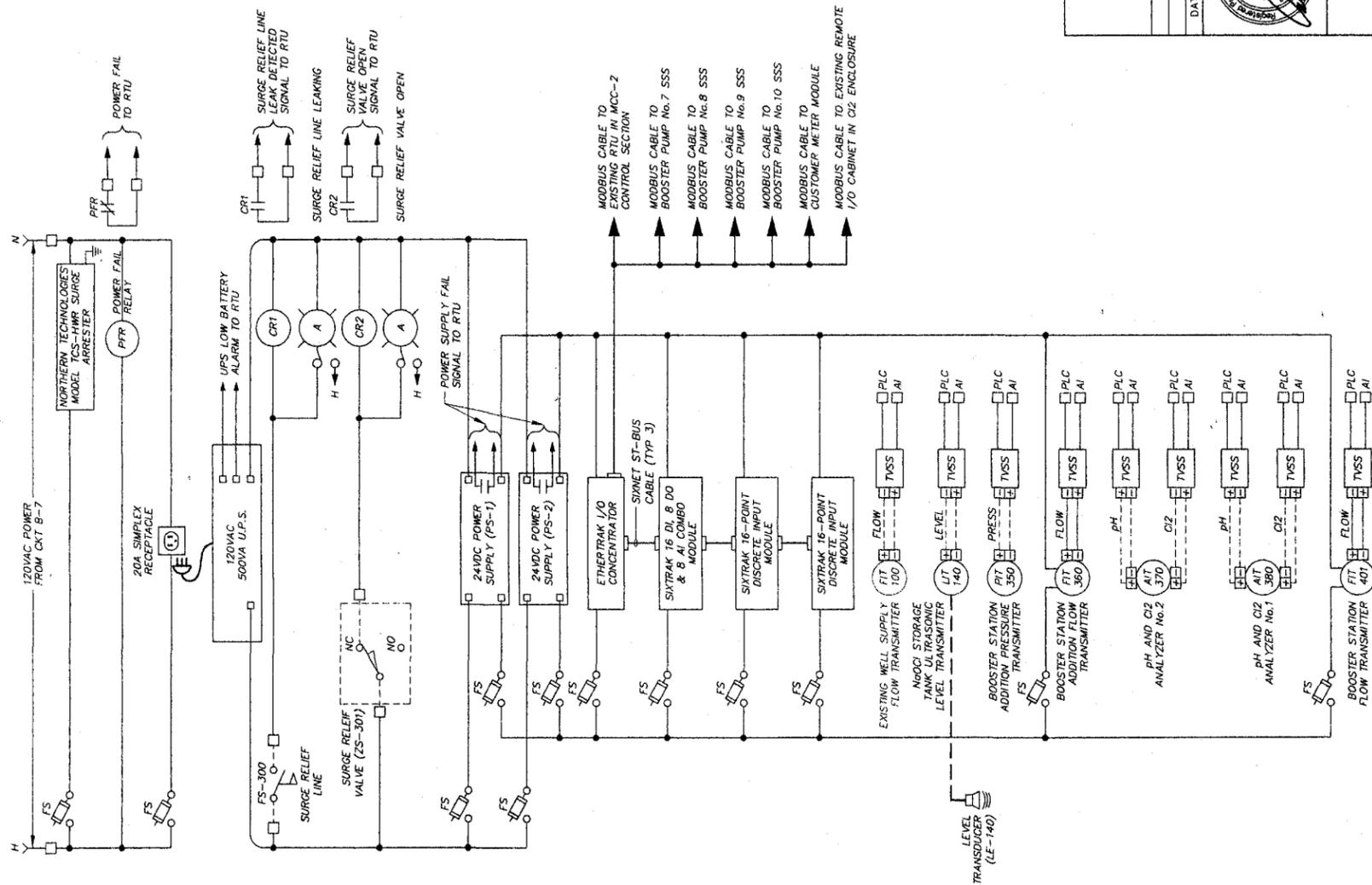
ANALYZER PIPING DETAIL
ELEVATION VIEW

N.T.S.

DATE	REVISION	BY
DAVID EVANS AND ASSOCIATES INC. 2141 East Highland Avenue, Suite 200 Phoenix, Arizona 85016 Phone: 602.673.5151		
RANCHO EL DORADO PUMPING IMPROVEMENTS SANTA CRUZ WATER CO., LLC		
DETAIL SHEET		
SECTION: 14	TWSHP: 4S	RANGE: 3E
DESIGN BY: JP	DATE: 11/2005	
CHECKED BY: JAC	PLOTTED BY: JAC	
JOB NO.: GLRL0000-0003	SHEET 7	OF 17

CALL FOR WORKING DAYS BEFORE YOU GO
 800-263-1100
 1-800-STAKE-IT
 (DUKE WATER COMPANY)

M500



DESCRIPTION
310 BOOSTER PUMP No.7
320 BOOSTER PUMP No.8
330 BOOSTER PUMP No.9
340 BOOSTER PUMP No.10

TYPICAL BOOSTER PUMP MOTOR CONTROL SCHEMATIC
(TYPICAL FOR 4 PUMPS)

NOTE: ONLY ANALOG INPUTS ARE INDICATED TO DISTINGUISH BETWEEN 2-WIRE AND 4-WIRE DEVICES. REFER TO PAID DRAWINGS FOR I/O NOT INDICATED ON THIS SCHEMATIC DIAGRAM.

MCC-3 RTU/CONTROL SECTION PARTIAL SCHEMATIC DIAGRAM

11811 N. TATUM BLVD
SUITE 2700
PHOENIX, AZ 85028
PH: (602) 795-2699
FAX: (602) 795-2647



DAVID EVANS AND ASSOCIATES, INC.
2141 East Highland Avenue, Suite 200
Phoenix, Arizona 85016
PHONE: 602.678.5151

RANCHO EL DORADO
PUMPING IMPROVEMENTS
SANTA CRUZ WATER CO., LLC

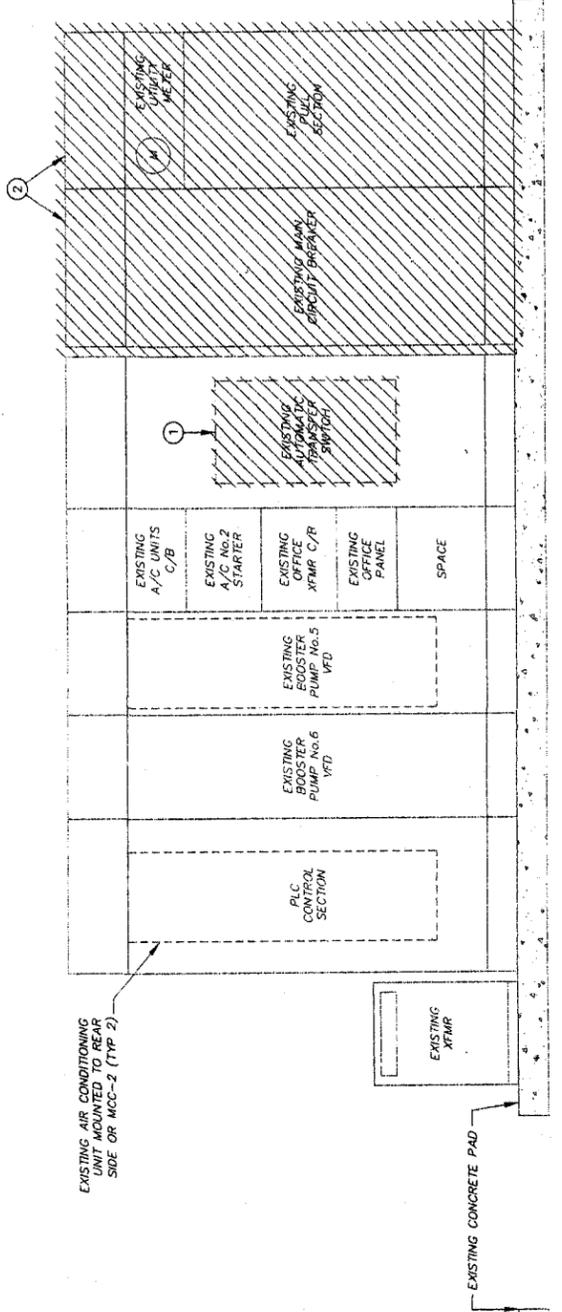
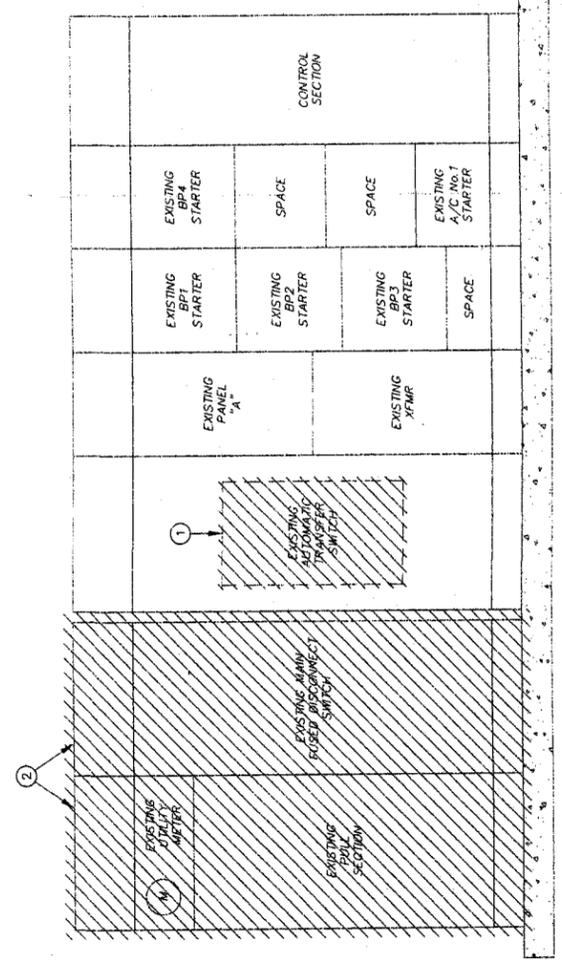
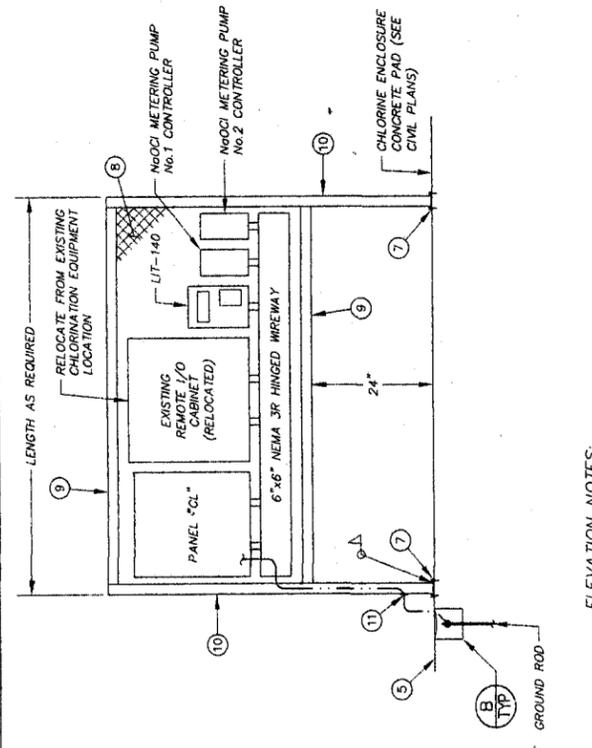
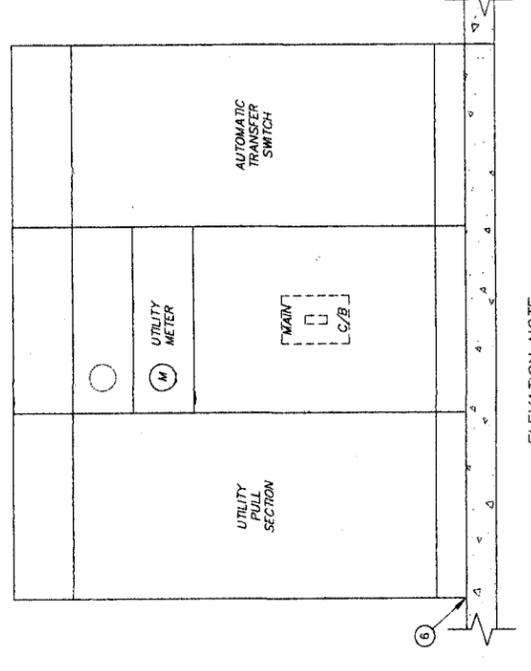
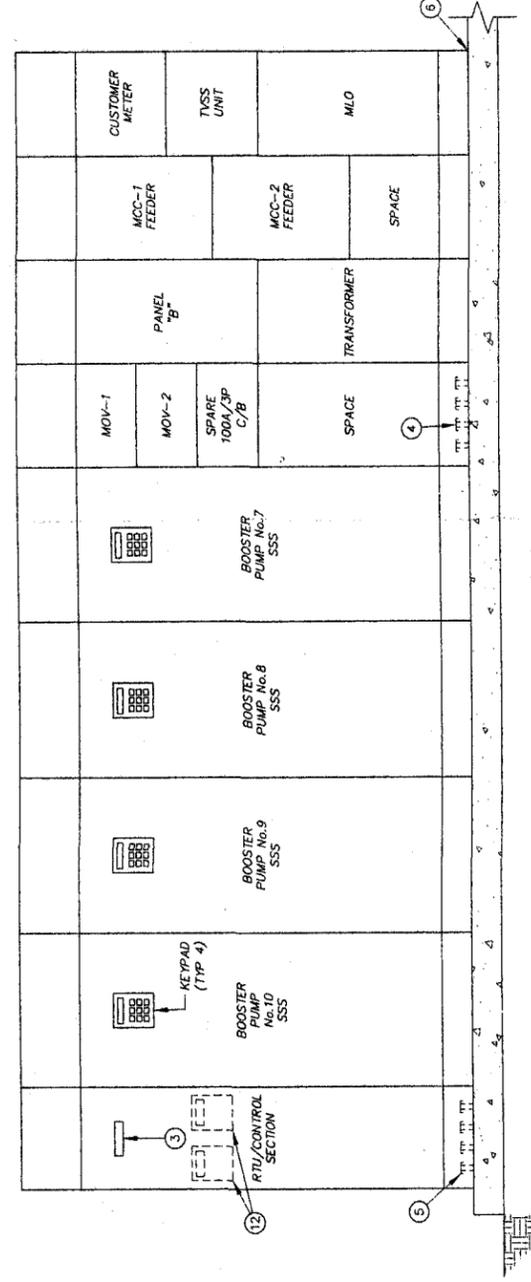
CONTROL SCHEMATICS

SECTION: 14	TWNSHP: 4S	RANGE: 3E
DESIGN BY: JLG	DATE: 11/2005	
CHECKED BY: DAR	DRAWN BY: CS	
JOB NO.: GLBL0000-0003	SHEET: 11	OF: 17

E4

KEYED NOTES

1. EXISTING AUTOMATIC TRANSFER SWITCH TO BE DISCONNECTED, REMOVED AND SALVAGED. DISCONNECT AND REMOVE ALL CONDUCTORS TO SES AND STANDBY GENERATOR.
2. EXISTING SERVICE ENTRANCE SECTION TO BE DISCONNECTED, REMOVED AND SALVAGED. DISCONNECT AND REMOVE ALL CONDUIT AND CONDUCTORS BACK TO UTILITY TRANSFORMER AFTER ED3 HAS DISCONNECTED POWER.
3. LAMICORD NAMEPLATE "RANCHO EL DORADO RTU/CONTROL SECTION No.3".
4. FOUR (4) 2" SPARE CONDUITS STUBBED UP FOR FUTURE USE.
5. NINE (9) 1" SPARE CONDUITS STUBBED UP FOR FUTURE USE.
6. FASTEN SWITCHGEAR TO CONCRETE PAD WITH 3/8" GALVANIZED STEEL CONCRETE ANCHORS.
7. 8" x 8" x 1/4" GALVANIZED STEEL PLATE WITH (4) 1/2" GALVANIZED STEEL CONCRETE ANCHORS.
8. 3/4" TREATED PLYWOOD MOUNTING PANEL.
9. 2-1001 UNISTRUT FRAME AS REQUIRED TO PROPERLY SUPPORT EQUIPMENT.
10. 3" GALVANIZED STEEL POLE WITH END CAP PRIMED AND PAINTED COLOR AS DIRECTED BY DMB.
11. BOND #2 GROUNDING ELECTRODE CONDUCTOR TO EQUIPMENT RACK SUPPORT POST USING A UL LISTED LUG.
12. FLOW TRANSMITTERS FIT-360 AND FIT-401.



11811 N. TATUM BLVD
PHOENIX, AZ 85028
PH: (602) 785-2600
FAX: (602) 785-2647

DAVID EVANS AND ASSOCIATES INC.
2141 East Highland Avenue, Suite 200
Phoenix, Arizona 85016
Phone: 602.678.5151

DATE	REVISION	BY

RANCHO EL DORADO PUMPING IMPROVEMENTS SANTA CRUZ WATER CO., LLC

ELECTRICAL EQUIPMENT ELEVATIONS

SECTION: 14	TWNSHIP: 4S	RANGE: 3E
DESIGN BY: JLG	DATE: 11/2005	
CHECKED BY: DAR	DRAWN BY: CS	
JOB NO. GLBL0000-0003	SHEET 12	OF 17

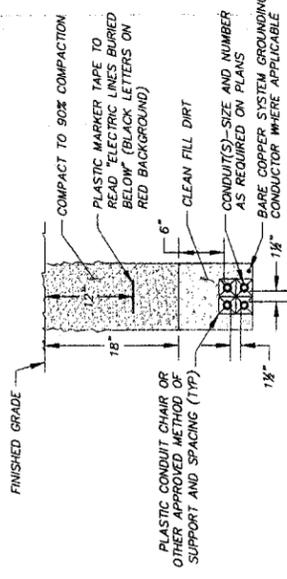
GENERAL NOTES

- A. USE EXTREME CAUTION WHILE BENCHING. NUMEROUS UNDERGROUND ELECTRICAL DUCTBANKS AND WATER PIPELINES EXIST.
- B. SEE DWG E1 FOR LUMINAIRE SCHEDULE.

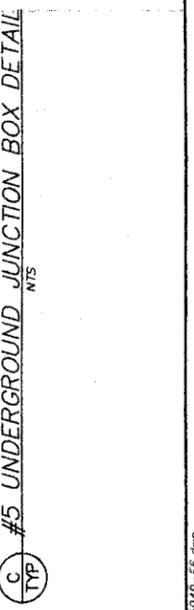
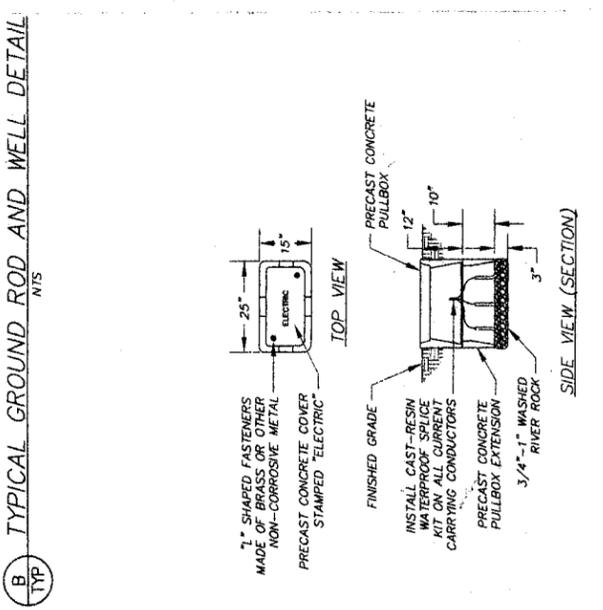
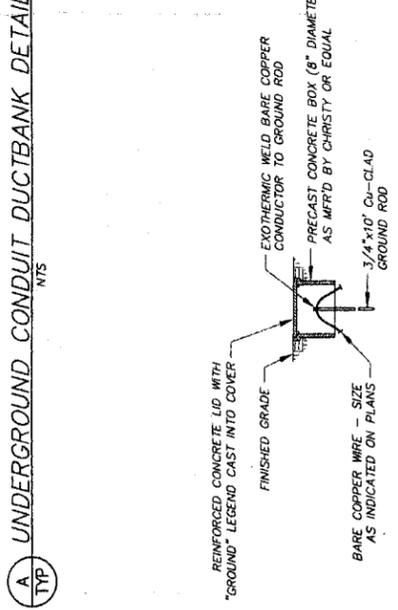
KEYED NOTES

- 1. BOND BARE COPPER GROUNDING ELECTRODE CONDUCTOR TO FLANGE ON DISCHARGE HEADER USING A UL LISTED LUG.
- 2. INSTALL 3/4" X 10' COPPER CLAD GROUND ROD AND WELL PER TYPICAL DETAIL. INSTALL #6 COPPER CONDUCTOR FROM FLOW TUBE GROUNDING RINGS TO THE GROUND ROD.
- 3. STUBUP CONDUIT C300 INTO "S" TYPE BOX MOUNTED AT +12" AFF. EXTEND 2'-#14, #14 GND, 3/4" LFMC TO LIMIT SWITCH ON SURGE RELIEF VALVE. EXTEND 2'-#14, #14 GND, 3/4" LFMC TO FLOW SWITCH (FS-300).
- 4. CHECK VALVE WITH LIMIT SWITCH FOR PROOF-OF-FLOW.
- 5. STUBUP CONDUIT INTO "S" TYPE BOX MOUNTED AT +18" AFF. EXTEND 2'-#14, #14 GND, 3/4" LFMC TO LIMIT SWITCH ON CHECK VALVE. EXTEND 2'-#14, #14 GND, 3/4" LFMC TO MOTOR PEEKERHEAD FOR HIGH TEMP SWITCH.
- 6. INSTALL 120V, 20A LIGHT SWITCH AND 120V, 20A, GFCI, DUPLEX RECEPTACLE ON SHADE STRUCTURE POST IN BELL BOX WITH MP COVER AT 42" ABOVE CONCRETE PAD. PROVIDE MOUNTING PLATE ATTACHED TO SHADE STRUCTURE SUPPORT POST AND PAINTED TO MATCH. INSTALL 2'-#12, #12 GND, 3/8" EMT CONDUIT TO (4) SHADE CONDUIT LIGHTS AND PANEL 'B' (CKT B-3).

CONDUIT & CONDUCTOR SCHEDULE			ROUTING INFORMATION		REMARKS
CONDUIT TAG	CONDUIT SIZE	CONDUIT TYPE	CONDUIT FROM	CONDUIT TO	REMARKS
C101A	4"	4400KCMIL	#30 SERVAE ENTRANCE SECTION (SES)	MOTOR CONTROL CENTER No. 3 (MCC-3)	
C101B	4"	4400KCMIL	#30 SERVAE ENTRANCE SECTION (SES)	MOTOR CONTROL CENTER No. 1 (MCC-1)	
C101C	4"	4400KCMIL	#30 SERVAE ENTRANCE SECTION (SES)	ELECTRICAL EQUIPMENT SHADE CANOPY (L) (RELEF)	CKT B-1
C102	3/4"	2-#12	#1 MOTOR CONTROL CENTER No. 1 (MCC-1)	EXISTING MOTOR CONTROL CENTER No. 1 (MCC-1)	
C103	4"	4400KCMIL	#1 MOTOR CONTROL CENTER No. 1 (MCC-1)	EXISTING MOTOR CONTROL CENTER No. 1 (MCC-1)	
C104	4"	4400KCMIL	#1 MOTOR CONTROL CENTER No. 1 (MCC-1)	EXISTING MOTOR CONTROL CENTER No. 1 (MCC-1)	
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C200	4"	4400KCMIL	#1 MOTOR CONTROL CENTER No. 1 (MCC-1)	EXISTING MOTOR CONTROL CENTER No. 1 (MCC-1)	



- NOTES:**
1. ALL DIMENSIONS INDICATED ABOVE ARE MINIMUM.
 2. SPARE CONDUITS MUST BE LOCATED ON TOP OF DUCTBANKS.
 3. THIS DETAIL APPLIES IN ALL CASES WHETHER SPECIFICALLY REFERRED TO OR NOT.
 4. THIS DETAIL DOES NOT APPLY TO UTILITY DUCTBANKS.



E6

DARECO

11811 N. TATUM BLVD
SUITE 2700
DALLAS, TX 75243
TEL: (972) 796-2880
FAX: (972) 796-2847

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REVISION: _____

BY: _____

DAVID EVANS AND ASSOCIATES INC.

2141 East Highwood Avenue, Suite 200
Frisco, TX 75034
Phone: 802.678.5151

RANCHO EL DORADO

PUMPING IMPROVEMENTS

SANTA CRUZ WATER CO., LLC

ELECTRICAL DETAILS & CONDUIT & CONDUCTOR SCHEDULE

SECTION: 14

TWSHP: 4S

RANGE: 3E

CHECKED BY: JLG

DATE: 11/2005

DRAWN BY: CS

JOB NO: GBL0000-0003

SHEET 13

OF 17

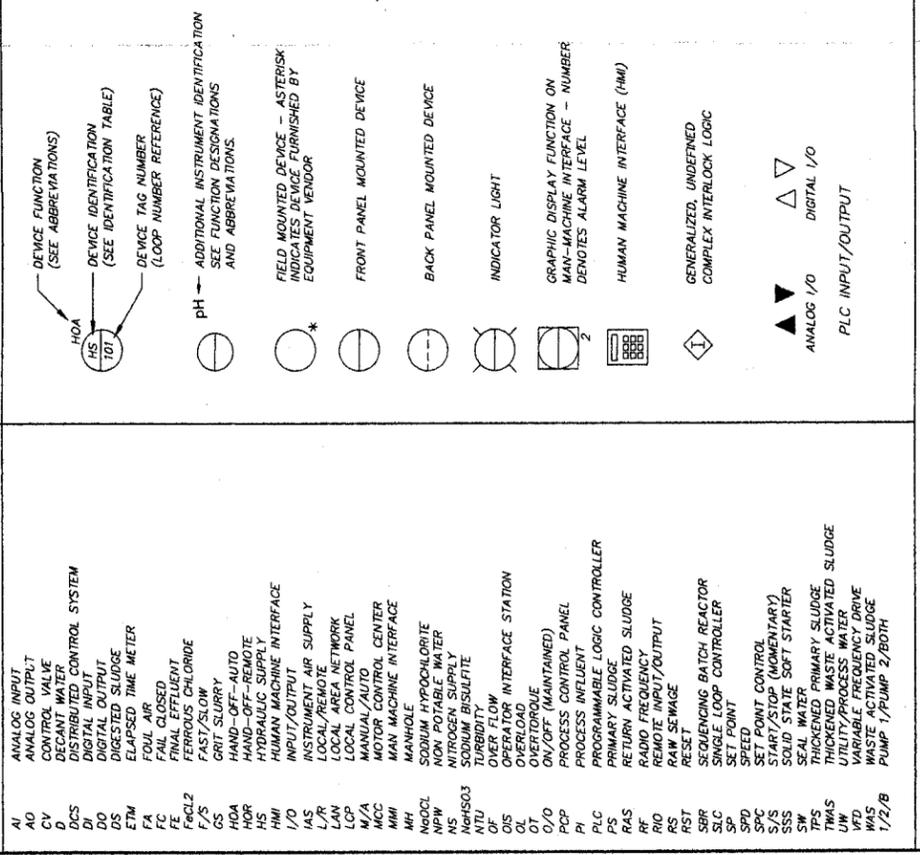
INSTRUMENT IDENTIFICATION TABLE

FIRST LETTER	MEASURED VARIABLE	SUCCEEDING LETTER(S)	OUTPUT FUNCTION	MODIFIER
A	ANALYSIS		ALARM	
B	BURNER	COMBUSTION	CONTROL	CLOSED
C	CONDUCTIVITY		DIFFERENTIAL	
D	DENSITY		PRIME ELEMENT	
E	FLOW RATE		FAILURE	FAST
F	GAUGE		GLASS WEIGH DEVICE	HIGH
G	HAND (MANUAL)		INDICATE	
H	CURRENT (ELECTRICAL)			
I	POWER			
J	TIME RATE OF CHANGE			
K	LEVEL			LOW
L	MOTION			MISCAL
M	TORQUE			NORMAL
N	PRESSURE	VACUUM		OPEN
O	QUANTITY		INTEGRATE, TOTALIZE	
R	RADIATION		RECORD OR PRINT	
S	SPEED, FREQUENCY		SWITCH	SLOW
T	TEMPERATURE		TRANSMIT	
U	MULTIVARIABLE		MULTIFUNCTION	
V	VIBRATION		VALVE, LOUVER	
W	WEIGHT FORCE		UNCLASSIFIED	
X	WEIGHT FORCE		RELAY COMPUTE CONVERT	
Y	EVENT STATE, PRESENCE		DRIVER, ACTUATOR	
Z	POSITION			

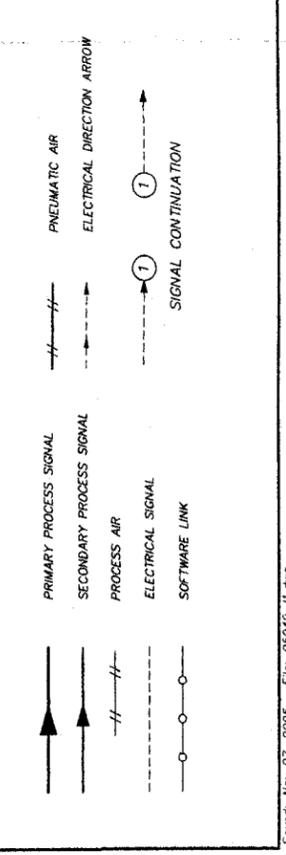
ABBREVIATIONS

AI	ANALOG INPUT
AO	ANALOG OUTPUT
CV	CONTROL VALVE
DCS	DECENTRATED CONTROL SYSTEM
DI	DIGITAL INPUT
DO	DIGITAL OUTPUT
DS	DIGESTED SLUDGE
ETM	ELAPSED TIME METER
F	FINAL CLOSED
FE	FERRIC CHLORIDE
F/S	FAST/SLOW
GS	GRIT SLURRY
HDA	HAND-OFF-AUTO
HOR	HAND-REMOTE
HS	HYDRAULIC SUPPLY
HMI	HUMAN MACHINE INTERFACE
I/O	INPUT/OUTPUT
IAS	INSTRUMENT AIR SUPPLY
LAN	LOCAL AREA NETWORK
LCP	LOCAL CONTROL PANEL
M/A	MANUAL/AUTO
MCC	MOTOR CONTROL CENTER
MHI	MAN MACHINE INTERFACE
MH	MANHOLE
NGCL	SODIUM HYPOCHLORITE
NPW	NON POTABLE WATER
NS	NITROGEN SUPPLY
NS03	NITROGEN SULFITE
NTU	TURBIDITY
OF	OVER FLOW
OIS	OPERATOR INTERFACE STATION
OL	OVERLOAD
O/D	OVERDROUPE
OP	ON/OFF (MAINTAINED)
PCP	PROCESS CONTROL PANEL
Pi	PROCESS INFLUENT
PLC	PROGRAMMABLE LOGIC CONTROLLER
PS	PRIMARY SLUDGE
RAS	RETURN ACTIVATED SLUDGE
RF	RADIO FREQUENCY
RD	RADIATION
RST	PAW SEWAGE
RST	RESET
SBR	SEWAGING BATCH REACTOR
SIC	SINGLE LOOP CONTROLLER
SP	SET POINT
SPD	SPEED
SPC	SET POINT CONTROL
S/S	START/STOP (MOMENTARY)
SSS	SOLID STATE SOFT STARTER
TAS	THICKENED PRIMARY SLUDGE
TMS	THICKENED WASTE WATER
UW	UTILITY/PROCESS WATER
VFD	VARIABLE FREQUENCY DRIVE
WAS	WASTE ACTIVATED SLUDGE
1/2/B	PUMP 1/PUMP 2/BOTH

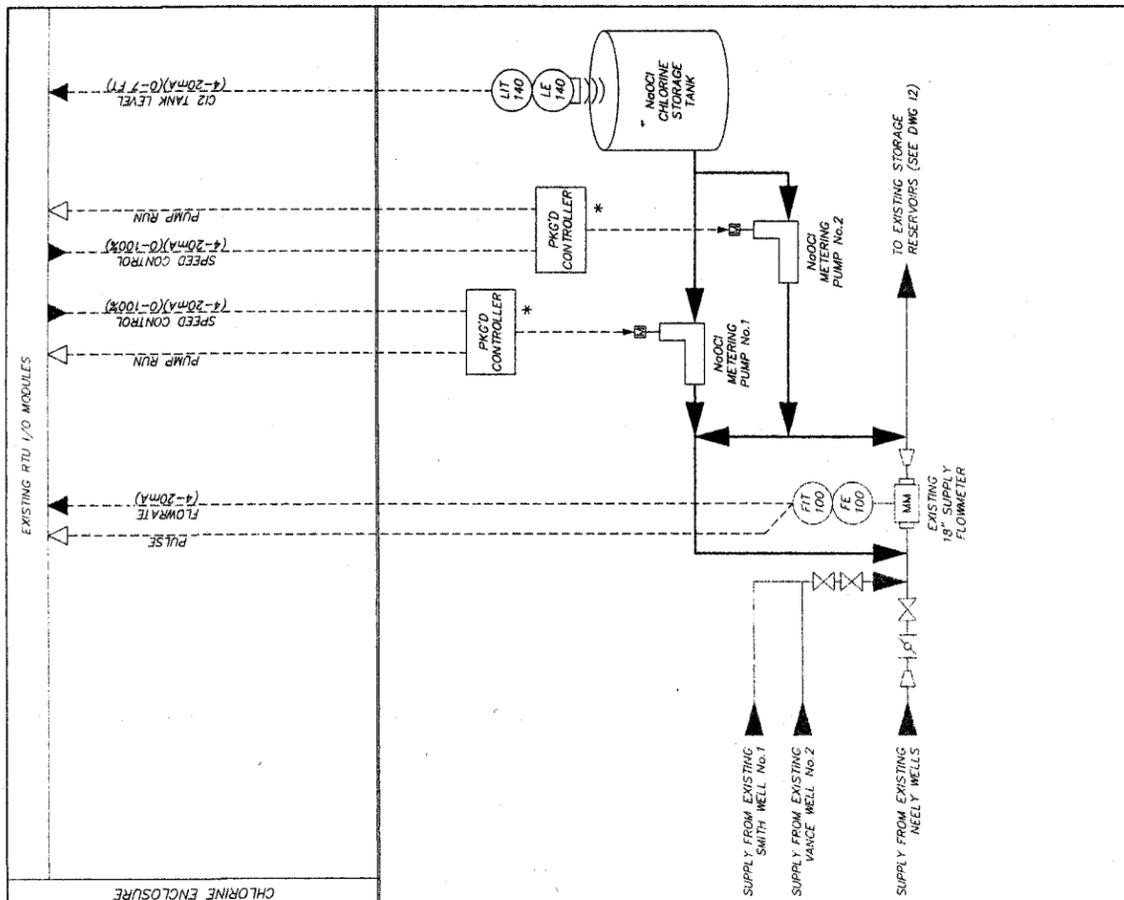
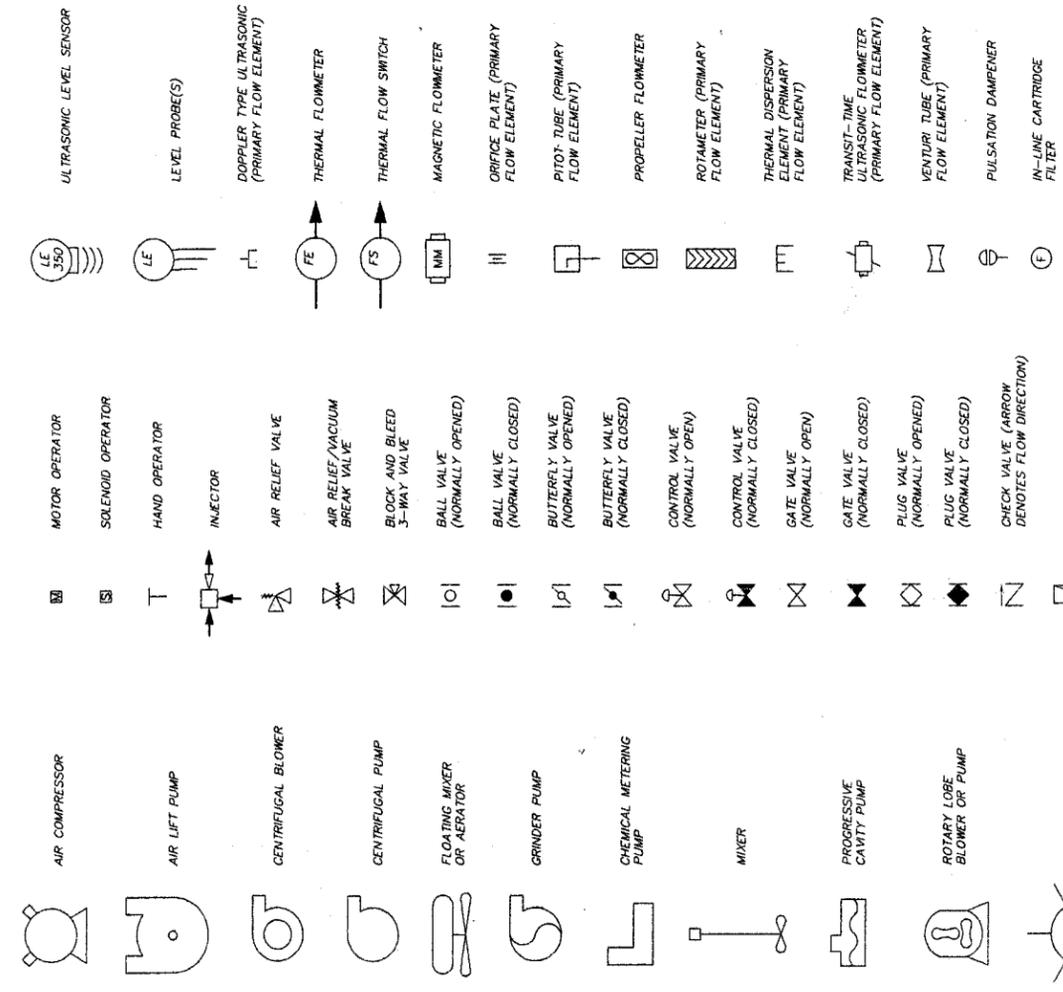
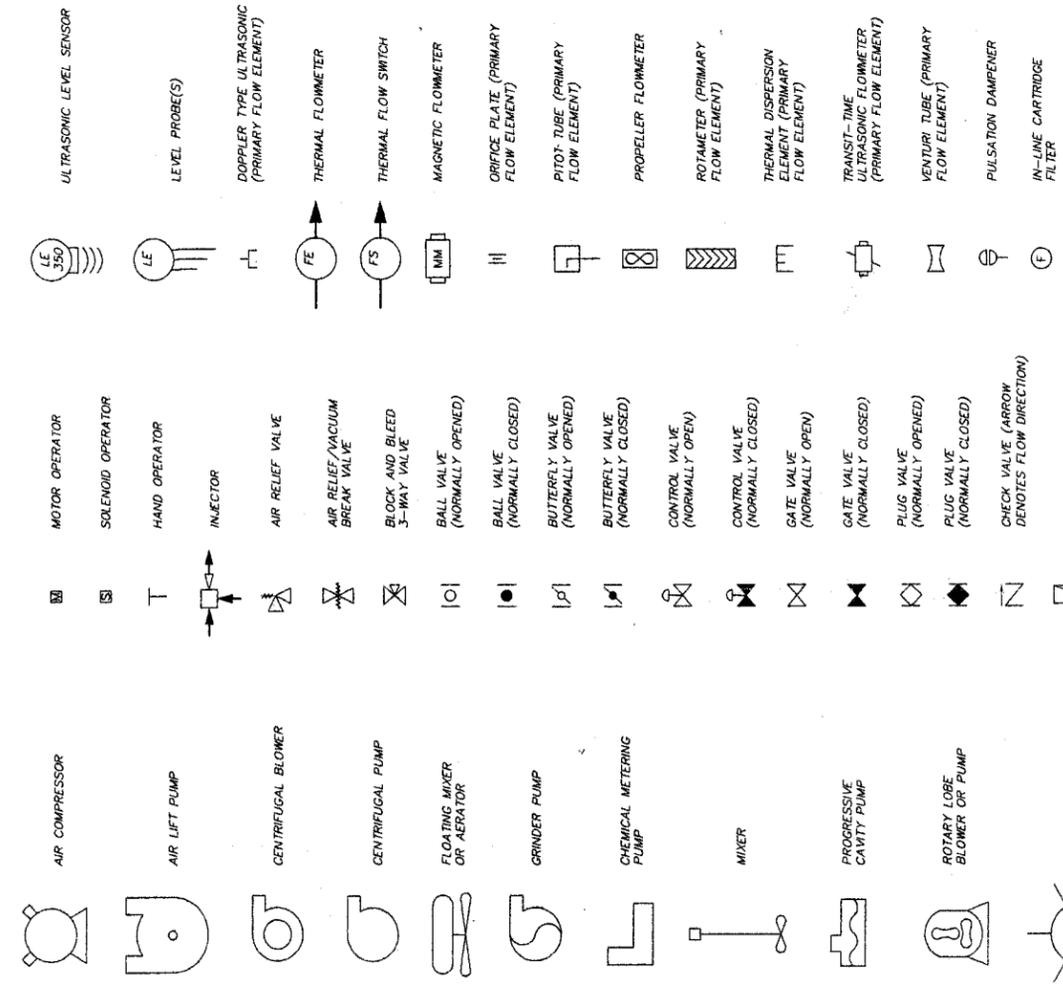
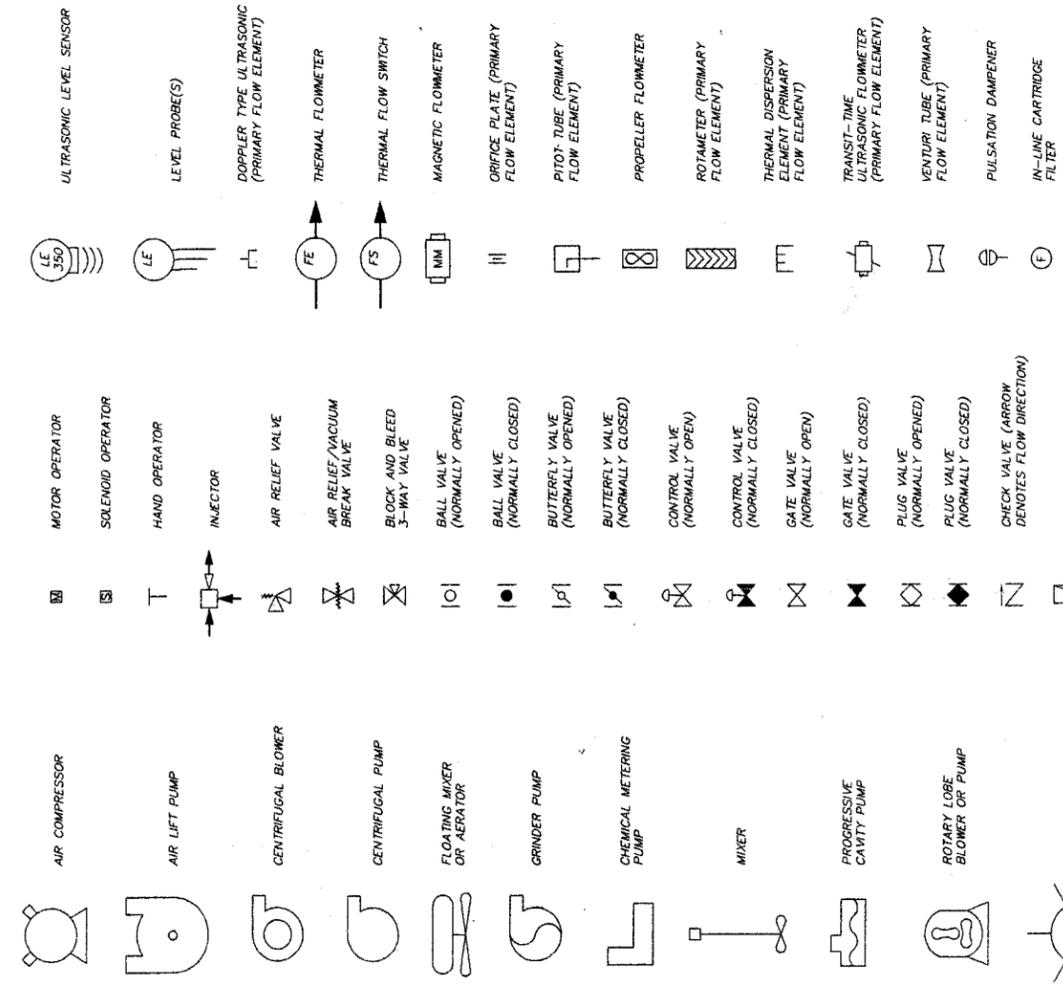
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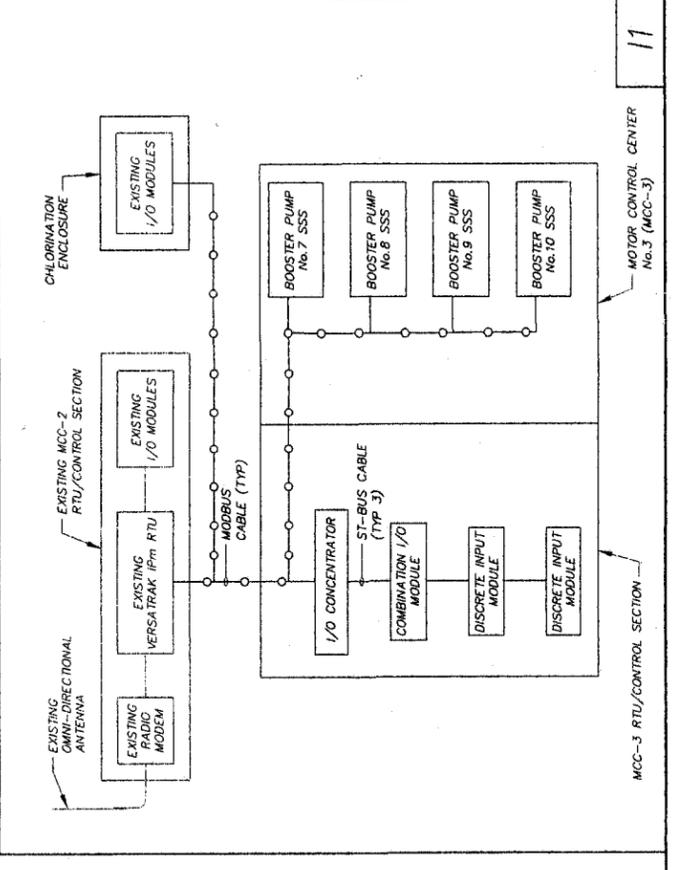
INSTRUMENT LINES



PROCESS FLOW AND MECHANICAL EQUIPMENT SYMBOLS



SCADA BLOCK DIAGRAM



* INDICATES EQUIPMENT FURNISHED AS PART OF A PRE-ENGINEERED PACKAGED SYSTEM.

DARCO

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PHOENIX, AZ 85028
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Fax: (602) 795-2647

CALL FOR THE BEST 263-1100 1-800-STANK-IT (OTHER METERS AVAILABLE)

DAVID EVANS AND ASSOCIATES INC.

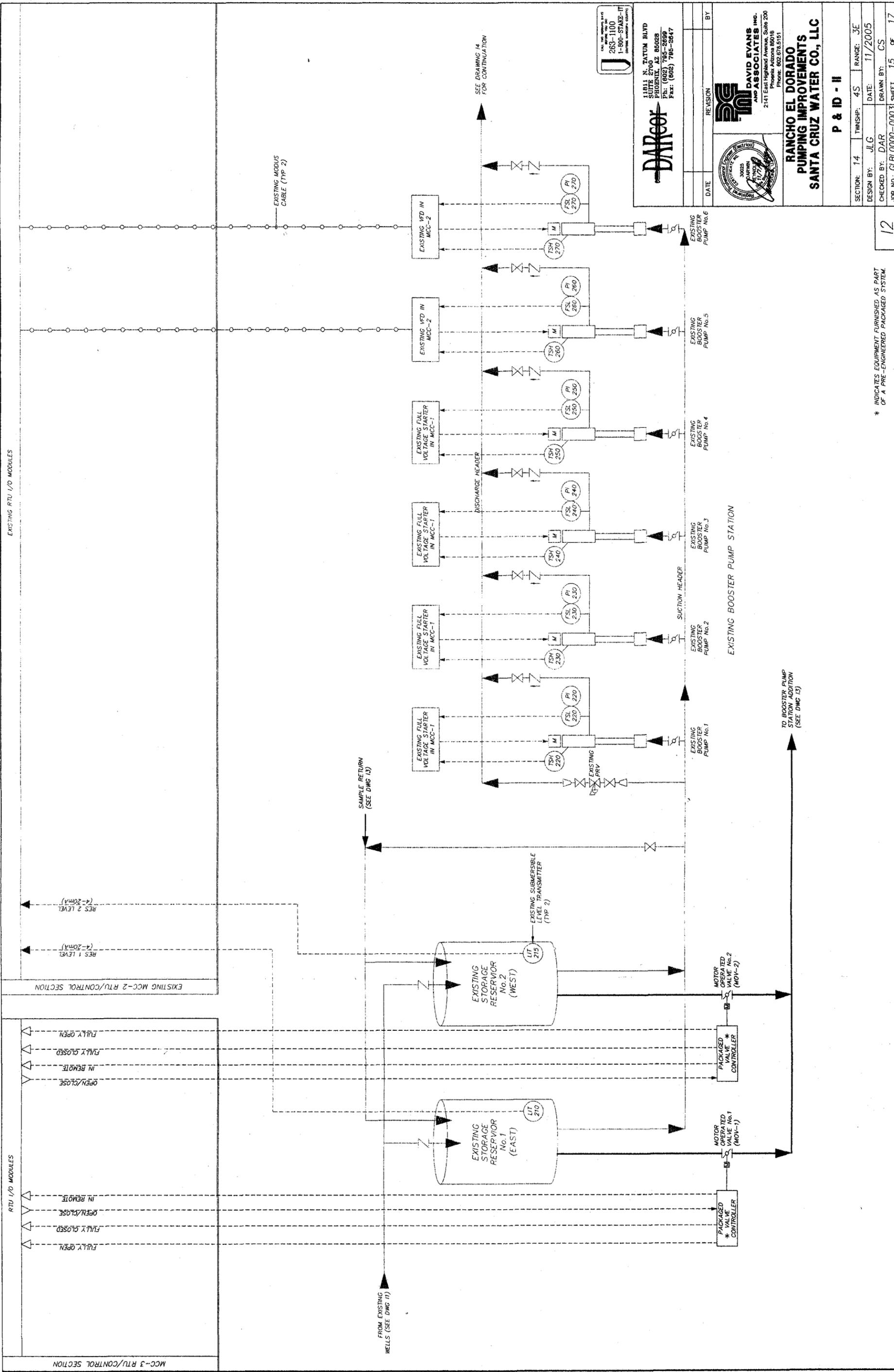
2141 East Highland Avenue, Suite 200
Phoenix, Arizona 85016
Phone: 602.678.5151

RANCHO EL DORADO PUMPING IMPROVEMENTS

SANTA CRUZ WATER CO., LLC

P & ID - I

SECTION: 14 TWSHP: 4S RANGE: 3E
DESIGN BY: JLG DATE: 11/2005
CHECKED BY: DAI DRAWN BY: CS
JOB NO.: GLB0000-0003 SHEET 14 OF 17



EXISTING RTU I/O MODULES

RES 2 LEVEL (4-20mA)

RES 1 LEVEL (4-20mA)

EXISTING MCC-2 RTU/CONTROL SECTION

RTU I/O MODULES

MCC-3 RTU/CONTROL SECTION

DARCO
 1111 N. DATUM BLVD
 SUITE 2700
 PHOENIX, AZ 85028
 Ph: (602) 765-2699
 Fax: (602) 795-2647

CALL FOR BIDDING, 24 HRS
 268-1100
 1-800-STALE-IT

DAVID EVANS AND ASSOCIATES INC.
 2141 East Highland Avenue, Suite 200
 Phoenix, Arizona 85016
 Phone: 602.678.5151

DATE	REVISION	BY

RANCHO EL DORADO PUMPING IMPROVEMENTS SANTA CRUZ WATER CO., LLC

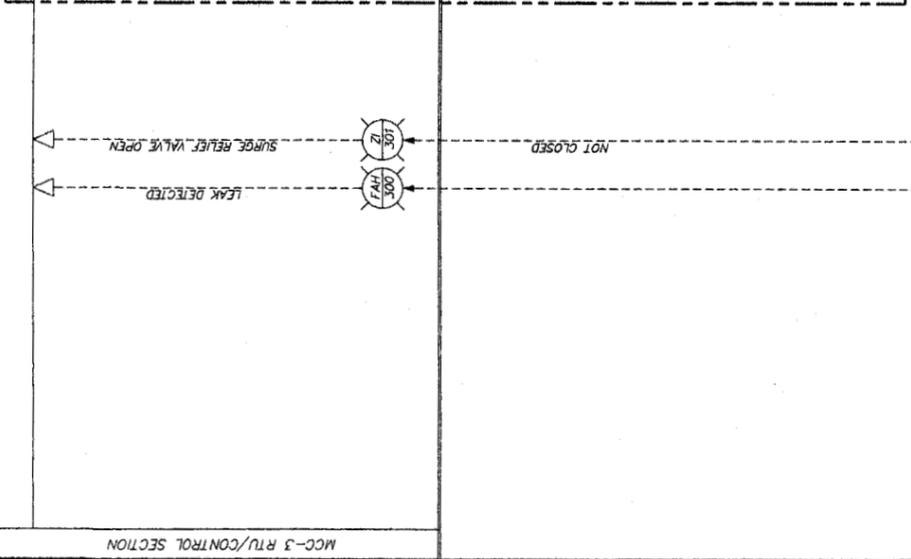
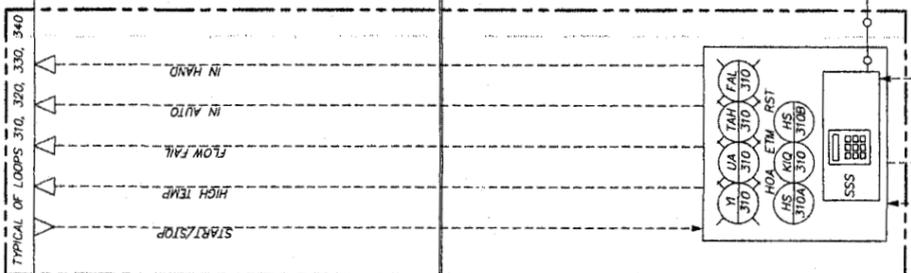
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SECTION: 14	TWNSHP: 4S	RANGE: 3E
DESIGN BY: JLG	DATE: 11/2005	
CHECKED BY: DAR	DRAWN BY: CS	
JOB NO.: GLEB0000-0003	SHEET 15	OF 17

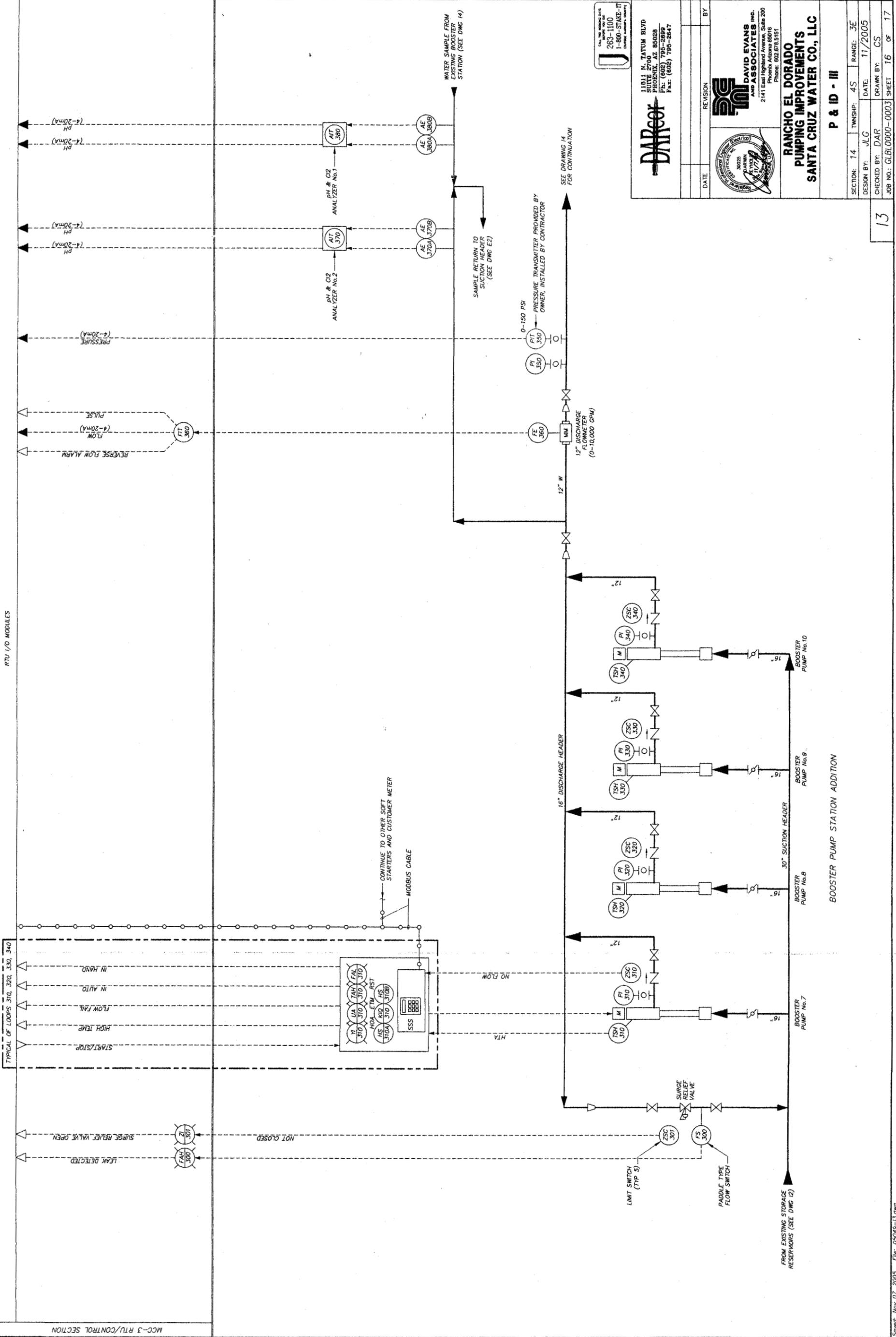
12

* INDICATES EQUIPMENT FURNISHED AS PART OF A PRE-ENGINEERED PACKAGED SYSTEM.

RTU I/O MODULES



MCC-3 RTU/CONTROL SECTION



DARCOR
11811 N. TATUM BLVD
SUITE 1700
PHOENIX, AZ 85028
TEL: (602) 795-2800
FAX: (602) 795-2847

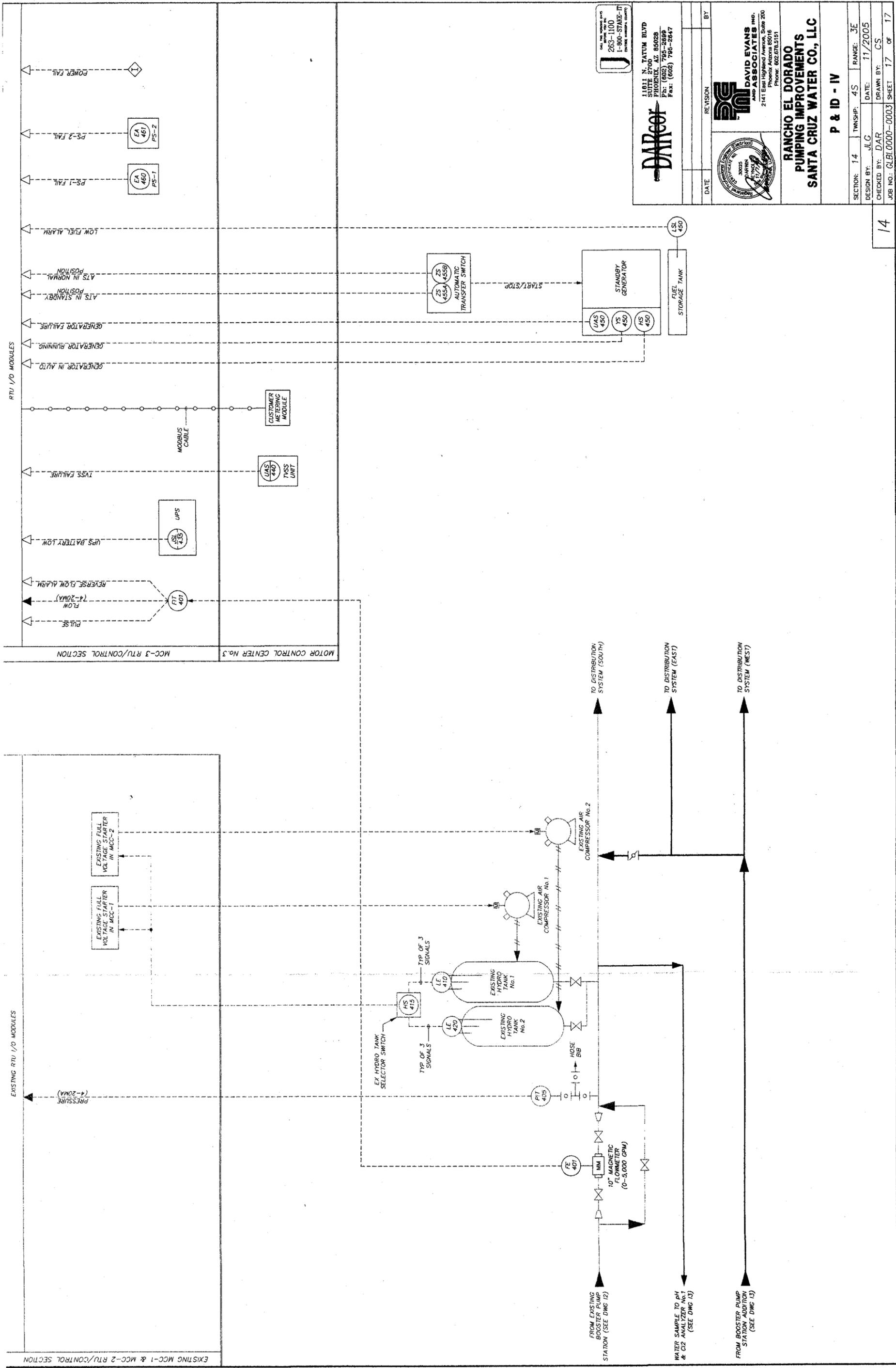
DAVID EVANS AND ASSOCIATES INC.
P. O. BOX 30225
2141 East Highland Avenue, Suite 200
Phoenix, Arizona 85016
Phone: 602.678.5151

RANCHO EL DORADO PUMPING IMPROVEMENTS
SANTA CRUZ WATER CO., LLC

P & ID - III

DATE	REVISION	BY

SECTION: 14 TOWNSHIP: 4S RANGE: 3E
DESIGN BY: JLG DATE: 11/2005
CHECKED BY: DAR DRAWN BY: CS
JOB NO.: GLEB0000-0003 SHEET 16 OF 17




 11811 N. TATUM BLVD
 SUITE 2700
 PHOENIX, AZ 85028
 P: (602) 795-2889
 F: (602) 795-2847


DAVID EVANS AND ASSOCIATES INC.
 2141 East Highland Avenue, Suite 200
 Phoenix, AZ 85016
 Phone: 602.678.5151

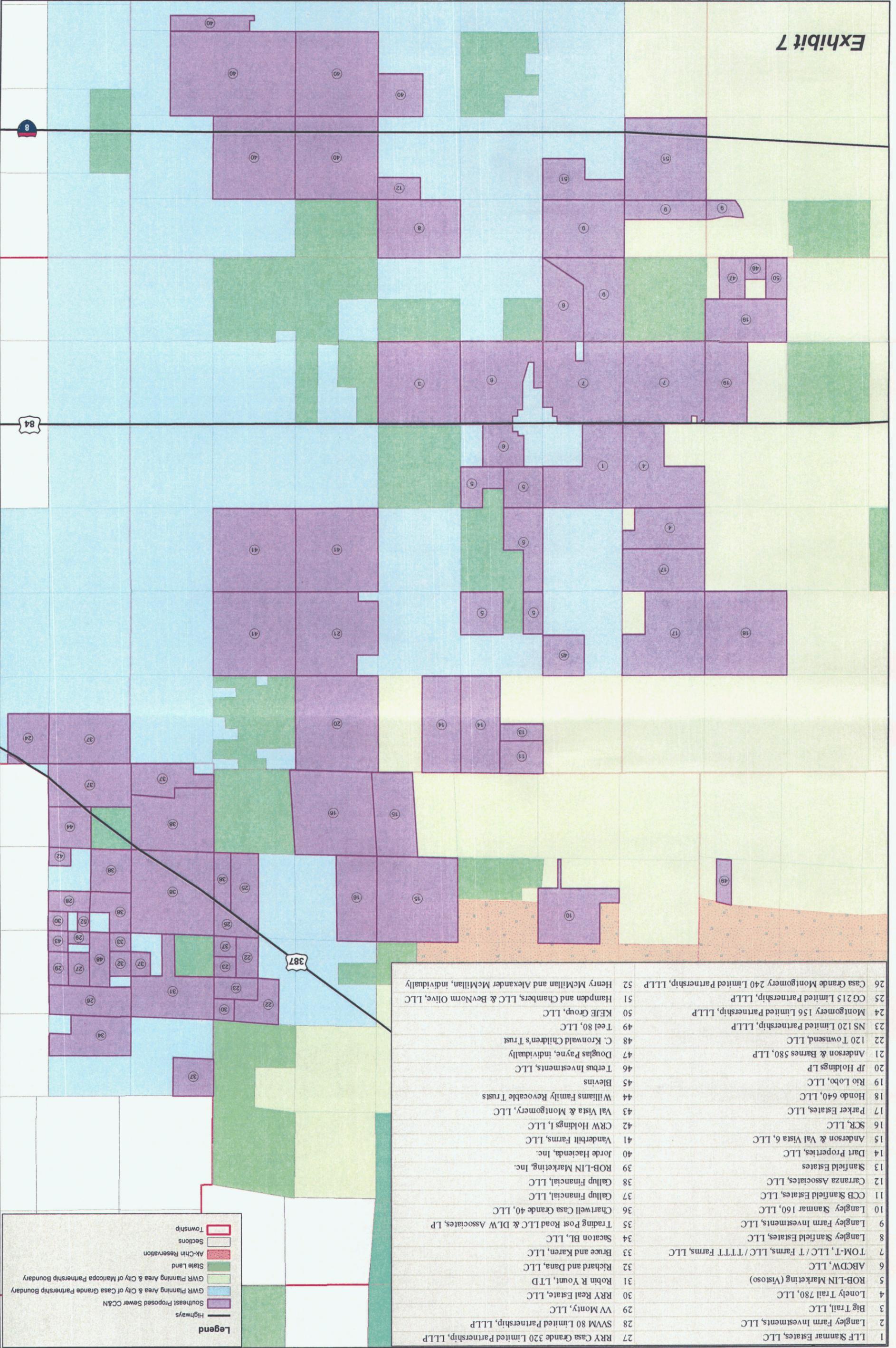
**RANCHO EL DORADO
 PUMPING IMPROVEMENTS
 SANTA CRUZ WATER CO., LLC**

P & ID - IV

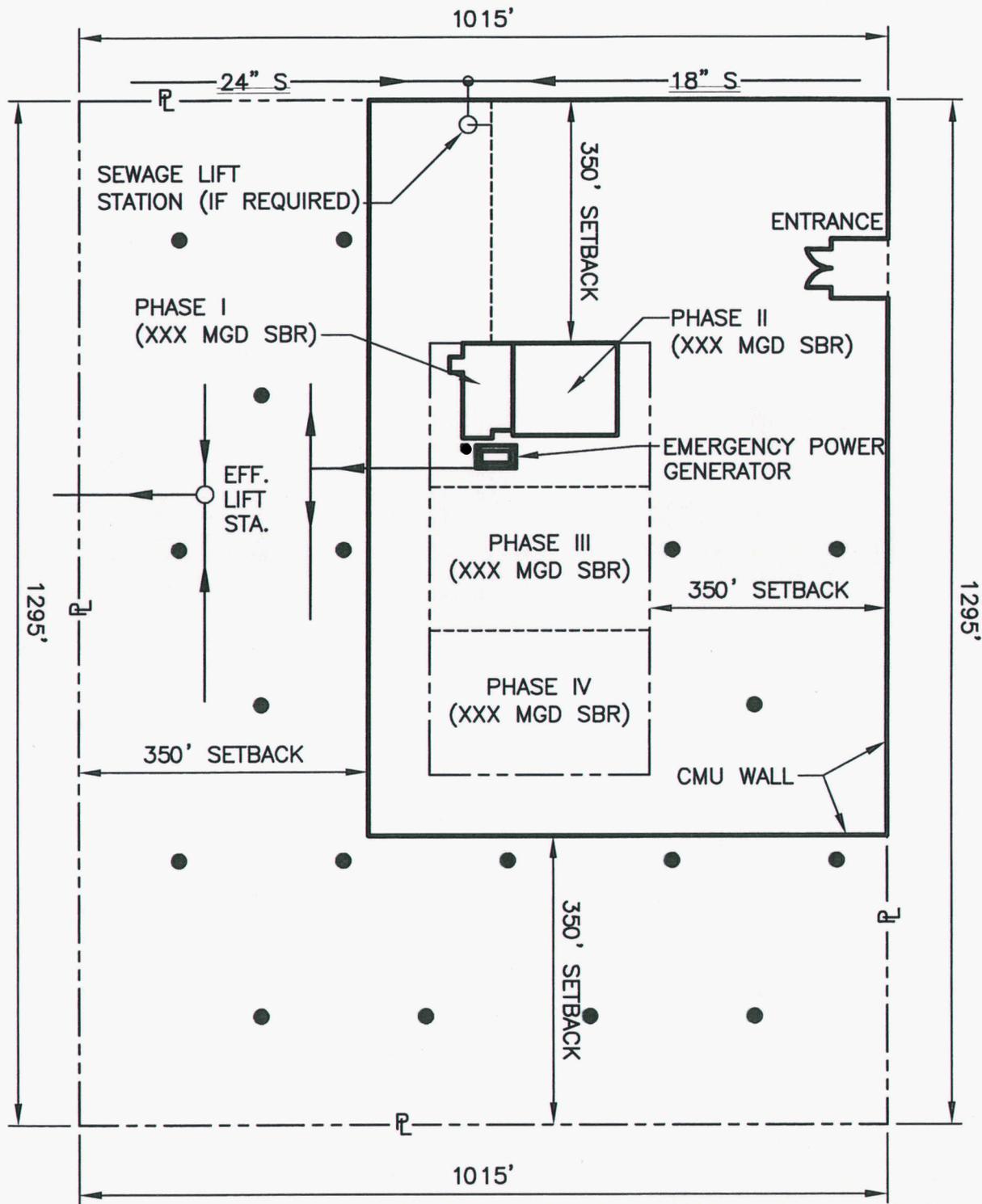
DATE	REVISION	BY

SECTION: 14 TMSHIP: 4S RANGE: 3E
 DESIGN BY: JLC DATE: 11/2005
 CHECKED BY: DAR DRAWN BY: CS
 JOB NO.: GLBL0000-0003 SHEET 17 OF 17

PVUC Proposed Southeast CC&N Service Area



U:\CADD\050310\dwg\Exhibit5.dwg Modified: Nov 30, 2005 1:57pm



● - RECHARGE WELL (IF REQUIRED)

NOT TO SCALE

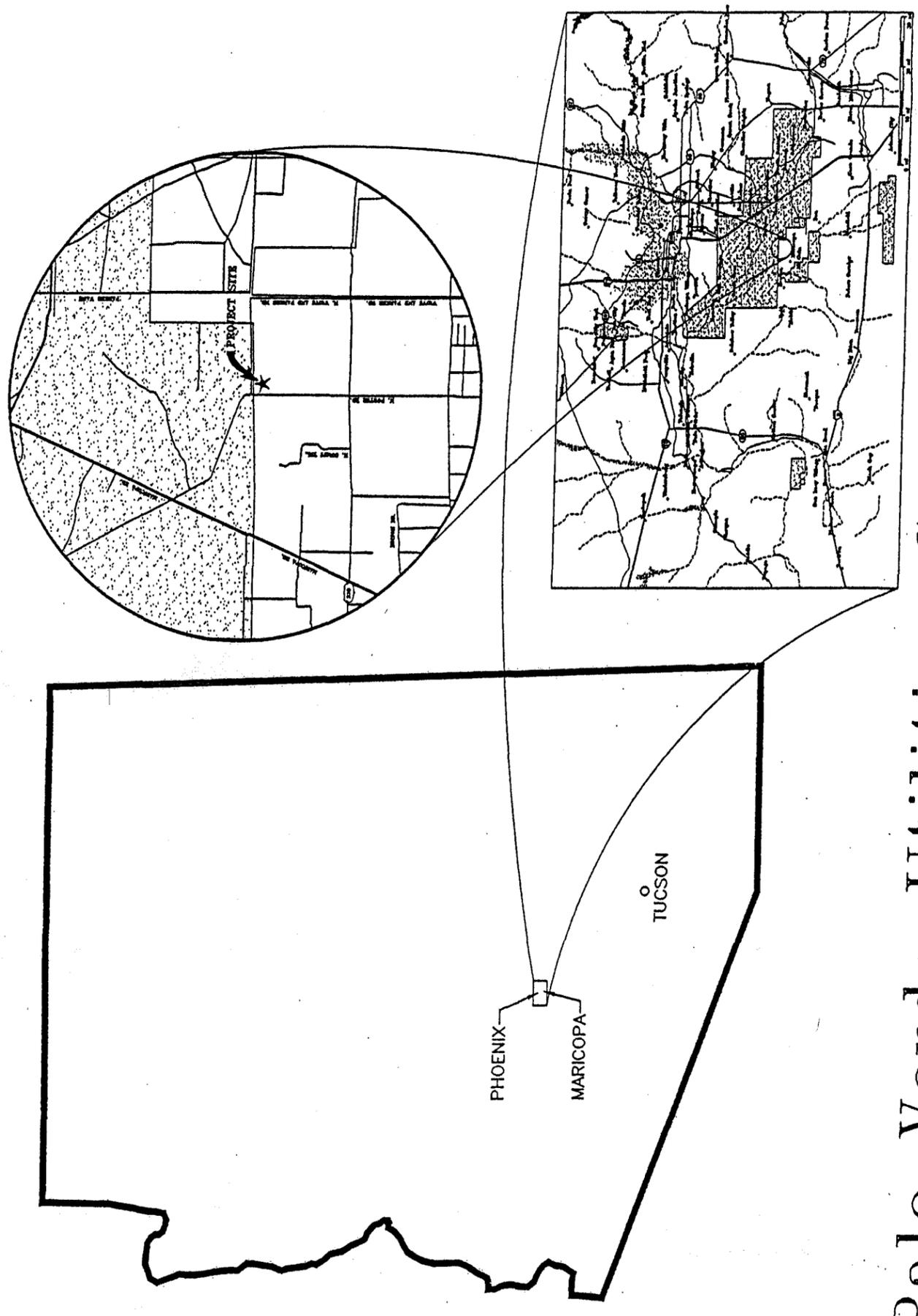
GLOBAL WATER RESOURCES, LLC
208 AMENDMENT

DSWA
DAMON S. WILLIAMS
ASSOCIATES, LLC



PVUC
TYPICAL WRF LAYOUT
EXHIBIT 3

WASTEWATER RECLAMATION FACILITY PHASE II



Palo Verde Utilities Company, L.L.C.
Rancho El Dorado, Arizona

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

EXHIBIT 9

 <p>Aquatec, Inc. 1228 Shoppert Drive Madison, Rhode 01118 (615) 824-1900</p>	<table border="1"> <tr><th>NO.</th><th>ITEM</th><th>DATE</th></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	ITEM	DATE																												<table border="1"> <tr><th>ISSUED FOR:</th><th>DATE:</th></tr> <tr><td> </td><td> </td></tr> </table>	ISSUED FOR:	DATE:																			<p>Rancho El Dorado Wastewater Reclamation Facility Phase II Maricopa, Arizona</p> <p>Cover Sheet</p>	 <p>DATE: 9/15/04 PROJECT NO. 200448</p>
	NO.	ITEM	DATE																																																			
ISSUED FOR:	DATE:																																																					

MATERIAL LEGEND

- SAND
- CONCRETE
- SOIL
- INSULATION
- STEEL
- BALLAST
- CRUSHED STONE
- CONCRETE BLOCK

ABBREVIATIONS

AS	AND
(SIM)	SIMILAR
A	AMP
APPROX.	APPROXIMATELY
ASD	AEROBIC SLUDGE DIGESTER
B.F. VALVE	BUTTERFLY VALVE
BKRS	BREAKERS
BLDG.	BUILDING
BRKT	BRACKET
C.L.	CENTER LINE
CB	CIRCUIT BREAKER
CFM	CUBIC FEET PER MINUTE
CHEM	CHEMICAL
CONTR	CONTRACTOR
CPLG	COUPLING
DBL	DOUBLE
DIA	DIAMETER
DV	DECANT VALVE
DW	DECANT WEIR
DWG.	DRAWING
EFF	EFFLUENT
EL	ELEVATION
ELECT. CONTR	ELECTRICAL CONTRACTOR
EO	EQUALIZATION
FF	FINISH FLOOR
FL	FLOOR
FLR	FLOOR
GAL	GALLON
GPD	GALLONS PER DAY
GPM	GALLONS PER MINUTE
HOR.	HORIZONTAL
HIP	HORSEPOWER
HWL	HIGH WATER LEVEL
Hz	HERTZ
IE	INVERT ELEVATION
LG	LONG
LWL	LOW WATER LEVEL
MECH.	MECHANICAL
MECH. CONTR.	MECHANICAL CONTRACTOR
MFG.	MANUFACTURER
MOL	MOTOR OVERLOAD
MS	MOTOR STARTER
MTG	MOUNTING
NA	NOT APPLICABLE
NO.	NUMBER
NPT	NATIONAL PIPE THREAD
O.C.	ON CENTER
O.S.H.A.	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PG.	PAGE
PH	PHASE
PH	POTENTIAL OF HYDROGEN
RECIRC.	RECIRCULATION
RED	REDUCER
REQ.	REQUIRED
REQ'D	REQUIRED
SAM	SUBMERGED AERATOR/MIXER
SBR	SEQUENCING BATCH REACTOR
SCH	SCHEDULE
SINGL	SINGLE
SS	STAINLESS STEEL
SUB-CONTR	SUBCONTRACTOR
SWD	SIDE WATER DEPTH
TEMP	TEMPERATURE
THRD	THREADED
UV	ULTRA VIOLET
V	VOLT
VERT.	VERTICAL
MFD	VARIABLE FREQUENCY DRIVE
W/	WITH

PIPING LEGEND

- PUMP
- FLOW CONTROL VALVE
- PRESSURE GAUGE
- TEMPERATURE INDICATOR
- 3 WAY VALVE
- BACKPRESSURE VALVE
- CHECK VALVE
- GATE VALVE
- BALL VALVE
- BUTTERFLY VALVE
- ACTUATED BUTTERFLY VALVE
- TRIPLE DUTY VALVE
- SOLENOID
- PRESSURE SWITCH
- PLUG VALVE
- ACTUATED PLUG VALVE
- REDUCER
- DISSOLVED OXYGEN
- PH METER
- TURBIDITY METER
- FLOW METER
- LEVEL SENSOR

ELECTRICAL LEGEND

- 4' WRAP AROUND
- 2x4 RECESSED LIGHT
- 2x2 RECESSED LIGHT
- SUSPENDED UNIT HEATER
- SWITCH
- OUTLET
- LOW BAY
- CUT OFF LIGHT(S) ON POLE
- WALL MOUNTED LIGHT (OUTDOOR)
- EXIT SIGN W/EMERGENCY LIGHTS
- MOTOR
- QUANTITY/ITEM

INDEX

- GENERAL**
- G1 INDEX SHEET
- G2 PROCESS FLOW DIAGRAM
- CIVIL**
- C1 SITE PLAN
- C2 SITE GRADING PLAN
- MECHANICAL**
- M1 TANK MECHANICAL LAYOUT
- M2 BUILDING MECHANICAL LAYOUT
- M3 INFLUENT PIPING
- M4 DECANTER PIPING
- M5 SLUDGE WASTE PIPING
- M6 SBR AIR PIPING
- M7 SANDFILTER / UV PIPING
- M8 NOT USED
- M9 ODOR CONTROL SYSTEM

1238 Support Drive
Madford, Maine 01118
(617) 854-1300

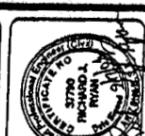
Aquatec, Inc.

NO.	ITEM	DATE

ISSUED FOR:	DATE:

Rancho El Dorado
Wastewater Reclamation Facility Phase II
Kennebunk, Me.

Index Sheet



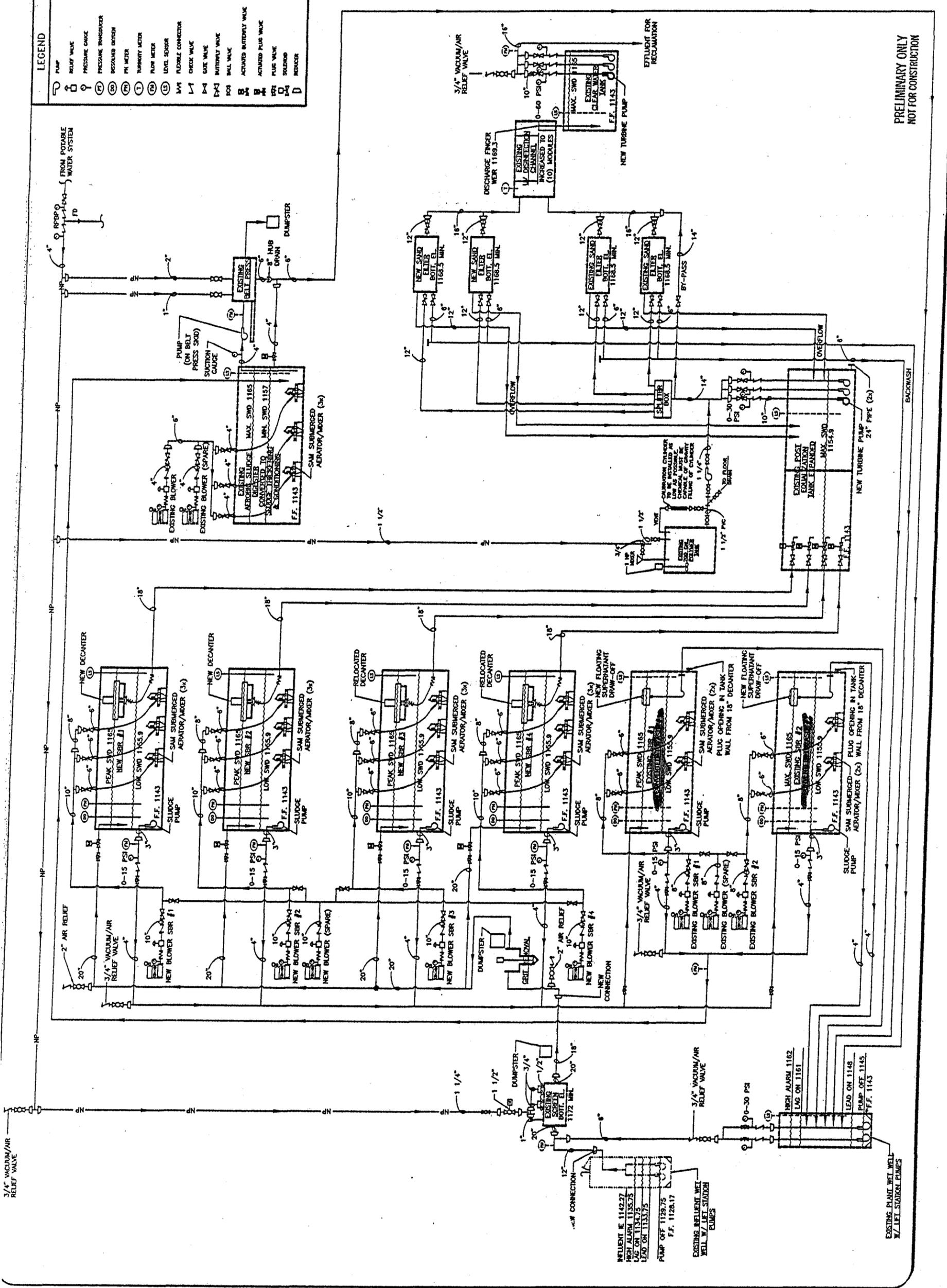
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DATE: 9/15/04
1 OF 40 SHEETS
PROJECT NO. 200448
DRAWING NO. **G1**

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

NO.	ITEM	DATE

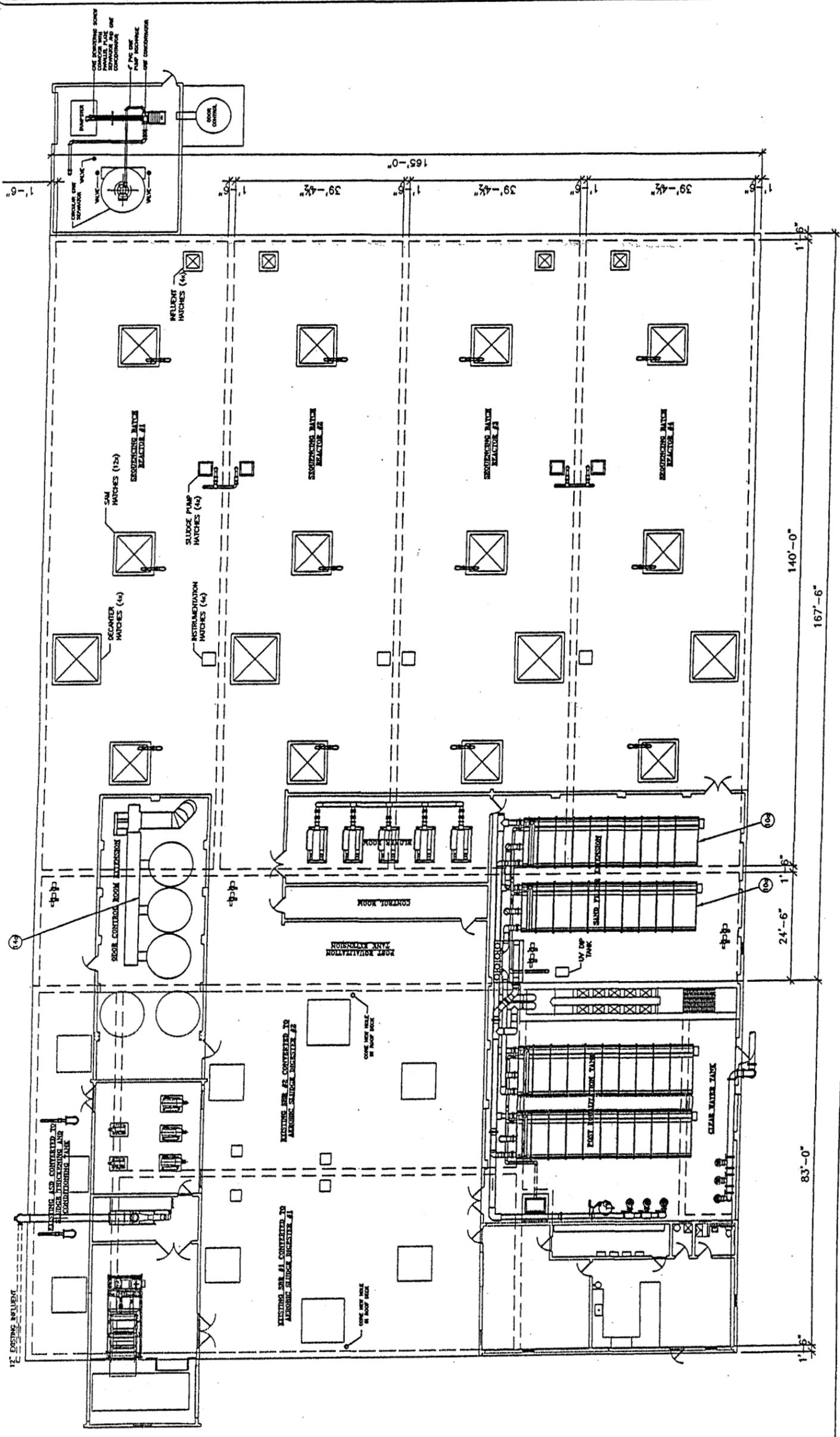
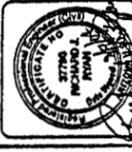
LEGEND

	PUMP
	RELIEF VALVE
	PRESSURE GAUGE
	PRESSURE TRANSDUCER
	RECORDED SWITCH
	PI METER
	TURNBUCKLE
	FLOW METER
	LEVEL SENSOR
	FLEXIBLE CONNECTOR
	CHECK VALVE
	GATE VALVE
	BUTTERFLY VALVE
	BALL VALVE
	ACTUATED BUTTERFLY VALVE
	ACTUATED PLUG VALVE
	SOLENOID VALVE
	REDUCER



PRELIMINARY ONLY
 NOT FOR CONSTRUCTION

ISSUED FOR:	DATE:
REVISIONS:	
NO.	ITEM
DATE	



ABOVE TANK MECHANICAL PLAN
 SCALE: 3/32" = 1'

VALVE IDENTIFICATION LEGEND

XX-18"-CK-HL

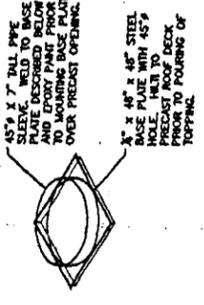
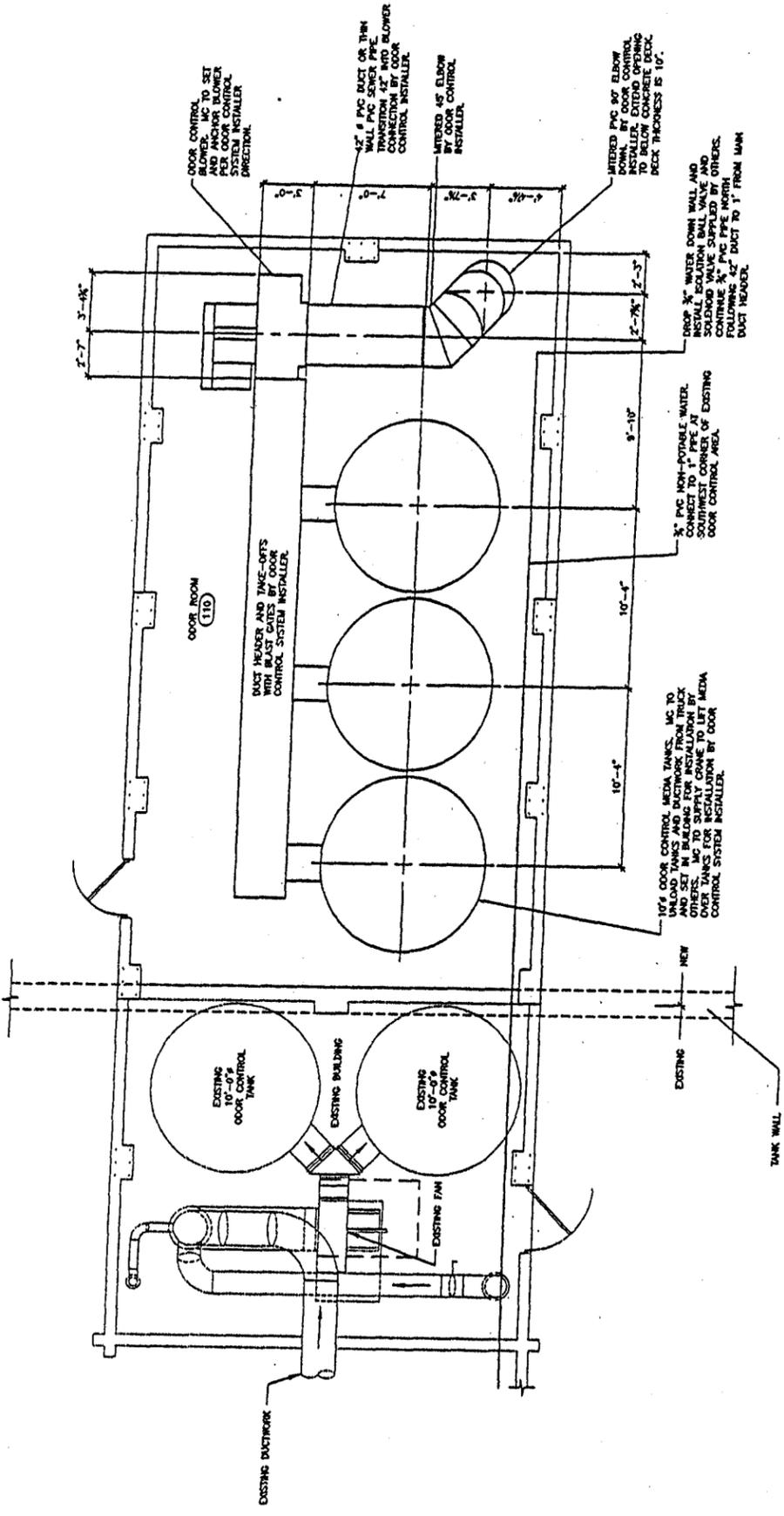
VALVE NUMBER	ACTUATOR TYPE:
VALVE SIZE	CH - CHUCK
VALVE TYPE:	CW - CHAIN WHEEL
AR - AIR RELIEF	EA - ELECTRIC ACTUATOR
BC - BUTTERFLY	HA - HAND WHEEL (LOCKING)
BL - BALL	HW - HAND WHEEL
CK - CHECK	MA - NOT APPLICABLE
TI - TIGHT	PA - PNEUMATIC ACTUATED
PG - POST	
PL - PLUS	
SG - SLIDE GATE	

PRELIMINARY ONLY
 NOT FOR CONSTRUCTION

NO.	ITEM	DATE



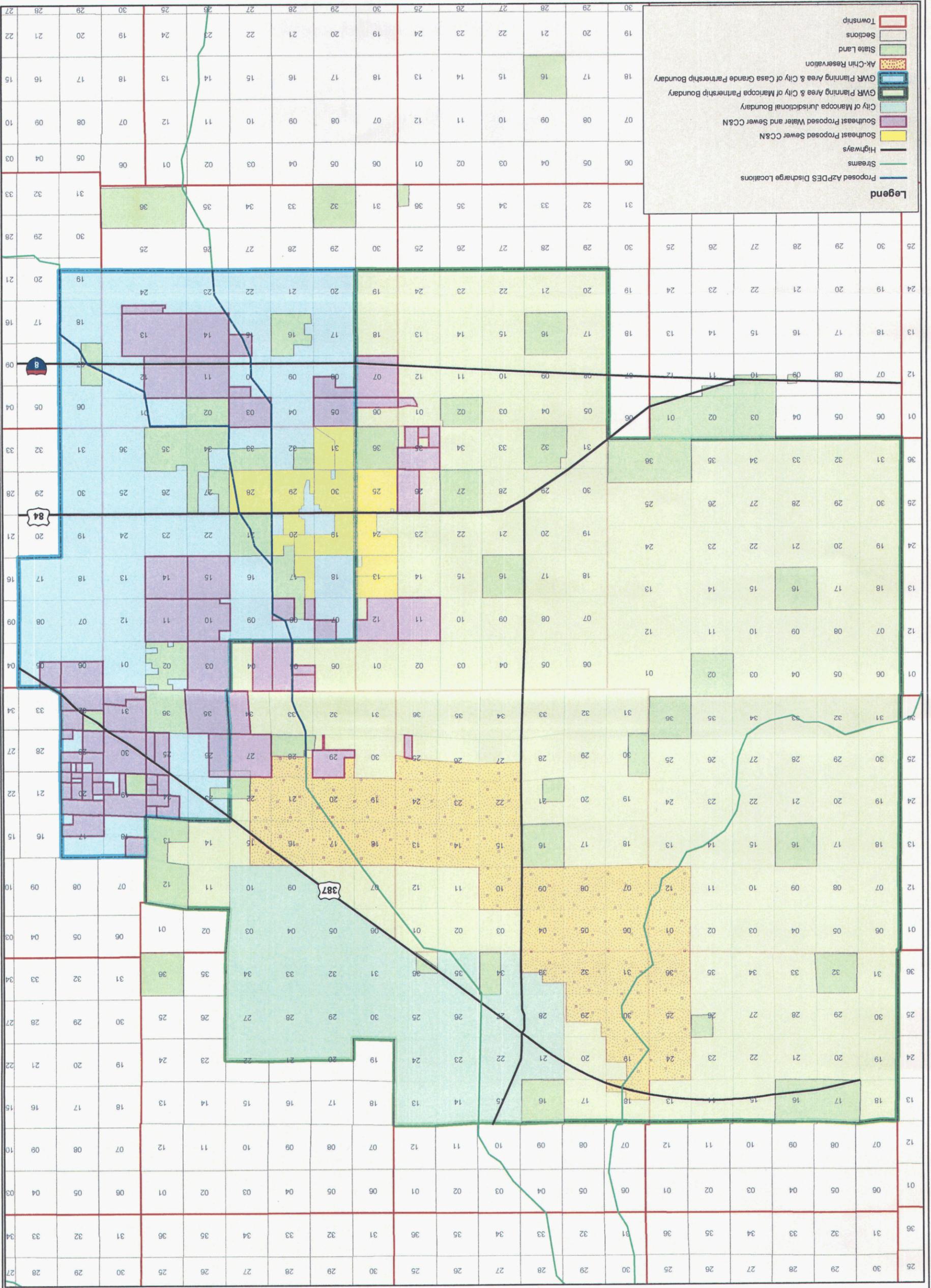
ODOOR CONTROL BLOWER SPECS.
 NEW YORK BLOWER
 12" DIA. 1/2" WALL POLISHED STEEL SIZE 40
 1/2" WHEEL POLISHED STEEL ARRANGEMENT 9
 25000 CFM @ 8" H₂O
 1246 RPM, 36.2 BHP
 PLANNED INLET AND OUTLET
 BLINDS AND SHUT DAMPERS
 PARALLEL DOOR DAMPER



SLEEVE DETAIL FOR ROOF PENETRATION
 SCALE: NONE

ODOOR CONTROL PLAN
 SCALE: 1/4" = 1'

PRELIMINARY ONLY
 NOT FOR CONSTRUCTION

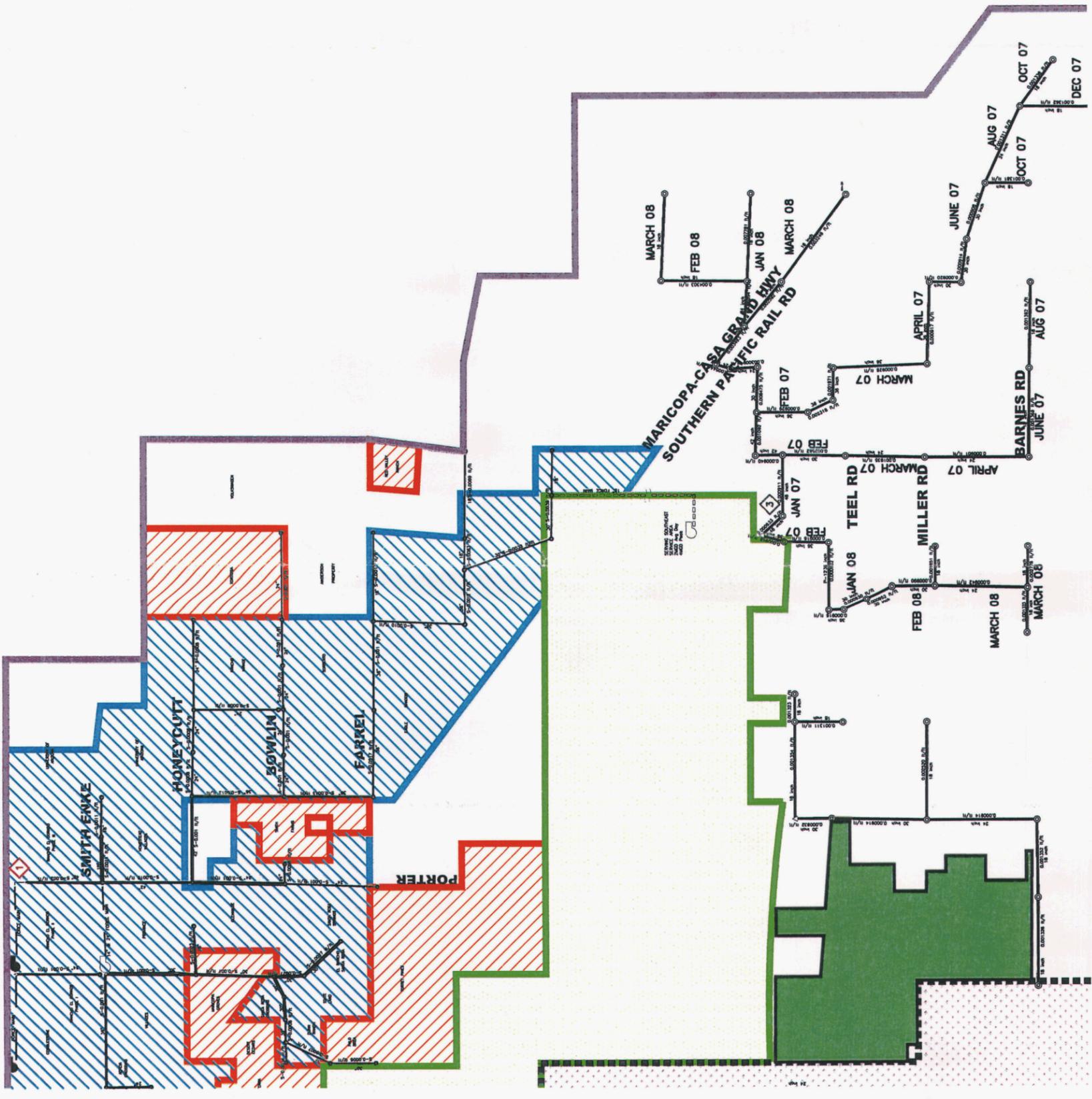


Proposed AZPDES Discharge Locations for Southeast Service Area

LEGEND

- 208 CONSOLIDATED SERVICE AREA (CSA) BOUNDARY
- EXISTING PALO VERDE UTILITIES COMPANY 208
- FORMER 387 IMPROVEMENT DISTRICT SERVICE AREA (NOW SERVED BY PVUC)
- AK-CHIN INDIAN COMMUNITY (EXCLUDED FROM CSA)
- PROPOSED PVUC SOUTHWEST 208 SERVICE AREA
- SANTA ROSA UTILITY COMPANY 208 (SERVED BY OTHERS)

- CAMPUS 1 WRF
- CAMPUS 3 PUMP STATION JAN 2007, WRF NOV. 2012.



DSWA Project No	050310
Date	NOVEMBER 2005
Dwg No	
Sht No	of

SOUTHEAST SERVICE AREA CONSTRUCTION PHASING

GLOBAL WATER RESOURCES, LLC



PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING



Designed By
Drawn By AA
Checked By CHC

NO	DATE	BY	DESCRIPTION

Exhibit 11

7

Santa Cruz Water Company

BALANCE SHEET

Acct. No.	Assets	Balance at Beginning of Year	Balance at End of Year
	Current and Accrued Assets		
131	Cash	\$ 473,683	\$ 1,917
134	Working Funds		
135	Temporary Cash Investments		
141	Customer Accounts Receivable	119,714	154,380
146	Notes/Receivables from Assoc. Companies	8,351	112,116
151	Plant Material and Supplies		
162	Prepayments		
174	Misc. Current and Accrued Assets	101,210	41,631
	Total Current and Accrued Assets	\$ 702,958	\$ 310,044
	Fixed Assets	\$	\$
101	Utility Plant in Service	5,953,702	9,935,832
103	Property held for Future Use		
105	Construction Work in Progress	1,445,427	1,141,027
108	Accumulated Depreciation - Utility Plant	(196,233)	-522,925
121	Non-Utility Property		
122	Accumulated Depreciation - Non Utility		
	Total Fixed Assets	\$7,202,896	\$10,553,934
	Total Assets	\$7,905,854	\$10,863,978

NOTE: Total Assets on this page should equal Total Liabilities and Capital on the following page.

Santa Cruz Water Company

BALANCE SHEET (CONTINUED)

Acct. No.	Liabilities	Balance at Beginning of	Balance at End of Year
	Current Liabilities		
231	Accounts Payable	291,483	358,430
232	Notes Payable (Current Portion)		
234	Notes/Accounts Payable to Assoc. Companies		
235	Customer Deposits/Prepays	159,807	348,053
236	Accrued Taxes	6,245	
237	Accrued Interest	358	
241	Misc. Current and Accrued Liabilities	805,386	138,109
	Total Current Liabilities	\$ 1,263,279	\$ 844,592
	Long Term Debt (Over 12 months)		
224	Long-Term Notes and Bonds	\$ -	\$ -
	Deferred Credits		
251	Unamortized Premium on Debt	\$	\$
252	Advances in Aid of Construction	2,121,895	4,925,758
255	Accumulated Deferred Investment of Tax Credits		
271	Contributions in Aid of Construction		
272	Less: Amortization of Contributions		
281	Accumulated Deferred Income Tax		
	Total Deferred Credits	\$ 2,121,895	\$ 4,925,758
	Total Liabilities	\$ 3,385,174	\$ 5,770,350
	Capital Accounts		
201	Common Stock Issued	\$ 3,939,476	\$ 3,572,944
211	Paid in Capital in Excess of Par Value		
215	Current and Retained Earnings	581,204	1,520,684
218	Proprietary Capital (Sole Props & Partnerships)		
	Total Capital	\$ 4,520,680	\$ 5,093,628
	Total Liabilities and Capital	\$ 7,905,854	\$ 10,863,978

Santa Cruz Water Company

COMPARITIVE STATEMENT OF INCOME AND EXPENSE

Acct. No.	Operating Revenues	Prior Year	Current Year
461	Metered Water Revenue	\$ 972,971	\$ 1,890,337
460	Unmetered Water Revenue		
474	Other Water Revenues	106,395	147,961
	TOTAL REVENUES	\$ 1,079,366	\$ 2,038,298
	Operating Expenses		
601	Salaries and Wages	\$ 181,212	\$ -
610	Purchased Water		31,250
615	Purchased Power	86,111	103,053
618	Chemicals	2,320	3,900
620	Repairs and Maintenance	59,990	21,541
621	Office Supplies and Expense	26,600	19,395
630	Outside Services	108,297	291,356
635	Water Testing		8,020
641	Rents	25,136	20,500
650	Transportation Expenses	1,268	2,754
657	Insurance – General Liability	22,432	9,166
659	Insurance – Health and Life	11,332	
666	Regulatory Commission Expense – Rate Case		
675	Misc. Expense	31,584	33,130
	Permits and Fees		17,195
	Administrative and General		14,345
403	Depreciation Expense	157,658	277,271
408	Taxes Other than Income		
408.11	Property Taxes	26,011	20,325
409	Income Tax		
	Total Operating Expenses	739,951	873,201
	Operating Income/(Loss)	\$ 339,415	\$ 1,165,097
	Other Income Expense		
419	Interest and Dividend Income	63	\$ 522
421	Non-Utility Income	2,306	1,936
426	Misc. Non-Utility Expenses		
427	Interest Expense		
	Total Other Income/Expense	2,369	\$ 2,458
	Net Income/(Loss)	\$ 341,784	\$ 1,167,555

Palo Verde Utilities Company

BALANCE SHEET

Acct. No.	Assets	Balance at Beginning of	Balance at End of Year
	Current and Accrued Assets		
131	Cash	\$ 237,917	\$ -
132	Special Deposits		91,442
135	Temporary Cash Investments		
141	Customer Accounts Receivable	25,707	135,084
146	Notes/Receivables from Assoc. Companies		
151	Plant Material and Supplies		
162	Prepayments		
174	Misc. Current and Accrued Assets	80,385	16,825
	Total Current and Accrued Assets	\$ 344,009	\$ 243,351
	Fixed Assets		
101	Utility Plant in Service	\$ 11,179,548	\$ 15,403,361
103	Property held for Future Use		
105	Construction Work in Progress	2,418,002	5,348,088
108	Accumulated Depreciation – Utility Plant	(346,433)	(1,084,092)
121	Non-Utility Property		
122	Accumulated Depreciation – Non Utility		
	Total Fixed Assets	\$ 13,251,117	\$ 19,667,357
	Total Assets	\$ 13,595,126	\$ 19,910,708

NOTE: Total Assets on this page should equal **Total Liabilities and Capital** on the following page.

Palo Verde Utilities Company

BALANCE SHEET (CONTINUED)

Acct. No.	Liabilities	Balance at Beginning of	Balance at End of Year
	Current Liabilities		
231	Accounts Payable	\$ 137,257	\$ 991,008
232	Notes Payable (Current Portion)		
234	Notes/Accounts Payable to Assoc. Companies	938,052	112,116
235	Customer Deposits		
236	Accrued Taxes		
237	Accrued Interest		
241	Misc. Current and Accrued Liabilities		407,641
	Total Current Liabilities	\$ 1,075,309	\$ 1,510,765
	Long Term Debt (Over 12 months)		
224	Long-Term Notes and Bonds		
	Deferred Credits		
252	Advances in Aid of Construction	\$ 1,295,032	\$ 3,142,297
253	Other Deferred Credits		
255	Accumulated Deferred Investment of Tax Credits		
271	Contributions in Aid of Construction		
272	Less: Amortization of Contributions		
281	Accumulated Deferred Income Tax		
	Total Deferred Credits	\$ 1,295,032	\$ 3,142,297
	Total Liabilities	\$ 2,370,341	\$ 4,653,062
	Capital Accounts		
201	Common Stock Issued	\$ 11,336,555	\$ 15,403,594
211	Other Paid in Capital		
215	Retained Earnings/Net Income	(111,770)	(145,948)
218	Proprietary Capital (Sole Props & Partnerships)		
	Total Capital	\$ 11,224,785	\$ 15,257,646
	Total Liabilities and Capital	\$ 13,595,126	\$ 19,910,708

Palo Verde Utilities Company

COMPARATIVE STATEMENT OF INCOME AND EXPENSE

Acct. No.	Operating Revenues	Prior Year	Current Year
521	Flat Rate Revenues	\$ 494,967	\$ 1,064,811
522	Measured Revenues		
536	Other Wastewater Revenues	93,515	105,325
	Total Revenues	\$ 588,482	\$ 1,170,136
	Operating Expenses		
701	Salaries and Wages	\$ 221,357	\$ -
710	Purchased Wastewater Treatment		
711	Sludge Removal Expense		11,271
715	Purchased Power	10,099	91,179
716	Fuel for Power Production		1,827
718	Chemicals	6,788	
720	Materials and Supplies	33,165	32,664
731	Contractual Services – Professional	77,860	300,423
735	Contractual Services – Testing		
736	Contractual Services – Other		
740	Rents	25,236	20,500
750	Transportation Expense	806	
755	Insurance Expense	18,957	9,158
765	Regulatory Commission Expense		
775	Misc. Expense	6,103	6,737
	Maintenance		40,777
	Office and administration		43,476
	Permits and Fees		5,159
403	Depreciation Expense	278,514	507,994
408	Taxes Other than Income		
408.11	Property Taxes	32,374	18,229
409	Income Taxes		
	Total Operating Expenses	\$ 711,259	\$ 1,089,394
	Other Income Expense		
419	Interest and Dividend Income	\$ 719	\$ 889
421	Non-Utility Income	3	302
426	Misc. Non-Utility Expenses		
427	Interest Expense		
	Total Other Income/Expense	\$ 722	\$ 1,191
	Net Income/(Loss)	\$ (122,055)	\$ 81,933

8

ROSHKA HEYMAN & DEWULF, PLC
ONE ARIZONA CENTER
400 EAST VAN BUREN STREET - SUITE 800
PHOENIX, ARIZONA 85004
TELEPHONE NO 602-256-6100
FACSIMILE 602-256-6800

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EXHIBIT 8

	<u>Water²</u>	<u>Wastewater³</u>
1 st year:	700	700
2 nd Year:	1,200	1,350
3 rd Year:	2,250	2,550
4 th Year:	2,614	2,914
5 th Year:	2,700	3,000

² Served by Santa Cruz Water Company
³ Served by Palo Verde Utilities Company

9

ROSHKA HEYMAN & DEWULF, PLC
ONE ARIZONA CENTER
400 EAST VAN BUREN STREET - SUITE 800
PHOENIX, ARIZONA 85004
TELEPHONE NO 602-256-6100
FACSIMILE 602-256-6800

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EXHIBIT 9

Santa Cruz Water Company

	<u>Operating Revenue</u>	<u>Operating Expenses</u>
1 st Year:	\$ 198,546	\$ 90,844
2 nd Year:	\$ 702,457	\$ 350,126
3 rd Year:	\$ 1,621,005	\$ 830,106
4 th Year:	\$ 2,888,116	\$ 1,520,127
5 th Year:	\$ 4,264,664	\$ 2,290,855

Palo Verde Utilities Company

	<u>Operating Revenue</u>	<u>Operating Expenses</u>
1 st Year:	\$ 156,100	\$ 99,293
2 nd Year:	\$ 578,250	\$ 400,068
3 rd Year:	\$ 1,380,450	\$ 980,287
4 th Year:	\$ 2,471,422	\$ 1,806,677
5 th Year:	\$ 3,644,544	\$ 2,715,379